

**Consultation Response from Mike Hibbert,
KC Waste Strategy(Refuse & Recycling)**

2024/91476 Clough Farm, Long Lane, Earlsheaton, Dewsbury, WF12 8LQ

Erection of 20 dwellings and 6 quarter houses

Date Responded: 10/07/2024.

Responding Officer: Mike Hibbert

Responding Ref: WPN 24-015

NOTES/COMMENTS:

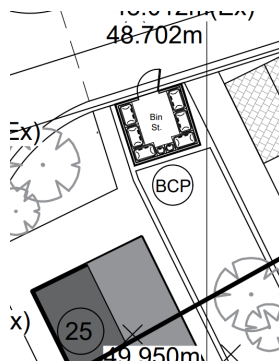
The following comments are made without prejudice and purely from the point of view of the Waste Collection Authority. They are intended to help create an environment that functions safely and efficiently for waste management; and reduce the negative impacts of bin blight on the neighbourhood. Addressing these will also enable the proposal to better meet the policy requirements of LP24 part d (vi), LP43 and the Kirklees Highway Design Guide SPD in respect of refuse collection. Ultimately this will be to the benefit both residents and the Authority for the life of the development.

The proposal is for a mix of 26 dwellings. The applicant has submitted proposed site layout is detailed on Proposed Site Plan Drwg No 0389_LON_103 Rev C dated 28.02.2024.

Waste storage and presentation:

- It is welcomed that the plan shows the storage location for three wheeliebins for each dwelling. These are in the rear garden of each property, except for plots 23-25 that have a communal store.
- Guidance indicates the storage footprint for a 240ltrs wheeliebin is 940mm x 780mm with enough room to allow removal of the bin from the storage location. The floor plan for storage must be large enough to accommodate 3 x240ltrs bins for each dwelling.
- Preference is for storage of waste bins in rear gardens. For plots where bin storage is in the rear gardens gated access should be shown to be secure, gates wide enough to pass through and the route between the rear gardens and the front access road must not require residents to pull bins up/down gradients of more than 1:12.
- Plots 6, 11, 16 and 19 do not appear to have access between the rear garden and the highway as the dwellings are at the centre of a terraced block. This arrangement restricts the access to rear gardens/ bin storage or creates long convoluted access paths. The WCA would strongly favour providing a means of access direct to rear gardens such as ginnels through blocks.
- If bin storage in rear gardens is not possible, details are required for the design and location of bin stores to the front of houses. These must be screened as they will impact on Streetscene and should avoid wheeliebins being left adjacent to doors and under windows. Details of bin stores would be required.

- The dwellings on plots 23, 24 and 25 appear to have a communal bin store and Bin Collection Point (BCP). Provision of individual bins for each household is preferable to larger communal bins.



- The Communal bin store will require screening and be sufficient size and will be gated opening to enable access to the bins. Confirmation is sought about the construction specification, materials, etc
- On sites such as this, waste storage and collection can require careful consideration and the identification of space within the site layout is critical. As such, the details of these arrangements must not be left to Planning conditions.
- Consideration must be given to the process of waste collection for properties that are occupied before the whole site is complete. Temporary measures may be required to allow waste to be stored/presented at an accessible location adjacent to the nearest adopted highway. The Authority will not enter construction sites for the purpose of domestic waste collection. A pre-occupation condition will be required to address this and any other outstanding waste collection details.

Refuse Collection Vehicle access:

With regards to turning circles and sweep analysis colleagues in Highway Development will be able to provide more informed comments but the following observations should be addressed:

- Suitable site access and manoeuvrability space for a large Refuse Collection Vehicle is vital to the Council's ability to discharge its obligation to collect waste from domestic properties. This obligation will exist in perpetuity on any residential development and as such, manoeuvrability must be demonstrated from the outset.
- The site plan shows a turning head adjacent to Plot 8. The turning facilities must be demonstrably sufficient for an 11.22m refuse collection vehicle and active measures will be required to ensure the area is not blocked by parked cars.
- The turning head at the Eastern end of the site in front of Plots 13 to 16 must be shown to be sufficient to enable an RCV to turn around. Reversing is a recognised safety risk for crews and pedestrians. **The Waste Industry Safety and Health (WISH) Forum guidance states "Reversing causes a disproportionately large number of**

moving vehicle accidents in the waste/recycling industry. Injuries to collection workers or members of the public by moving collection vehicles are invariably severe or fatal. BS 5906: 2005 recommends a maximum reversing distance of 12 m.” If the turning head is blocked this would entail reversing along the access road towards the site entrance that would be unacceptable.

- Swept path analysis must show the manoeuvrability of this vehicle throughout the site, demonstrating the safe passing of other vehicles likely to be using the road – either parked or moving.

Full detailed guidance on waste management requirements can be found in in the [Kirklees Waste Management Design Guide 2020](https://www.kirklees.gov.uk/beta/planning-applications/guidance-and-advice-notes.aspx) (available on the Planning advice notes page at: <https://www.kirklees.gov.uk/beta/planning-applications/guidance-and-advice-notes.aspx>)

Waste policy context:

- Local Plan Policy LP24 (part d.vi) and National Planning Policy for Waste (para 8) by –“incorporating adequate facilities to allow occupiers to separate and store waste for recycling and recovery that are well designed and visually unobtrusive and allows for the convenient collection of waste”
- Local Plan Policy LP43 Waste Management Hierarchy “The council will encourage and support the minimisation of waste production and support the re-use and recovery of waste materials including, for example, recycling, composting and Energy from Waste recovery”.
- Local plan Policy LP15 – residential use in town centres part h: provision of refuse storage and collection.
- Scheme design should conform to Building for a Healthy Life (2020); Building Regulations 2010 part H6; and British Standard 5906:2005 Waste Management in Buildings Code of Practice.

Further advice on Highway matters is contained in the [Kirklees Highway Design Guide SPD](https://www.kirklees.gov.uk/beta/planning-policy/adopted-supplementary-planning-documents.aspx) which can be found at <https://www.kirklees.gov.uk/beta/planning-policy/adopted-supplementary-planning-documents.aspx>