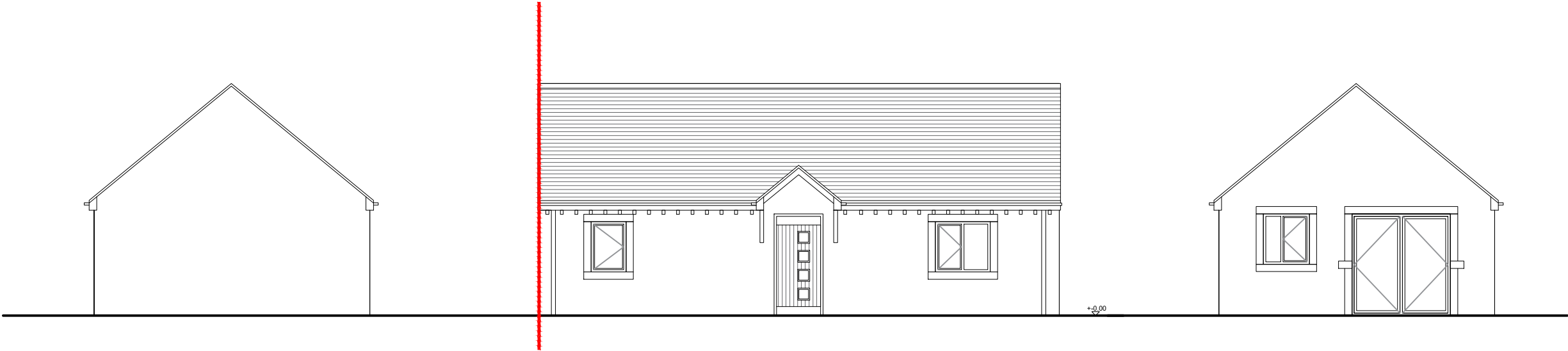




Side Elevation  
Scale 1:100

Front Elevation  
Scale 1:100

Side Elevation  
Scale 1:100

Elevation Notes

Escape widows (noted on Drawing 501) to have an unobstructed openable area that is at least 0.33m2 and at least 450mm high and 450mm wide. The bottom of the openable area is to be no higher than 1100mm from the local floor level.

All windows at first floor level to have easy clean hinges and be fitted with opening restrictors to the satisfaction of Building Control.

Refer to Drawing 501 of this pack for Door and Window Schedule.

Compliance with ADJ is required for the boiler extraction position.

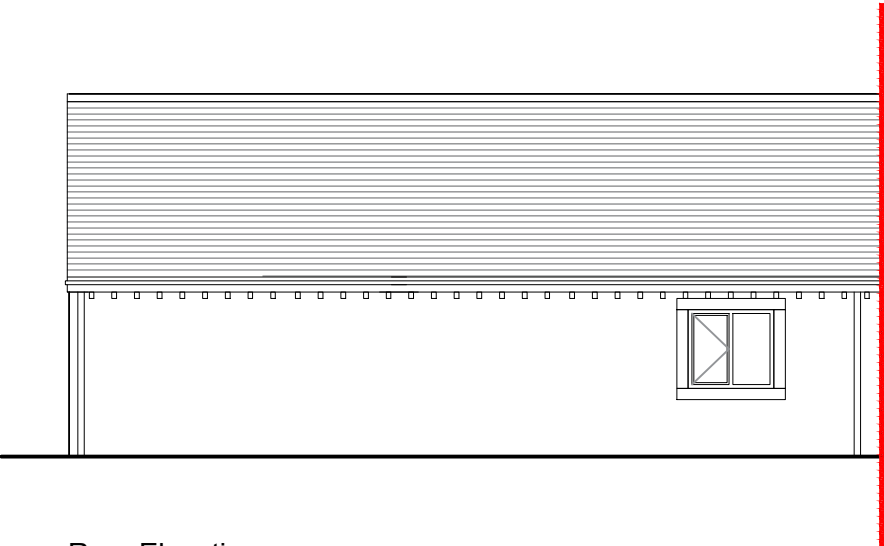
Cavity trays to be installed at DPC level, above flashing detail for the front canopy and offshot, above all lintels, above meter box installation and above all ducting penetrations through the external wall.

Weep holes in windows and doors, duct penetrations and meter boxes. Provide weepholes directly above tray dpc and be set at each end of the tray, at maximum 450mm centres. Each opening should have at least 2 No. weepholes.

Weep holes at DPC and above flashing level to be at maximum 1m centres.

Planning Drawing Notes

Type and style of all external materials, doors, windows and detailing such as the canopy are shown only indicatively on this drawing.



Rear Elevation  
Scale 1:100

eleven52architects

eleven52architects  
30 The Fairway  
Pudsey  
Leeds LS28 7RE  
T: +44(0)7958738229  
E: leeds@eleven52architects.co.uk  
W: eleven52architects.co.uk

Client:

Britology

Project Ref: 0389  
Project Name: Residential Development, Long Lane

Drawing Reference :  
0389\_LON\_0\_HT002

Title:  
House Type B1 - ELEVATIONS

|             |              |          |              |
|-------------|--------------|----------|--------------|
| Created By: | Reviewed By: | Date:    | Scale at A3: |
| KB          |              | 25.07.24 | 1:100        |

|           |                 |
|-----------|-----------------|
| Revision: | Revision status |
| *         | Planning        |

This drawing and its contents belong to eleven52architects Limited. We retain the Copyright and Intellectual property rights for all of the information contained within. We do not allow it to be copied, used, sent, shared or issued to anyone, in part or as a whole without our prior written consent.

Please note that our drawings should be used, read or viewed together with any other drawings, documents or information which we have intended to accompany it. It is unlikely that any drawing is intended to be used alone. The information may be produced by us but also may be produced by our sub consultants or other project team members. You should always check with us what information might be relevant that is not included here.

Whilst we produce all of our drawings to a recognised scale, you should take caution when measuring from reproduced or copied drawings. The process of printing can often lead to scaling errors in the actual printed document and you should always use figured dimensions when we include them. For all other occasions you should contact us for absolute clarity. We take no responsibility if you choose to work it out without us.

We make every attempt to make sure our drawings are accurate and complete however if you see a discrepancy or have any other queries then you should always contact us on the numbers or e mail address detailed before acting.