



Design and Access Statement

0389 - 900_P1
Planning Issue
MAY 2024

0389-900

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P1 Issue 06.05.2024

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This Design and Access Statement has been prepared by eleven52architects in support of a planning application with means of access for residential development on behalf of Britology.

The site subject to this application is located off Long Lane, Earlsheaton.

The purpose of this report is to demonstrate the considered design assessment, which has led to the formal submission of a planning application to Kirklees Council as local planning Authority ('the LPA'). Essentially the assessment has involved a visual appraisal of the development site and the proposal in the context of the character and appearance of the wider context of Earlsheaton

The proposed development relates to the development of the land adjoining Long Lane, Earlsheaton.

As a consequence of the wider character of the assessment, a development proposal has been produced which we believe successfully reflects the better vernacular buildings of the locality. The character and appearance in the immediate context will be significantly enhanced by the development proposals and consequently invite support from the LPA.

Our intention is to deliver a secure and sustainable development of modern family homes in a safe, green and welcoming environment.

Achieve this vision through careful design and communication with the local authority and residents without preconception of the possibilities for this site.

The site has a previous approval for 16 units with a planning reference 2021/62/94364/E. This application was lead by Jon Dunbavin at ID Planning.



Located within the Earlsheaton district of Dewsbury the site is accessed from Long Lane.

Long Lane forms a 'lane' type avenue where properties either abut or are set back from the carriageway, mainly brick or stone built with concrete or slate roofs. Any recent new developments have continued this form of construction.

Front boundaries are often enclosed with hedging, fencing or walls which partially screen property frontages.

Along Long Lane with its junction with Town Street residential properties are interspersed with commercial and retail outlets that support the local community. The whole of Earlsheaton and the surrounding districts are well served by shops, community facilities, communication links and schools

Bus stops are located on Town Street some 600 M from the site which provides regular bus services to both, Leeds, Dewsbury and surrounding settlements. Dewsbury train station lies some 1.16 miles West of the site and Ravensthorpe station lies some 1.73 miles West of the site.

Within easy walking distance local shopping and a post office can be easily accessed via Long Lane leading to Town Street and the Earlsheaton area which includes Schools, Supermarkets. Public Houses and other associated domestic need outlets, providing an array of shopping. Dewsbury lies to the west of the site a distance of some 1.56 miles.

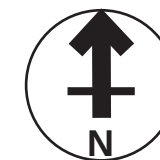
The proposals therefore accord with the LPA's requirements in terms of sustainability and access to wider area.

3.0 The Site - Local Analysis



- Legend:

 - Primary Site Access
 - Sloping site at the perimeter
 - Existing site boundary
 - Key views from the development site
 - Potential Views into the Site
 - Retained Tree Cover
 - Line of existing water course



The site is currently served via a private access leading from Long Lane.

Local historical development defines the character of the area.

There are several trees around the perimeter of the site some of which are to be retained, see arboricultural report accompanying the submission.

Existing boundary walls, fences and hedges are to be retained wherever possible to retain character of the development site.

The area comprises mainly of residential properties with private amenity space and parking/garaging facilities.

Both the Northern and Southern boundaries are common to both the development and the adjacent to residential development, all existing arboricultural feature such as hedge rows and tree are to be retained.

The western boundary provided the primary access opportunity from Long Lane into the site. Long Lane, currently, provides access to a limited number of properties and was previous used to access the water treatment works further down the valley. This access is no longer used.

The eastern boundary, at the bottom of the site, is identified by Chickenley Beck, a free flowing water course within a woodland setting. This area has limited access with natural pathways established.

In summary, the site offers an opportunity to contribute to the local environment and economy in an area where additional sustainable residential development is greatly needed.



Key Features

- Significant Tree covering and vegetation to the perimeter of the site.
- Site is bounded Long Lane and Chickenley Beck and links to the M62 and M1.
- No specific character on site.
- Limited footpath access around the site.



Key Features

- Semi-detached and bungalows
- 2 Storey dwellings
- Gable roofscape
- Developer lead development with irregular spacing between properties to maximise unit numbers.
- Red and Buff brick and grey / brown tiles to roof
- Generally set back from the road frontage providing limited front gardens to properties due to parking requirements.
- Gardens generally clearly defined, general landscaping defined by low walls or railings.
- Generally off street parking with drives and garages
- Horizontal emphasised windows of uniform styling styles



Key Features

- Terrace and Semi-detached forms.
- 2 and 3 storey dwellings.
- Hips and gabled roofscape.
- Materials are Red and Buff brick with grey tiles to roof. Limited stone and artstone detailing.
- Limited developer housing with generally well proportioned gardens.
- Mix of on street and off street parking with driveways.
- Significant access to green space at the lower end of the site.



Key Features

Materials

Examples of stone, cream render, red/buff brick or a combination. Heads and cill details are on older properties and where present these are in keeping with the primary construction. Window styles vary in terms of style. There are examples of horizontal and vertically emphasised windows. Roof Tiles are generally grey or dark brown.

Boundary Treatments

There are a range of boundary treatments ranging from low walls, fences and landscaping.

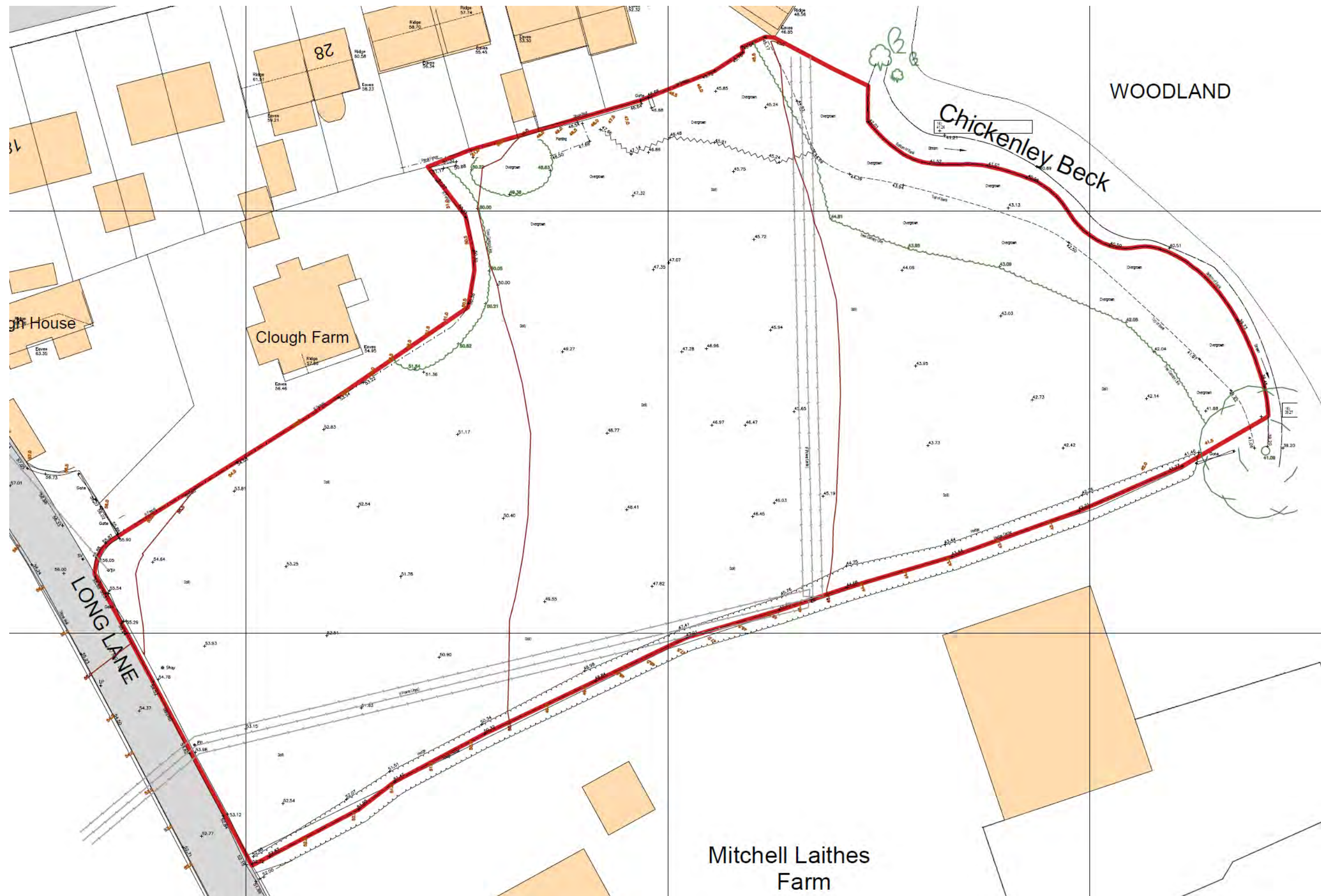
Car Parking Solutions

Existing parking solutions vary within the locality with examples including: on-street, drives and garages.

Architectural Styles and Features

The surrounding buildings display a diverse mix of construction. Architectural detailing such as eaves details, heads and cills are found within the older terraced properties. The predominant height is 2 storeys though some 3 storey developments is present.







The site is located within a varied settlement where residential, educational and commercial uses co-exist.

This range of building types and uses emphasizes the vibrancy and sense of community within the area.

Good communication links both in terms of road networks and bus routes have encouraged new development within the immediate areas. Examples of this can be seen immediately adjacent the site where new residential development has been introduced which reflects the vernacular character of the surrounding area.

Commercial office and light industrial uses have been encouraged in the Batley, Dewsbury and Earlsheaton areas which contributes to the wider community in terms of providing local facilities and employment and consequently reduce the need for car ownership. Educational and residential choice is consistent with the emerging patterns of development within the area.

The proposals respond to the sites characteristics and topography. Generally two storeys set back from their respective boundaries and provide private amenity space within the curtilage of each property.

The proposed building materials will comprise of artificial stone and some rendered areas to external walls, artificial stone and slate roof tiles, and white pvc-u windows with art stone head and cills and other architectural features.

Hard landscaping will include a limited amount of tarmac with pavior surfacing forming the main surfacing to the vehicular access, and drives. The proposed landscaping will contribute to the boundary planting and setting.

Residential development provides an opportunity for local employers of which there are many, to recruit locally and for development to contribute positively to the vibrant local economy.



5.3 LAYOUT

The proposed development submitted for planning approval has been designed through reference to the notion of the suburban development, in style and in plan.

- Emphasising the streetscenes prevalent along Long Lane and the surrounding estates.
- Orientation of fronts and backs of buildings adjoining the site respected. Within the development the proximity to neighbours is reduced to replicate the gardens within the area.
- Direct relationship between buildings, each other and the local topography.
- The development site has been subdivided into two smaller pockets of development.
- The urban grain dictates the ratio of buildings to open space, the relationship between buildings, roads and view corridors.
- Dynamic rhythm and building pattern generated by the topography.

All existing local features are to be retained and enhanced, including the integration of the dry stone wall and boundary treatment, and also to maximise positive external space.

Plot 1 will also front Long Lane. It has been designed to address Long Lane in a similar fashion to the existing properties, and is nestled between the existing farmhouse and local farmstead next our site. Designed in a sympathetic style to complement the neighbouring properties, creating a definitive entranceway to the development.

The other plots have been set out, not only to create a suburban setting, but also to address the constraints of the topography and the natural fall of the site towards Chickenley Beck. The elevational treatment and way in which the homes are laid out has also been designed to consider the character of the area heading towards the water treatment works.

The plots central to the development have been designed in a way to appear like 3 larger family units. Since the units are set at a lower level within the landscape it was felt that a larger apartments appearing as family home would be viable here from an economical point of view, as such these units will provide a more affordable 2-bedroom option that would perhaps suit a professional or retired couple.

5.4 SCALE AND MASSING

It has been considered that the homes should be generous in size to offer family living over 2-storeys corresponding to the size of the homes in the immediate context.

As such they have been designed in a style to reflect the existing vernacular within Ealsheaton and as a result their scale, proportions and massing will sit within their context without causing any negative impact to the existing surrounding setting.

The remaining homes have been designed to reflect the neighbouring properties and style prevalent in the village.

5.5 MATERIALS

The final design for the development has been created using the following palette of materials and design styles to create a scheme that will sit harmoniously within Earlsheaton. These include:

- Natural coursed stone walls.
- Natural stone Cills, Heads & Kneelers.
- Stone Slate Roofs.
- UPVC Windows and Doors – Heritage Sage green.
- Conservation rooflights.
- Aluminium Rainwater pipes & gutters – Black.
- Hard landscaping using – Crushed Stone/ stone paving.
- Dry stone wall boundaries.
- PV or Solar Water Panels on roofs.

5.6 LANDSCAPING

Contrasting darker grey setts will be used to demarcate areas such as reinforcing private/public boundaries/ carparking spaces etc. The paved areas in front of the dwellings will be laid with a slightly more contemporary buff oblong artstone paver.

Dry-stone walls will be used sparingly within these areas, to create further layers of privacy to the homes. With higher stone walling between buildings to have archway style openings and full door height gates.

The use of street trees and planters to individual plots will soften the courtyards, and also provide further layers privacy and demarcation to each home.

The homes themselves have large gardens. Traditional timber fencing will separate these gardens, whilst the final site boundary will remain as dry stone walling. The extent of the garden area to each home is defined by the existing boundary.

5.7 SUSTAINABILITY

Double glazing, high levels of insulation and good air tightness will help ensure the good thermal performance of the building shell, minimising carbon emissions. This will also be enforced by the installation of high performance/highly efficient boilers.

Energy consumption will further be minimised by ensuring that all white-goods supplied are A+ rated. Water consumption will be helped by the installation of airtapped taps and low/variable flush toilets. Moreover the building will have to comply with the new Part L requirements that require a high standard of thermal and energy efficiency.

Internal partitions will be timber where possible, one of the most sustainable building materials and also allowing maximum adaptability for future use. The floor to ceiling heights will be 1 sheet of plasterboard to allow minimum site wastage, and the contractor will operate a waste recycling scheme and also ensure all products used are FSC certified or recycled where possible (at least A rated in the Green Building guide to materials).



View 1



View 2



View 3

Secure Design

- 6.1 Good urban design produces safe and sustainable developments that future generations will want to uphold. Natural surveillance and defensible space are the key elements that are needed to achieve this. The scheme proposes outward facing development that provides for continuing surveillance.
- 6.2 The layout utilises natural surveillance and the overlooking of public spaces by the houses rather than an over reliance on fencing or gates which can be fortress like in appearance. Boundaries that adjoin footpaths or highway are proposed as green screens, which provide a soft aesthetic to the street scene but also act as a robust treatment.
- 6.3 The layout of the development proposed would add to and create streets that are well used. Dwellings have accommodation and fenestration that address the street and therefore provide an active frontage to both encourage social and discourage anti-social behavior.
- 6.4 The scheme tries to introduce active frontages on all sides of the buildings to provide protection and natural surveillance to the adjacent landscaped areas. The landscape has been developed to provide integrated buffer zones at the bases of all buildings. This is achieved by continuing the landscape and planting zones to the edge of the buildings and locating pathways away from the facades in the open space. Private garden spaces provide a buffer from any adjacent public open space.
- 6.5 The team has developed the scheme to incorporate the ACPO Secure By Design principles of designing out crime and crime prevention. The proposal intends to create a safe and inclusive environment for public use. As part of this the design has been prepared with security, safety and the avoidance of public nuisance in mind.
- 6.6 Inadequate lighting leads to an increased fear of crime and more opportunities for anti-social behaviour. The lighting levels proposed to be incorporated within the ECV scheme will comply with British Standards and a variety of lighting sources will be deployed for each of the spaces with different characters and accommodating different uses, supporting different activities whilst respecting the residential nature of the open space in the evening.



The layout demonstrates a high quality design that relates well to the sites setting and what can be accommodated when the site is fully developed. The scheme creates a good quality residential environment and provides additional facilities for the residents without prejudicing the amenities or the occupiers of existing dwellings.

The proposals are considered appropriate and complimentary to the surroundings and therefore in accordance with the requirements of the environment and building design.

There are a range of transport polices that apply to the development all of which can be compiled with. These include:

- Adequately served by existing or programmed highways
- Adequately served by public transport and taxi services
- Within walking distance of local facilities.

It is considered the site represents a natural infill to the existing built up area of Earlsheaton. The form of development proposed is compatible with the scale and character of the original area and surrounding buildings. It is evident that the proposals are within the capacity of the existing infrastructure of the area. The proposals have no adverse effect on the urban green corridor or other open space.

The development proposed has been designed with specific regard having been given to the character and constraints of the site and of the surrounding area. It provided a sympathetic development that respects the character and appearance of this part of Earlsheaton while enhancing the visual amenities of the site and the amenities of adjoining properties.

The proposal has a number of significant benefits deriving it for the following reasons:

- The site enjoys a sustainable location where public transport and local services and facilities are available.
- The scheme would generate environmental gain through the creation of an attractive residential development, benefiting not only visual but also residential amenity.

It is considered that the scheme satisfies national, regional and local policy and represents a suitable redevelopment proposal for the site that addresses all the relevant and material considerations. In this context, the proposals satisfy the Planning material considerations and we would invite Local Authority to assess and support this application.

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