



PLANNING BY DESIGN
FROM CONCEPT TO COMPLETION

Design and Access Statement:

Proposed single storey rear extension at: 587
Bradford Road BD12 7EJ

On Behalf of Mr. Kane Ramsden

Drafted by **Planning By Design**

1. Application

Planning By Design (The agent) has been instructed to act on behalf of Mr. Kane Ramsden (the applicant) to submit a planning application to Kirklees Council (the Local Planning Authority) for a: Proposed single storey rear extension at: 587 Bradford Road BD12 7EJ (the site). In support of this application, the following Design and Access Statement has been constructed to demonstrate the suitability of this site for this proposal and evaluate its accordance with national and local planning policy along with supplementary design guidance.

2. Site Location

The site location is at 587 Bradford Road, Chain Bar, Oakenshaw, Cleckheaton BD12 7EJ; with the site itself consisting of a double storey semi-detached dwelling on the western side of Bradford Road. The site benefits from a large curtilage spanning the front, side and rear of the dwelling. The rear garden itself is elongated and rectangle in shape, with a field beyond. At present there is an existing garden outbuilding in the rear garden, located close to the main dwellinghouse.

The application site is located just within the greenbelt but is not associated with any further known planning constraints.



Fig 1. – Existing Block Plan

3. The Proposal

The application proposal is for a single storey extension at the rear of the property; This will allow for the creation of a new living space in the form of new kitchen/ living area, which will enhance the living environment of the dwelling. There will also be minor internal alterations as existing kitchen will become a utility with W/C, and there will be a new internal wall to allow this. The existing rear w/c will also be demolished, and the existing outbuilding will be reduced in width to accommodate the proposal.

The new extension will be 8m in depth and 2.5m in height and will match the width of the property. The structure will have a flat roof, with an orangery style roof lantern allowing natural light into the development. There will also be glazed sliding doors to the rear, which will be 4m in width, therefore the applicants can also enjoy views of their garden. The materials will match those of the existing dwelling to ensure the extension is in keeping with the character of the local area.

Further information about the specific design and dimensions of the proposal can be found within the accompanying existing and proposed planning drawings, the proposed of which are copied below:

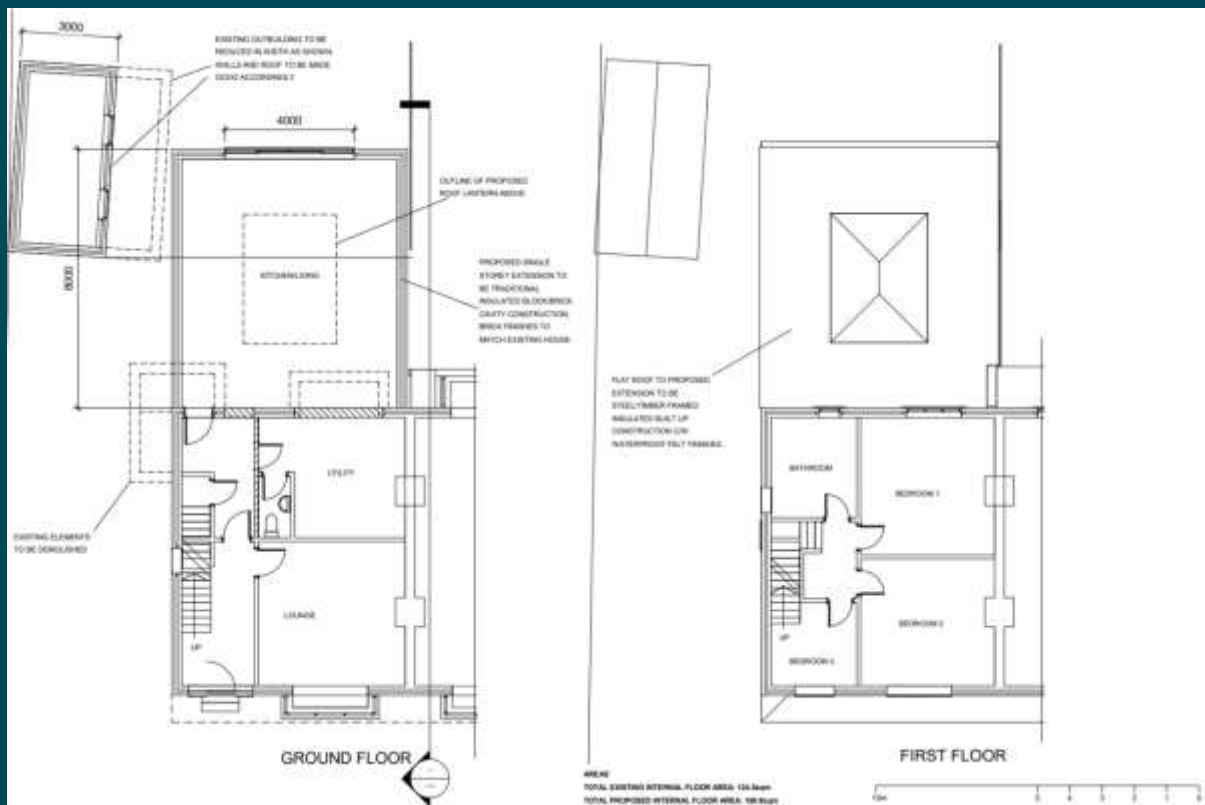


Fig.2 – Proposed plans



Fig.3 Proposed block plan

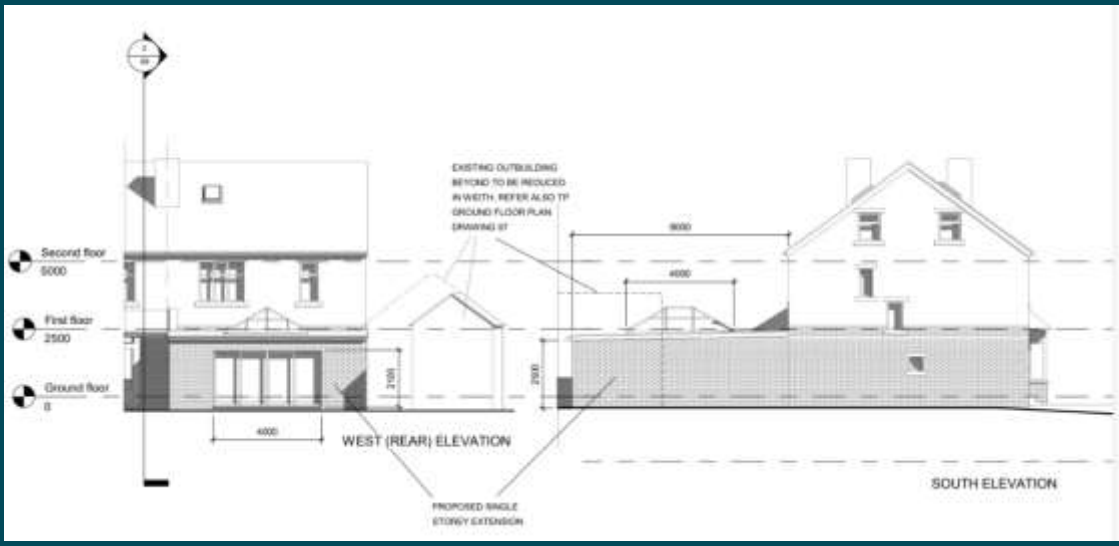


Fig.4 – Proposed Elevations



Fig.4 – Proposed Elevations and Section Drawing

4. Planning History

2024/62/90958/E - 587, Bradford Road, Oakenshaw, Bradford, BD12 7EJ – application undecided.

There is also evidence of various approvals throughout area for similar householder applications.

5. Planning Policy Documents

The following planning policy and guidance documents are recognised as material considerations for the assessment of this application.

- National Planning Policy Framework 2023
- National Planning Practice Guidance.
- Kirkees Local Plan.

6. Specific relevant policies:

National Planning Policy Framework 2023

- Section 2 - Achieving sustainable development
- Section 12 - Achieving well-designed and beautiful places
- Section 13 - Protecting Green Belt Land
- Chapter 15 - Conserving and enhancing the natural environment

Kirklees Local Plan Policies

- LP 1 – Achieving sustainable development
- LP 2 – Place shaping
- LP 21 – Highway safety and access
- LP 24 – Design
- LP 53 – Contaminated Land
- LP 57 – The extension, alteration or replacement of existing dwellings in the green belt

Supplementary Planning Documents

- House Extension SPD

7. Assessment

The following section will evaluate the proposals in accordance with the relevant national and local policies and supplementary design guidance to demonstrate why the proposal should be considered as acceptable in principle and in strict accordance with the Councils development criteria and NPPF.

Impact Upon the Greenbelt

The proposal is a suitably sized, sited, designed, and scaled extension to the host building, and as such may be acceptable in accordance with paragraph 145 of the NPPF and Policy LP57 of the Local Plan.

The property does have a very sizeable rear garden, much of which would remain undeveloped. Furthermore, the development would be viewed in conjunction with the existing buildings on the site. Although the house is located in the green belt, this is in a ribbon of development whereby the proposal would not substantially impact on the openness and character, it thus complies with the NPPF and policy LP57.

Design and Visual Amenity

The proposal is in keeping with the local plan, as it is a well-designed minor development, which will be complimentary to the character of the site and wider area. The proposal leads to the creation of a useful and well-designed addition to the dwelling, creating a functional user space for the occupant's enjoyment of the property for the lifetime of the dwelling. The character of the proposal offers appropriate durable materials, which match the existing at the site, creating a seamless finish, which will not erode the character of the site or broader area.

Consideration has been given to the scale, massing, density, and siting to ensure it is appropriate to the dwelling and wider area; It's scale and massing are suitable and subservient to the main dwelling and garden, and it allows for ample undeveloped garden ground to remain. The extension also respects existing building lines and will fit unobtrusively with the parent building, as such, it will not overdevelop the site or detract from the character of the dwelling site. Likewise, by virtue of its rear location, it will also not erode the visual amenity of the site or wider streetscape. The rear garden of the site's garden is also enclosed to the adjacent neighbours by tall boundary hedging, which screens the development from neighbouring properties. The proposal can therefore be considered compliant with national and Kirklees local policy and guidance for design.

Amenity

Whilst there are adjacent properties on each side of the site, their amenity is unlikely to be impacted significantly by virtue of the developments by virtue of the proposed modest and appropriate scale and siting of the development, which respects the 45-degree rule.

The siting of the extension at the rear of the property, within the applicants' constrained (by side boundary hedging) rear garden is also appropriate; There are also no properties to the rear of the site, which would be immediately impacted by the proposal. Fenestration is also limited to outlook restricted to the occupant's own garden area and rear field.

As discussed, the proposal is appropriate in scale and massing, therefore it does not dominate its character of, or overdevelop the site, allowing for plenty undeveloped garden ground to remain. Therefore, overbearing, overlooking, and overshadowing are not expected to be a

significant concern and the proposed development will cause no further impact to neighbouring amenity than the existing.

Additionally, the development improves amenity for the dwelling's existing occupiers and future residents, in that it will provide extra functionable living space compared to the existing and enhance the applicant's enjoyment of the dwelling, adding longevity to its design.

The proposal thereby accords with Planning Policy and Guidance for amenity.

Parking and Highways

The proposed development maintains the same number of bedrooms and so is not deemed to require an increase in the number of parking spaces. It will therefore have neutral impact upon parking and highway safety concerns.

8. Planning Balance

The proposal positively contributes to all three development objectives outlined in the National Planning Policy Framework.

From a social perspective, the proposal provides a rear extension to the dwelling, adding additional living space, which will be comfortable, useful and increase the enjoyment of the property. This will ensure that the applicants can maximise the use of the site, providing longevity to its design.

From an Environmental perspective, the proposal does not erode the streetscape or landscape character, impact the openness of the greenbelt, or negatively impact the area it is located within.

Economically, the proposal helped stimulate economic activity at a local level as local fitters and suppliers were sought for construction.

The proposal will not cause enough of an impact to warrant a refusal in this instance.

9. Conclusion

The proposal will deliver significant social and economic benefits to this area while not resulting in any detrimental harm to the areas' surrounding environment. It is also well designed, matching, and contemporary, and provides a beneficial and functional space for the occupants, increasing and enhancing the residential amenity of the dwelling.

Therefore, we see no reason for the Council to withhold our request for planning permission and kindly request that the council make a reasonable decision on this submission in line with the developmental objectives and timescales of the National Planning Policy Framework. Should the Planning Authority have any further questions in relation to this proposal or feel that certain conditions would be necessary to accommodate this proposal, Planning By Design would welcome conversation on any of these matters.