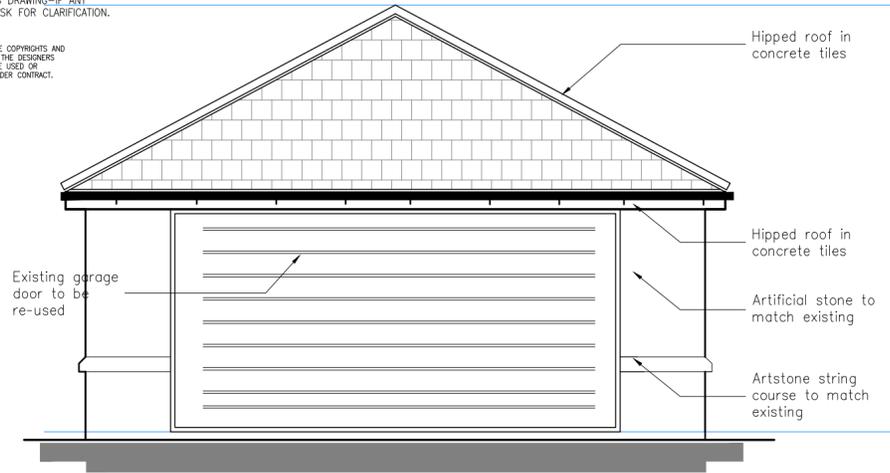


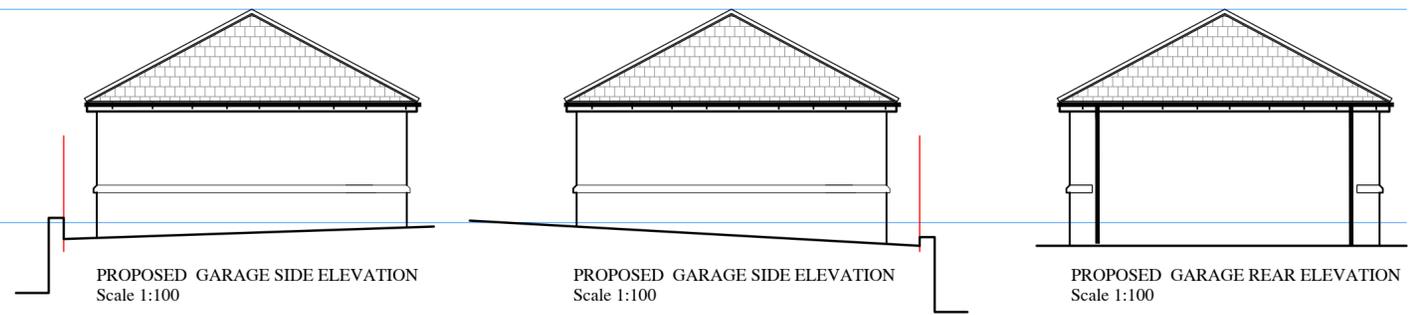
NOTES:

1. CONTRACTORS AND SUB-CONTRACTORS MUST CHECK AND AGREE ALL DIMENSIONS BEFORE PREPARING SHOP DRAWINGS OR COMMENCING WORK ON SITE.
2. CONTRACTORS ARE RESPONSIBLE FOR INFORMING THE DESIGNER OF ANY DISCREPANCY DISCOVERED ON THIS DRAWING OR BETWEEN THIS DRAWING AND ANY OTHER RELATED DOCUMENTS WORK TO BE CARRIED OUT AS SHOWN ON THIS DRAWING.
3. WRITTEN DIMENSIONS ONLY ARE TO BE USED FROM THIS DRAWING—IF ANY DOUBTS EXIST—ASK FOR CLARIFICATION.

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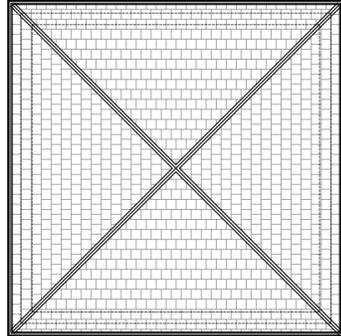
PROPOSED GARAGE FRONT ELEVATION
Scale 1:50



PROPOSED GARAGE SIDE ELEVATION
Scale 1:100

PROPOSED GARAGE SIDE ELEVATION
Scale 1:100

PROPOSED GARAGE REAR ELEVATION
Scale 1:100



PROPOSED ROOF PLAN
Scale 1: 100

REAR EXTENSION

PREPARATION AND PROTECTION
PROVIDE ALL NECESSARY SCAFFOLDING, ACCESS LADDERS AND TEMPORARY PROTECTION AND WORKING PLATFORMS. FOR THE EXTENSION, WHICH ARE TO BE ERECTED MAINTAINED AND DISMANTLED BY QUALIFIED INSURED SPECIALISTS. ANY ASBESTOS IS TO BE INSPECTED BY A SPECIALIST, REMOVED AND DISPOSED OF OFF SITE BY SPECIALIST LICENSED CONTRACTOR IN COMPLIANCE WITH THE CONTROL OF ASBESTOS REGULATIONS 2006. EXISTING WALLS AND FOUNDATIONS (EXTENSION ONLY) TO BE INSPECTED AND CONFIRMED AS SUITABLE FOR ADDITIONAL LOADING. ALL STEEL WORK TO BE ISSUED WITH A STRUCTURAL REPORT DETAILING STEEL TYPE, SIZE, SPAN AND ALL LOADINGS. ALL TIMBERS TO REMAIN DRY OR MUST NOT EXCEED A MOISTURE CONTENT OF 22%

WALLS
SITE CLEARANCE AND PREPARATION
REMOVE ANY DEBRIS FROM SITE AND STRIP VEGETATION MATTER BACK. EXCAVATE EXISTING GROUND TO A SUITABLE DEPTH TO ESTABLISH GROUND CONDITION.

THE FOLLOWING FOUNDATIONS ARE A RECOMMENDATION ONLY. AND ARE SUBJECT TO SITE GROUND CONDITIONS

FOUNDATIONS
RAFT FOUNDATIONS TO BE DESIGNED BY STRUCTURAL ENGINEER AND FULL DETAILS TO FOLLOW NOTE ANY NEW/EXISTING DRAINS TO BE LINTELLED OVER.

OUTR LEAF
MATCHING ARTIFICIAL STONE WITH ARTSTONE STRING COURSE TO MATCH EXISTING.

INNER LEAF
COMPRISING 25mm CAVITY 7 k/n m2 BLOCKWORK DOOR REVEALS TO BE CLOSED OFF AND COMPLETE WITH VERTICAL DPC. CAVITY WALL TIES TO BE STAINLESS STEEL VERTICAL TWIST TYPE, PROVIDED AT 450 mm VERTICAL AND 750 mm HORIZONTAL CENTRES AND 225 mm VERTICAL SPACINGS TO REVEALS. INTERNAL LINTELS TO BE INSULATED. INSTALL PARALELL SECTION ABOVE GARAGE DOOR WITH A WELDED PLATE COMPLETE WITH CAVITY TRAY ALL DESIGNED BY STRUCTURAL ENGINEER. CAVITY TRAYS TO RUN UNDER ALL EXTERNAL LINTELS AND BRIDGED CAVITIES PROVIDE TWO NUMBER PROPRIETARY CAVITY TRAYS TYPE W WEEPHOLE VENTS TO EACH CAVITY TRAY AS MIN.

GARAGE FLOOR
GROUND FLOOR FINISHED WITH 150mm C30 READY MIX CONCRETE ON 1200 GAUGE DPM TURNED UP AT EDGES AND CONTINUOUS WITH WALL DPC'S ON 50mm SAND BLINDING & 150mm LAYERS OF CLEAN WELL COMPACTED HARDWARE.

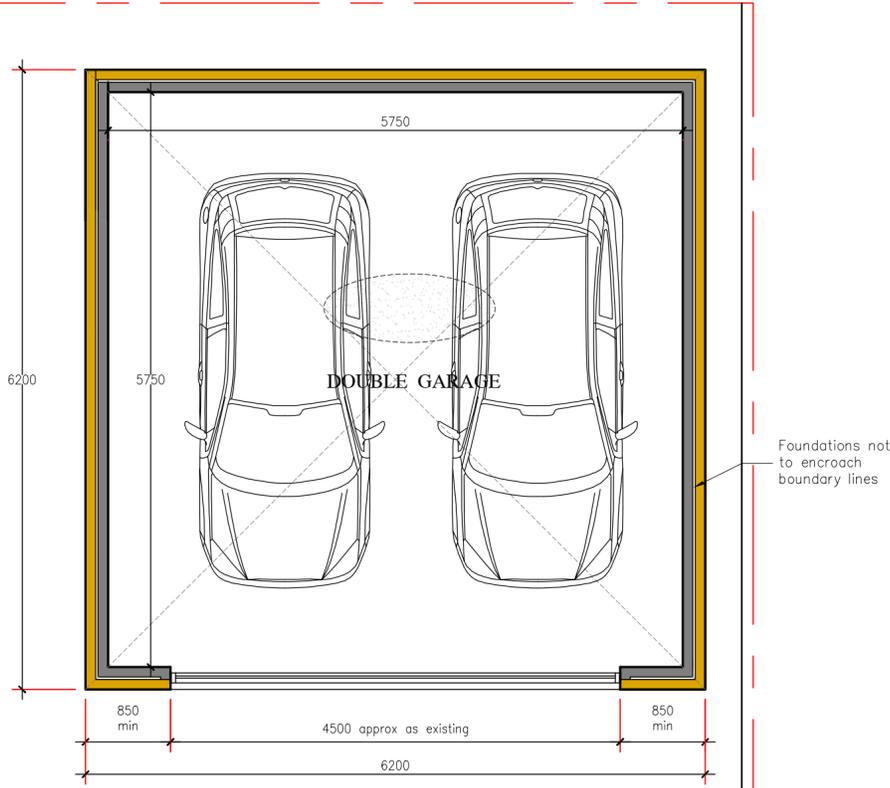
HIPPED ROOF
LAY APPROVED TILES FIXED THROUGH TO 38 X 25mm TANALISED TREATED BATTENS. BATTENS TO BE FIXED AT REQUIRED GAUGE OVER COUNTER BATTENS ON VAPOUR PERMEABLE ROOFING MEMBRANE TO BS747 WITH 75 mm HEADLAP AS MIN. ALL FIXED TO NEW PREFABRICATED ROOF TRUSSES @ 600mm max. cts SET AT 28 DEGREES COMPLETE WITH LOOSE HIP KITS ALL DESIGNED BY OTHERS AND SECURED TO WALL PLATES WALL PLATES FIXED TO INSIDE LEAF USING GALV M.S STRAPS AT 2.0m cts WITH LATERAL RESTRAINT STRAPS OVER FIRST THREE JOISTS AND TURNED DOWN INTO CAVITY CLAD CEILING WITH 12.5mm CEMENT BOARD AND SKIM INSULATE WITH 2 LAYERS OF 200mm MINERAL WOOL BETWEEN AND OVER JOISTS.

FIXTURES AND FITTINGS

LIGHTING & ELECTRICS
FIT 4 No LED STRIP LIGHTS

FIT 3 DOUBLE SOCKETS TO THE REAR OF THE GARAGE QTY'S TO BE CONFIRMED

ALL ELECTRICAL WORK AS CONDITION TO MEET THE REQUIREMENT OF PART P (ELECTRICAL SAFETY) MUST BE DESIGNED, INSTALLED, INSPECTED & TESTED BY A PERSON COMPETENT TO DO SO.
ACCESSIBLE SOCKET & SWITCHES OUTLETS:
ALL SOCKET & SWITCH OUTLETS IN HABITABLE ROOMS TO BE AT MIN. 450mm & MAX. 1200mm ABOVE FINISHED FLOOR LEVEL.



PROPOSED GROUND FLOOR PLAN
Scale 1:50

PLANNING DIMENSIONS

6.2 x 6.2m Detached garage
Eaves height less than 3.0m
Max height 4.4m

PLANNING MATERIALS

Artificial stone to match existing
Concrete tiles to match existing
Match upvc double glazed units
Garage door to be re-used

P.D ARCHITECTURAL SERVICES

Plans drawn for local authority approval

- Domestic Extensions
- Loft Conversions
- New garages / Conservatories
- New Homes

Tel: 07867784564

Free Consultation / Survey

Project: PROPOSED GARAGE PLANS

Title: PROPOSED GARAGE CONVERSION AND CONSTRUCTION OF NEW DETACHED GARAGE AT 37 OAKLANDS CRES HUDDERSFIELD HD2 2FX

Client: Mr K MORAN

Scale: 1:100 & 1:50	Drawn: P.M.	Rev
Date: APRIL 2024	PDA 24-044-001.	A