



Town and Country Planning Act 1990

**Town and Country Planning (Development Management Procedure) (England) Order
2015**

PLANNING PERMISSION FOR DEVELOPMENT

Application Number: 2019/62/91806/W

To: Paul Matthews,
Paul Matthews Architectural
Malkin Farm
Brow Lane
Holmfirth, HD9 2RJ

For: K ENGEL & N MONDAY

In pursuance of its powers under the above-mentioned Act and Order the KIRKLEES COUNCIL (hereinafter called "The Council") as Local Planning Authority hereby permits:-

**CHANGE OF USE AND ALTERATIONS TO CONVERT STORE (B1C) TO
HOLIDAY LET (C3) (WITHIN A CONSERVATION AREA)**

At: 6, GILES STREET, NETHERTHONG, HOLMFIRTH, HD9 3EF

In accordance with the plan(s) and applications submitted to the Council on 31-May-2019, subject to the condition(s) specified hereunder:-

1. The development hereby permitted shall be begun within three years of the date of this permission.

Reason: Pursuant to the requirements of Section 51 of the Planning and Compulsory Purchase Act 2004.

2. The development hereby permitted shall be carried out in complete accordance with the plans and specifications schedule listed in this decision notice, except as may be specified in the conditions attached to this permission, which shall in all cases take precedence.

Reason: For the avoidance of doubt as to what is being permitted and so as to ensure the satisfactory appearance of the development on completion, to preserve the character and appearance of the Netherthong/Deanhouse Conservation Area and to accord with Policies LP01, LP02, LP24 & LP35, of the Local Plan and advice in the National Planning Policy Framework.

3. Notwithstanding the details shown on the approved plan, before the development is first brought into use the windows in the front elevation shall be replaced by the following:

- the shower room window shall be a single side hung casement and
- the two larger windows shall be either side hung casements and fixed light with a central timber mullion or one over one top hung casements to reflect the configuration of simple sash windows.

The windows shall thereafter be retained in accordance with specified details.

Reason: To enhance the appearance of the Netherthong/Deanhouse Conservation Area and the visual amenity of the area and to accord with Policies LP01, LP02, LP24 & LP35, of the Local Plan and advice in the National Planning Policy Framework.

4. All external timber window frames shall be painted an off-white colour before the holiday let is first brought into use. All external timber window frames shall thereafter be retained painted an off-white colour.

Reason: To ensure that the proposed development are in keeping with the character and appearance of the Netherthong/Deanhouse Conservation Area and to accord with Policies LP01, LP02, LP24 & LP35, of the Local Plan and advice in the National Planning Policy Framework.

5. All rainwater goods shall have a black finish applied/retained before the holiday let is first brought into use.

Reason: To ensure that the proposed development is in keeping with the character and appearance of the Netherthong/Deanhouse Conservation Area and to accord with Policies LP01, LP02, LP24 & LP35, of the Local Plan and advice in the National Planning Policy Framework.

8. The holiday let hereby approved shall be let and occupied solely for the purposes of holiday accommodation and shall not be occupied as a main or principal place of residence. No person occupying the unit shall remain as an occupier for a continuous period of more than 28 days. Having vacated the holiday let no person shall return to occupy the holiday let unit overnight until a minimum period of 14 days has elapsed.

Reason: In the interests of residential amenity as the limited internal accommodation and lack of on-site facilities would not result in a good standard of amenity for future occupiers if this were to be used as a main or principal place of residence. This would accord with Policy LP24 of the Kirklees Local Plan and Policies in Chapter 12 of the National Planning Policy Framework.

NOTE: The Council's GIS system indicates that the property is within a bat roost area and may be present on site. Bats are a European protected species under regulation 41 of the Conservation of Habitats and Species Regulations 2010. It is an offence for anyone to

intentionally to kill, injure or handle a bat, disturb a roosting bat, or sell or offer a bat for sale without a licence. It is also an offence to damage, destroy or obstruct access to any place used by bats for shelter, whether they are present or not.

If bats are discovered on site development shall cease and the applicant is advised to contact Natural England for advice.

Plans and specifications schedule:-

Plan Type	Reference	Version	Date Received
Location Plan 1:1250	18/481/01		31.5.19
Block Plan 1:500	18/481/02		31.5.19
Existing layout & elevations	18/481/03		31.5.19
Proposed layout & elevations	18/481/04		31.5.19
Design & Access Statement			31.5.19

Pursuant to article 35 (2) of the Town and Country Planning (Development Management Procedure) Order 2015 and guidance in the National Planning Policy Framework, the Local Planning Authority have, where possible, made a pre-application advice service available, complied with the Kirklees Development Management Charter 2015 and otherwise actively engaged with the applicant in dealing with the application. The Case Officer did not undertake any negotiations with the applicant, save to agree the wording of conditions, due to the application being acceptable in its submitted format.

Building Regulations Approval is required for most work involving building operations and/or structural alterations. It is the applicant's responsibility to find out if the work permitted by this planning permission needs approval under the Building Regulations, and if necessary to submit an application. If you are not the applicant can you please ensure the applicant is aware of this requirement. Contact Building Control on Tel No: (01484) 221550 for more information.

It is the applicant's responsibility to find out whether any works approved by this planning permission, which involve excavating or working near public highway and any highway structures including retaining walls, will require written approval from the Council's Highways Structures Section. Please contact the Highways Structures Section on Tel No. 01484-221000 Ext 74199 for further advice on this matter.

Details Reserved by Condition

- This permission has been granted subject to conditions. Some of the conditions may require you to submit further details. These conditions normally contain the wording "submitted to and approved in writing by the Local Planning Authority".
- You can apply online for approval of these details at the Planning Portals website at www.planningportal.gov.uk. Alternatively the forms and supporting guidance for submitting an application can be found online at www.kirklees.gov.uk/planning.
- This Authority recognises the need to ensure that you are able to develop the site as effectively and flexibly as possible. However, at the same time it must ensure that development is in accordance with the terms of the planning conditions and legal agreement and the expectations of elected members and local residents set through the decision process.
- You should note the triggers for compliance with the conditions of this planning permission. This Authority is committed to processing applications to discharge conditions in a timely manner. It is important to ensure that submissions are made as far in advance of the trigger to allow time for adequate consultation, discussion and in some circumstances publicity.
- It is important that applications to discharge conditions are accompanied by sufficient information to enable this Authority and its consultees to fully consider and determine the proposals. Whilst officers will endeavour to negotiate solutions, failure to provide a comprehensive submission may result in delay and refusal of the application.
- If you commence work without discharging conditions you are at risk of enforcement action and invalidating your permission if the planning condition is a pre commencement condition.

ARCHITECTURE | PLANNING | DESIGN

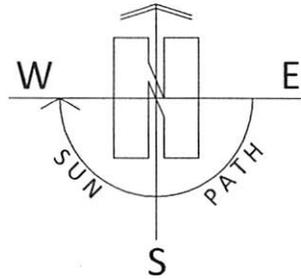
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Company Registration Number: 09898149 – Company Registered in England and Wales

Do not scale from drawing, use figured dimensions only.

All dimensions must be checked and verified on site prior to commencement of works and architect to be notified of any discrepancies.

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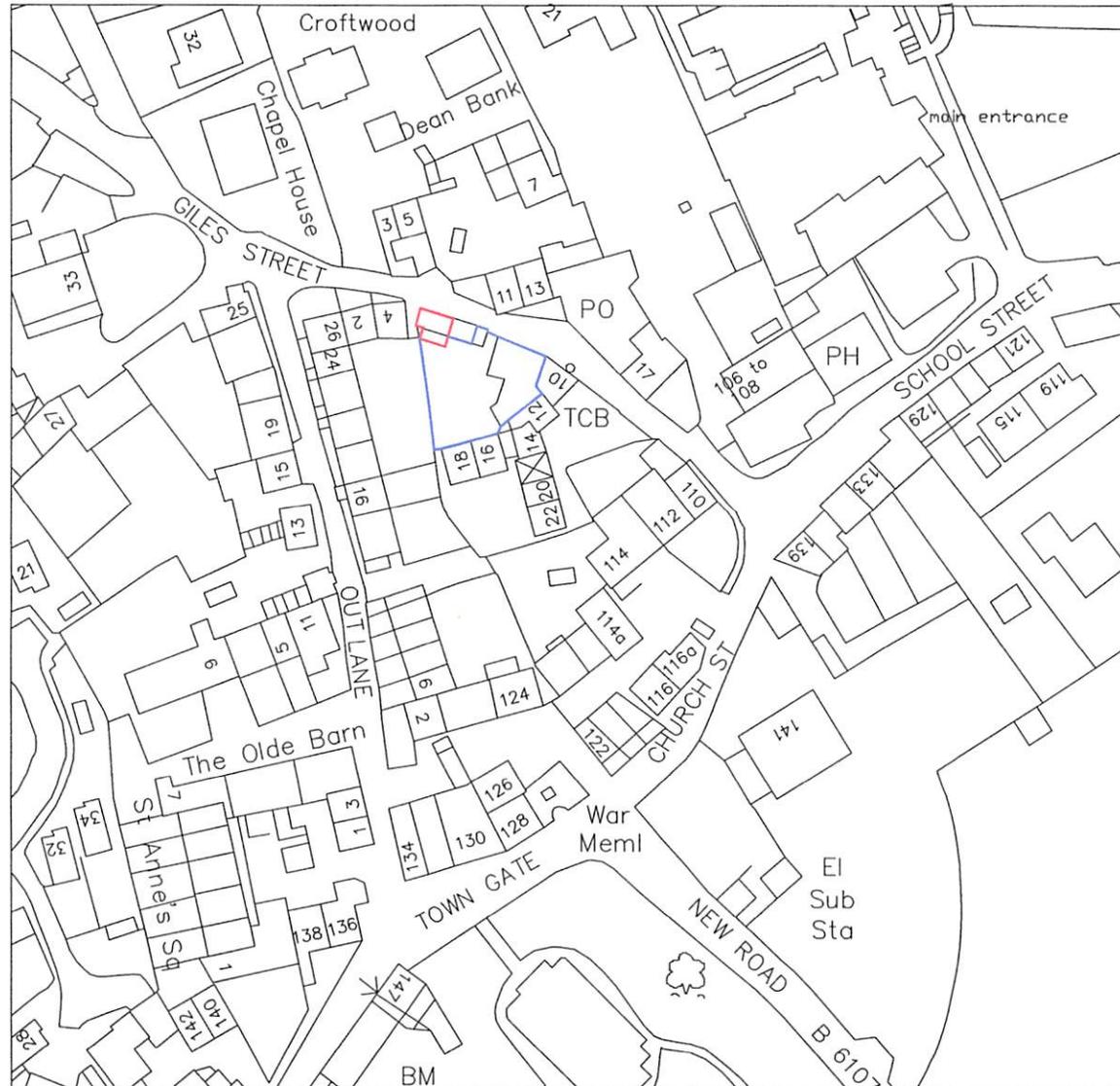
Project
 Change of use of Commercial Store (B1c) to Holiday Let (C3) at 6 Giles Street, Netherthong, Holmfirth, HD9 3EF.
 Client

K Engel & N Monday

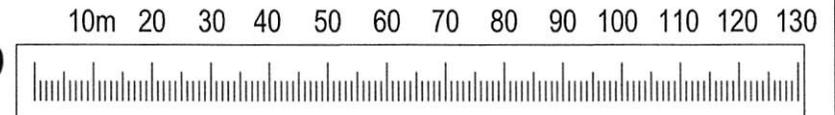
Drawing Title/Issue

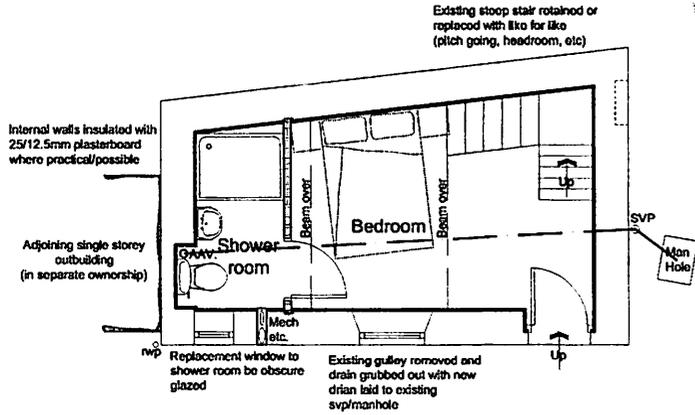
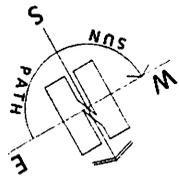
Location Plan

scale	date	sheet size	dwg. no.
1:1250	12/18	A4	18/481/01



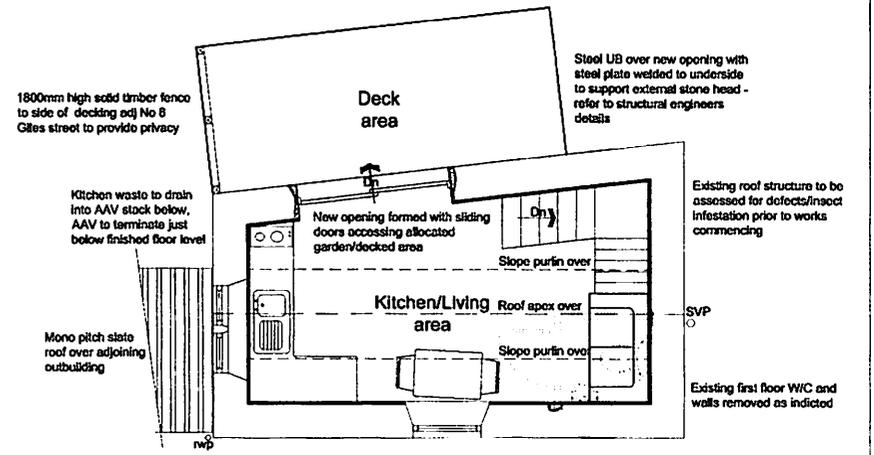
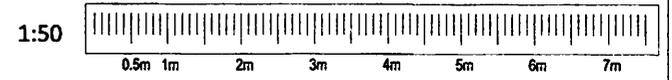
1:1250



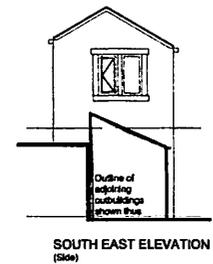


GROUND FLOOR PLAN

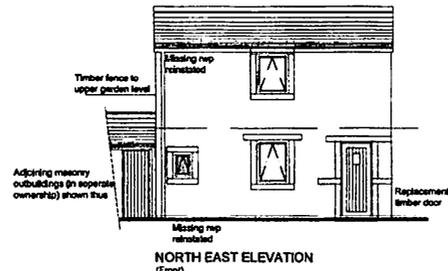
Approx location of adjacent property (4 Giles Street)



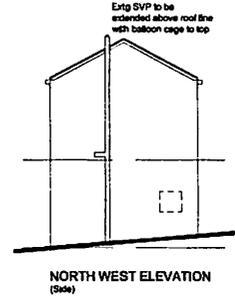
FIRST FLOOR PLAN



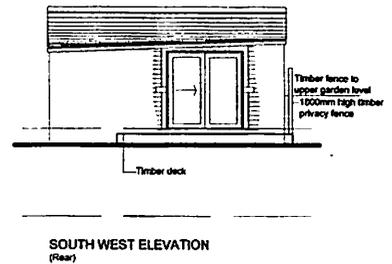
SOUTH EAST ELEVATION (Side)



NORTH EAST ELEVATION (Front)



NORTH WEST ELEVATION (Side)



SOUTH WEST ELEVATION (Rear)

ARCHITECTURE | PLANNING | DESIGN

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Company Registration Number: 0958149 - Company Registered in England and Wales

Project
 Change of use of Commercial Store (B1c) to Holiday Let (C3) at 6 Giles Street, Netherthong, Holmfirth, HD9 3EF.
Client

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Drawing Title/Issue

Proposed Floor Plans & Elevations

scale	date	sheet size	dwg. no.
1:100	02/19	A2	18/481/04
+ 1:50			



Paul Matthews Architects Ltd
 18/481/04
 Proposed Floor Plans & Elevations