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Kirkby Grange Hall, Flockton, Wakefield, WF4 4AQ

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## Heritage, Design & Access Statement

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## CONTENTS

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1.0	Introduction & Description of The Project	3
2.0	History & Significance of Kirkby Grange Hall	5
3.0	Current Condition	14
4.0	Proposals	19

## 1.0 INTRODUCTION & DESCRIPTION OF THE PROJECT

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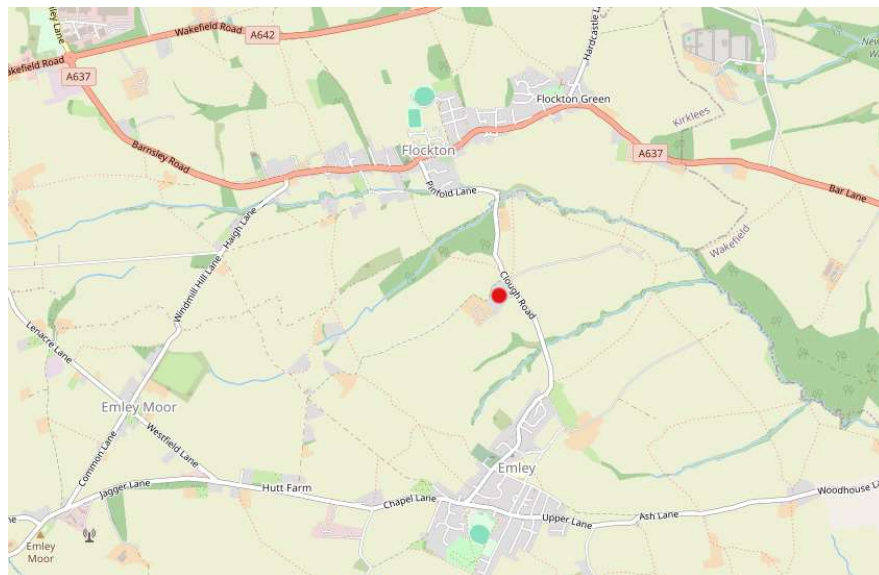
### 1.1 Introduction

This document forms the heritage, design and access statement for the proposed works to Kirkby Grange Hall. It includes details regarding location, the history of the house, its current condition and proposed work.

The purpose of this document is to set out the rationale behind the proposals. This document is to be read in conjunction with the Schedule of Works and application drawings/information.

### 1.2 Location

Kirkby Grange Hall is located between the villages of Flockton and Emley within the district of Kirklees. The site is not in a conservation area. There are no public rights of way across the site.



*Above: OS Map showing location of site in red*

### 1.3 Kirkby Grange Hall

Originally, Kirkby Grange Hall was 1 private property. Today, the building is divided into 3 private properties; Kirkby Grange Hall (the application property), Kirkby Grange Farm and Grange Cottage.

#### **1.4 Description and proposals to the project**

Kirkby Grange Hall is a stone, 17<sup>th</sup> century, Grade II listed building which is due to undergo a series of repairs and alterations. The clients have owned the property since 2006 and are seeking to gain listed building and planning consent for proposals which include;

- Replacement of the modern (circa 1992) front door
- Replacement rooflights
- Replacement rainwater goods
- Replacement windows (single glazed to double glazed)
- Internal layout changes to house bathroom
- Replacing/repairing stonework within window arrangements
- Stone management and re-pointing

#### **1.5 Application Documents**

This document is to be read in conjunction with the Heritage, Design & Access Statement, Window Schedule and along with the existing and proposed drawings for the repair work.

#### **DRAWING PACKAGE**

<b>Drawing number</b>	<b>Title</b>
547/01(02)001	Site Location Plan
547/01(02)100	Existing Floor Plans
547/01(02)200	Proposed Floor Plans

## 2.0 HISTORY & SIGNIFICANCE OF KIRKBY GRANGE HALL

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### 2.1 Listed Building Record

Kirkby Grange Hall's heritage significance is recognised in its Grade II listing:

<https://historicengland.org.uk/listing/the-list/list-entry/1135292?section=official-list-entry>

Heritage Category: **Listed Building**

Grade: **II**

List Entry Number: **1135292**

Date first listed: **28-Mar-1965**

Date of most recent amendment: **14-Aug-1985**

List Entry Name: **KIRKBY GRANGE HALL**

Statutory Address 1: **KIRKBY GRANGE HALL, CLOUGH ROAD**

Statutory Address: **KIRKBY GRANGE HALL, CLOUGH ROAD**

The building or site itself may lie within the boundary of more than one authority.

District: **Kirklees (Metropolitan Authority)**

Parish: **Denby Dale**

National Grid Reference: **SE 24524 14222**

#### Listing Description

*SE 21 SW CLOUGH ROAD Emley 1/24 Kirkby Grange Hall 29/3/65 (formerly listed as Kirkby Hall, Kirkby Lane)*

*II*

*Large house, now divided. Circa 1606 for Sir Richard Assheton of Middleton, Lancashire, for his second son Ralph. C18 and recent alterations. Hammer dressed stone. Quoins. Stone slate roof (turned, and lowered in parts). Altered stacks, originally ashlar. Two storeys and attic. U-shaped plan with 2 facades at 90° and two projecting wings at rear. The two facades are similar in character each with a gable to right and of 3 bays with entrance between 1st and 2nd bays. The main entrance on south side has elaborate lintel with scrolls and shields and in raised letters, LAUS DEO. Bays of double chamfered windows, mullioned and transomed, arranged: 10, 6 and 10- light on south side, and 10, 6 and 14-light on east side. Each gable apex has a 3-light window. Continuous drip mould over ground and first floors. Wing on north side mainly altered and roof lowered.*

*Arched fireplace, 10 ft. 6 in. wide, in north-east parlour. Each arch- stone bears number and mason's mark. Other rooms have plastered beams and cornices.*

*H. N. Pobjoy, A History of Emley, 1970*

## 2.2 History of Kirkby Grange Hall

Kirkby Grange Hall plays a key role within the cluster of buildings that make up Kirkby Grange Farm. Dating back to the 17<sup>th</sup> century, the house is one of the older properties within the cluster. As a whole, its design and presence are very typical of a large Yorkshire countryside house.

As noted in the Listing, the house is believed to have been built by Maj. Gen. Ralph Assheton for his second son, Sir Ralph Assheton. Maj. Gen. Assheton was a general in the Parliamentary army in the English Civil War. The birth of Sir Ralph Assheton is noted as 'July 9, 1626 Denby Grange (Yorks), England, Wakefield, West Yorkshire.' Both father and son supported Parliament in the English Civil War.

It is our understanding that the original building was divided into 2 properties in 1987 and divided again further into 3 properties in 1992.

## 2.3 Old Photographs of Kirkby Grange Hall



circa 19c (view from east) – Looking directly at what is now referred to as Kirkby Grange Hall. Note the original position of the front door, between the windows.



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circa 1980s (view from north) – Looking at now-neighbouring dwelling to Kirkby Grange Hall.



S W

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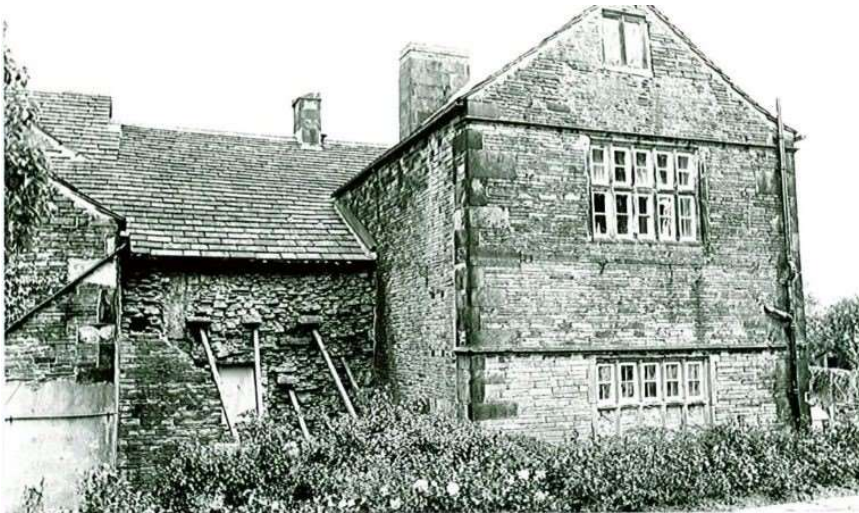
circa 1980s (view from south) – Looking at now-neighbouring dwelling to the left, with Kirkby Grange Hall to the right hand side.



W

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circa 1980s (view from west) – Looking at now-neighbouring dwelling to the left, with Kirkby Grange Hall to the right hand side (now the external wall to the dining room).



W

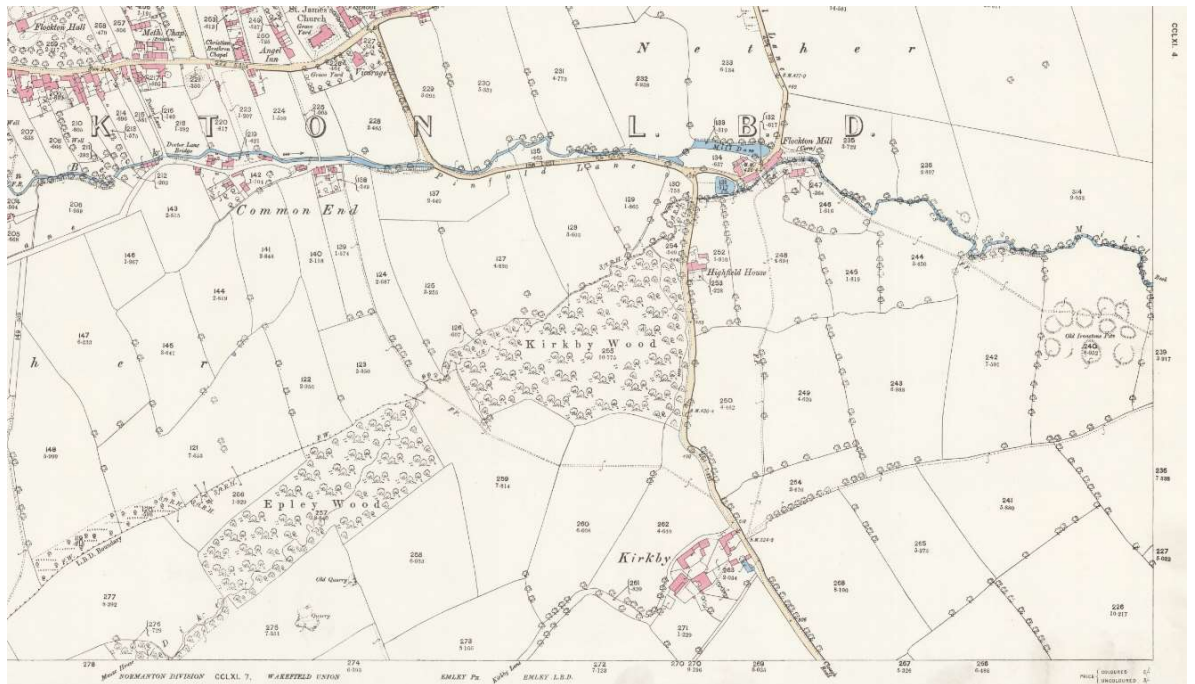
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circa 1980s (view from west) – Looking at now-neighbouring dwelling to the right, with Kirkby Grange Hall set back to the left (now the external wall to the dining room).

## 2.4 Historic Maps



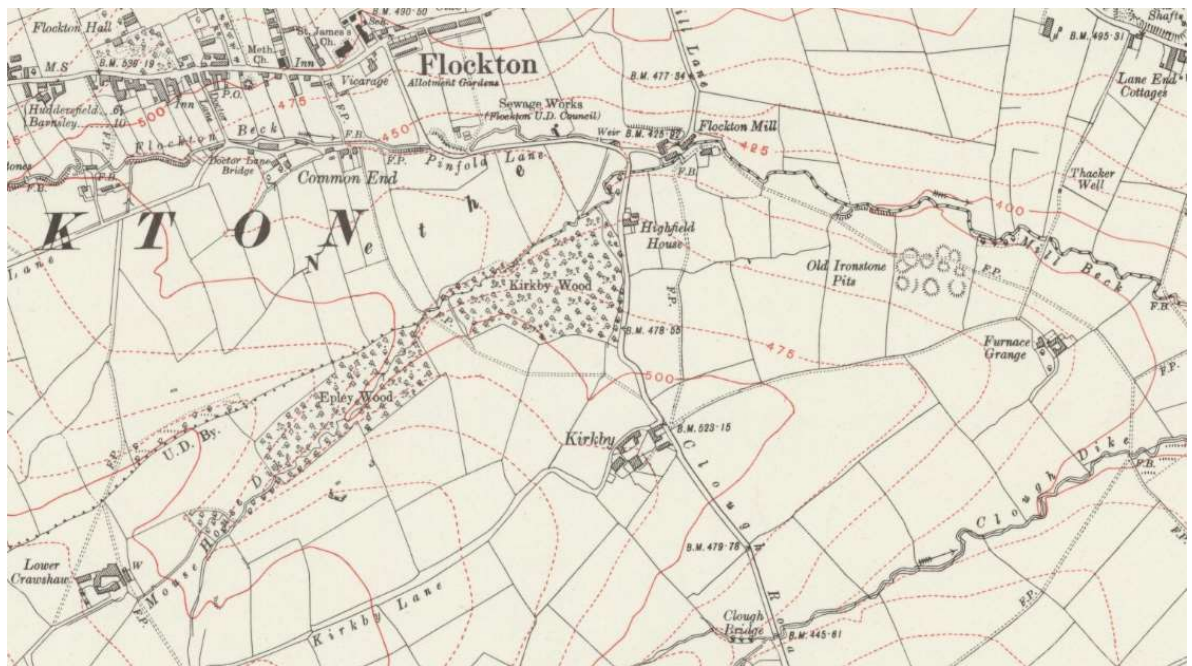
1849 map of Kirkby



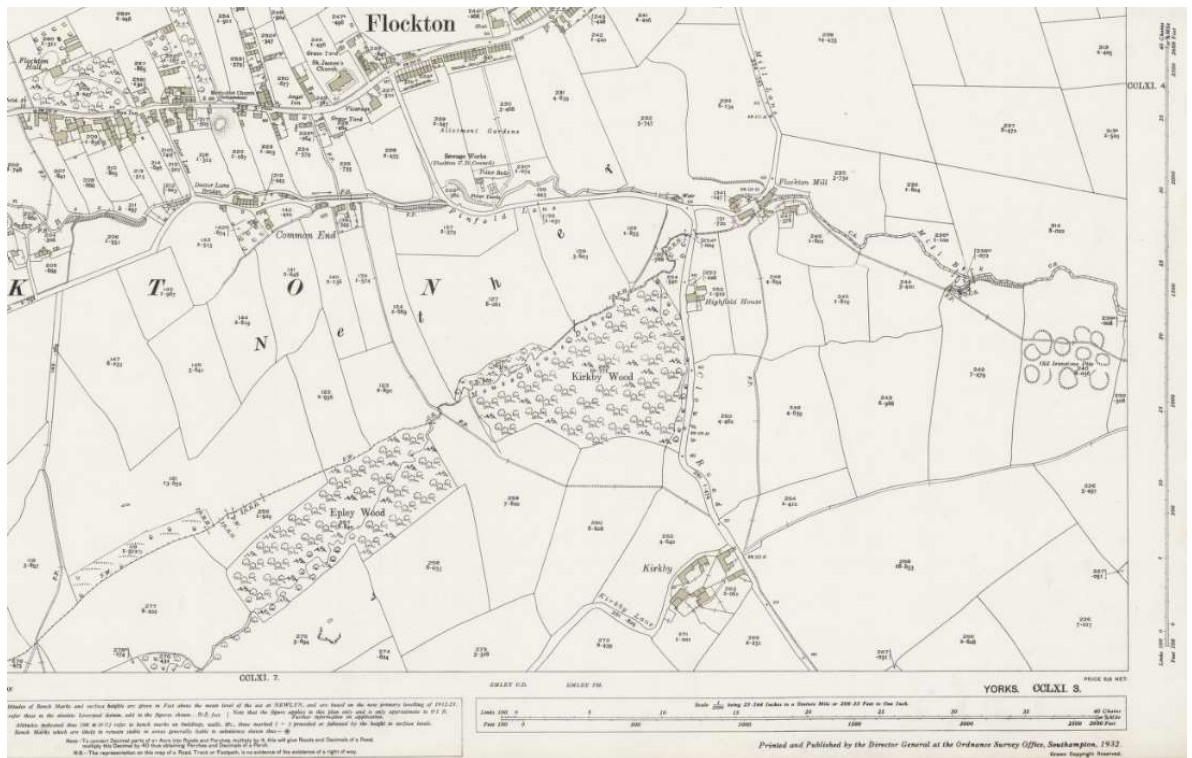
1891 map of Kirkby



1904 map of Kirkby



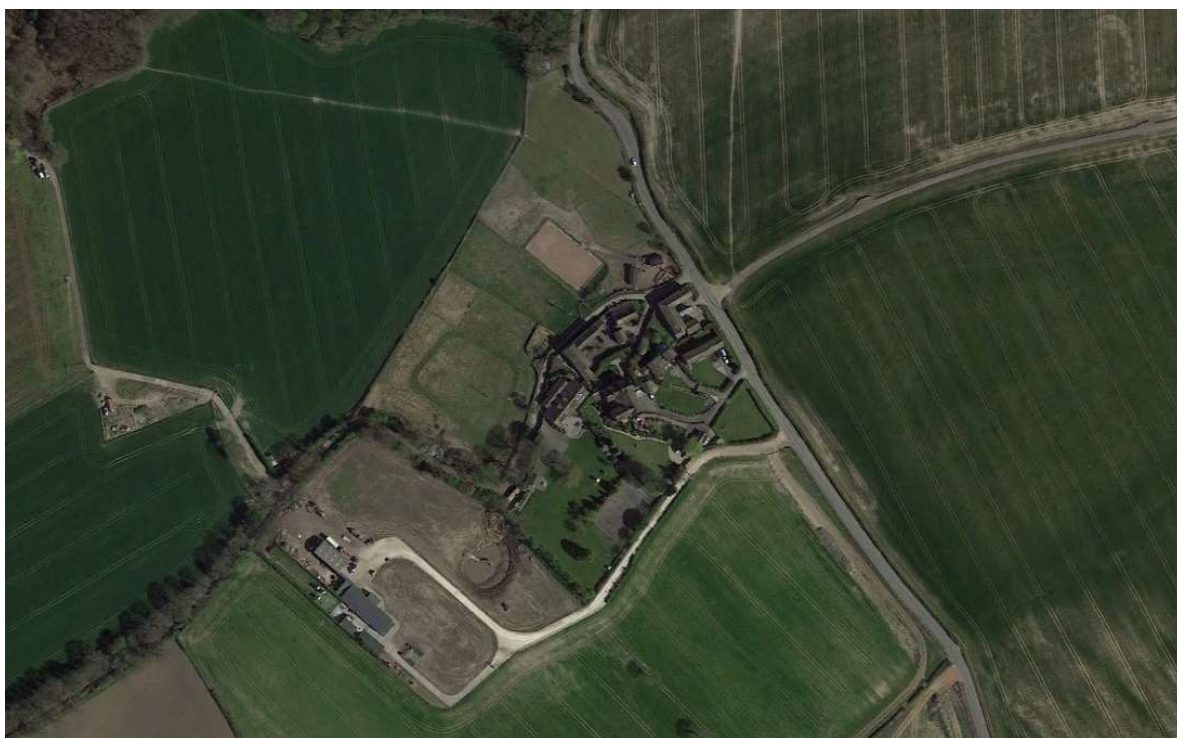
1930 map of Kirkby



1930 map of Kirkby



1960 map of Kirkby



Current Google Earth imagery of Kirkby

## 2.5 Building significance

To support determining significance of the house we have used Historic England's 'Heritage Values' as well as creating a definition of significance. Historic England Heritage Values are described as:

*Evidential value:* the potential of a place to yield evidence about past human activity.

*Historical value:* the ways in which past people, events and aspects of life can be connected through a place to the present it tends to be illustrative or associative.

*Aesthetic value:* the ways in which people draw sensory and intellectual stimulation from a place.

*Communal value:* the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.

Historic England writes: *"Significance is one of the guiding principles running through the historic environment section of the NPPF. The NPPF defines significance as 'the value of a heritage asset to this and future generations because of its heritage interest'. Such interest may be archaeological, architectural, artistic or historic' and it may derive 'not only from a heritage asset's physical presence, but also from its setting."*

Significance is what conservation sustains, and where appropriate enhances, in managing change to heritage assets.

An outline assessment of significance has been completed below based on these values. Kirkby Grange Hall plays a key role within the cluster of buildings that make up Kirkby Grange Farm. Dating back to the 17<sup>th</sup> century, the house is one of the older properties within the cluster. As a whole, its design and presence are very typical of a large Yorkshire countryside house.

The traditional design to the façade has remained and is of historic and aesthetic value. Unfortunately, the stonework to the window surrounds and string course is in very poor condition and to retain its aesthetic repairs and/or like-for-like replacements will be required. Other buildings are less affected however this deterioration is affecting the aesthetic and historic value as it leading to the loss of the detailed carving on many of the ashlar stones such as the window surrounds and string courses. This has been exacerbated and accelerated on elevations exposed to frequent inclement weather.

There are some pleasant features to the property which help portray some different ages and intention of presence within the property such as the different lintel types from the current front door versus the primary façade where they are more decorative in nature.

*Kirkby Grange Hall*

	Evidential Value	Historic Value	Communal Value	Aesthetic Value
House (Generally)		X	X	X
North elevation ( <i>Not applicable</i> )				
East elevation (Front)		X	X	X
South elevation (Side)		X	X	X
West elevation (Rear, set back)				
Windows				X
Doors				
Roof		X	X	X

## **3.0 CURRENT CONDITION**

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### **3.1 Condition History**

The building remains largely intact and is legible in its original form as a large Yorkshire countryside house. Unfortunately, there have been some less than favourable repairs and deterioration throughout the years. Specifically; the current front door, use of cementitious mortar and delamination to much of the cut-faced ashlar stone to the window surrounds and elevational detailing such as the string course.

The applicants are very keen to restore the building appropriately using the correct conservation techniques and therefore Shaw & Jagger Architects were appointed to prepare a full specification, as well as gaining the appropriate consent.

### **3.2 Condition Today**

Condition issues with Kirkby Grange Hall include:

- There are open joints to the windows
- Severe internal condensation problem to existing windows
- Lack of drip detail to the cills
- The gutters are not large enough to manage all the water from the roof and therefore water is washing on to the stonework, thus accelerating the decay

Below are a number of photos identifying the issues;



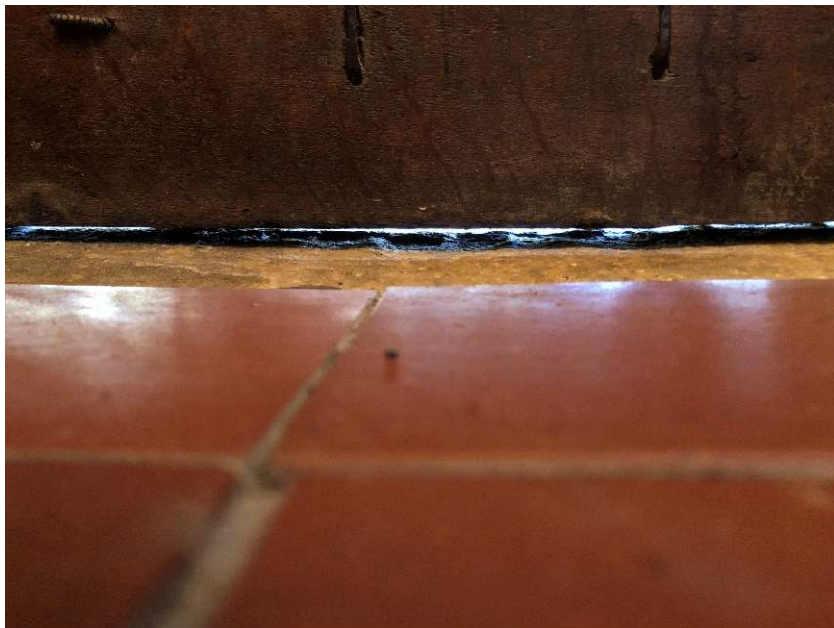
External view: Significant stone decay to the window surrounds on the south elevation (GF.04)



Internal view: Significant stone decay to the window surrounds on the south elevation (FF.03)



External view: The existing front door (GF.01)



Internal view: The existing front door (GF.01)

## **4.0 PROPOSALS**

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### **4.1 Replacement Front Door**

The existing door is not original and no longer fit for purpose. Inadequacies include poor standard of fabric resulting in very poor thermal performance, very poor airtightness, very poor waterproofing and inadequate security. The replacement is to be a sympathetic hand-crafted period style door befitting of the property built to a high specification to remedy the inadequacies noted above. The replacement is to have aesthetics that complement the listed building.

Supplier of products: Meakins Heritage Carpenters & Joiners of Halifax, West Yorkshire – Refer to supporting information.

### **4.2 Replacement Rooflights**

The existing rooflights are a mixture of modern Velux style rooflights and conservation style rooflights, installed prior to the current owner purchasing the property. Some of these are now failing with evidence of water ingress.

We proposed that all existing rooflights are all to be replaced with conservation accredited units. This will provide a positive impact and enhance the historic building.

Supplier of products: The Rooflight Co's 'Conservation Rooflight' & flashing kit - or similar approved. Contractor to check the fall/pitch is adequate.

### **4.3 Replacement Rainwater Goods**

Replace the existing gutters with Evolve Deepflow 128 x 75mm half-round aluminium rainwater gutter system on rafter arms in 'Textured Heritage Black' is proposed as new rainwater goods across the property.

Supplier of products: Evolve Deepflow 'Textured Heritage Black' 128 x 75mm half-round aluminium rainwater gutter system on rafter arms - or similar approved.

#### **4.4 Internal Layout Changes**

These are confined to the house bathroom only – *see existing and proposed floor plans*. The existing house bathroom on the first floor is partitioned by modern internal walls therefore the disturbance of historic fabric will be kept to a minimum.

#### **4.5 Replacement Windows**

Existing windows consist of single glazed painted timber windows that are, generally, in a good state of repair due to good upkeep practices. New glazing and painted timber Accoya slimline double-glazed units (Histoglass HD10 thin double-glazing system, or similar approved) to match existing style carefully installed to replace existing timber units. This will provide a positive impact and enhance the historic building via thermal efficiency.

#### **4.6 Replacing/Repairing Stone Window surrounds**

Method statement for replacing/repairing like-for-like stone window surrounds;

- Structural engineer to be consulted prior to any intervention.
- All works to be completed by hand.
- Defrass stonework
- Carefully remove existing glazing units.
- Apply biocide where necessary.
- Carefully remove stonework.
- Reuse suitable removed stonework where possible.
- Suitably qualified stonemason to install replacement cut-faced stone, where necessary – style and colour to match existing.
- Repoint stonework where necessary with a lime mortar mix
- new glazing and timber Accoya slimline double-glazed units (painted) carefully installed as per the necessary consents/conditions

## References

- <https://www.buildingconservation.com/articles/hot-limewash-sheltercoat/hot-limewash-sheltercoat.htm>
- <https://historicengland.org.uk/listing/the-list/list-entry/1150026?section=official-list-entry>
- <https://www.lime.org.uk/>
- <https://historicengland.maps.arcgis.com/apps/webappviewer/index.html?id=d45dabecef5541f18255e12e5cd5f85a>
- <https://www.british-history.ac.uk/>
- <https://www.limestuff.co.uk/blog/how-to-apply-limewash>
- <https://cornishlime.co.uk/application-guides/lime-wash-application/>
- <https://cornishlime.co.uk/application-guides/technical-advice-note-for-bag-rub-finish/>
- <https://www.google.co.uk/maps>
- <https://maps.nls.uk/>