

PLANNING_

Proposed_
Ancillary Agricultural Building

Helme Edge Farm
Crosland Edge

HD9 5RS

February 2024



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For + on Behalf of_

Dr Alan Calder_ C.B.E

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1.0_ INTRODUCTION

This design guide has been prepared by Eight_OneTwo Architects on behalf of our client Dr Alan Calder C.B.E as we seek Planning permission for the erection of a single storey ancillary agricultural building to be used for offices, storage and wine tasting room.

The property is located in an established residential area where many the properties are of the same typologies and material palette. The existing property sits on Harrison Lane on heavily sloping topography. The site benefits from good access to local amenities, schools and public transportation services.

The existing property situated on the site is not listed or within a conservation area but is situated within the Green Belt.

The design guide statement should be read in context with the associated drawings and other supporting information submitted with the application.



1.0_ Entrance from Harrison Lane facing South



2.0_ Looking West over the site toward Meltham



3.0_ Entrance into the site



4.0_ Proposed Development area within the site



5.0_ Views from the Proposed Development Site

1.1_ SITE CONTEXT

Helme Edge Farm is situated on Harrison Lane and is located in Crosland Edge on the outskirts of the village of Meltham.

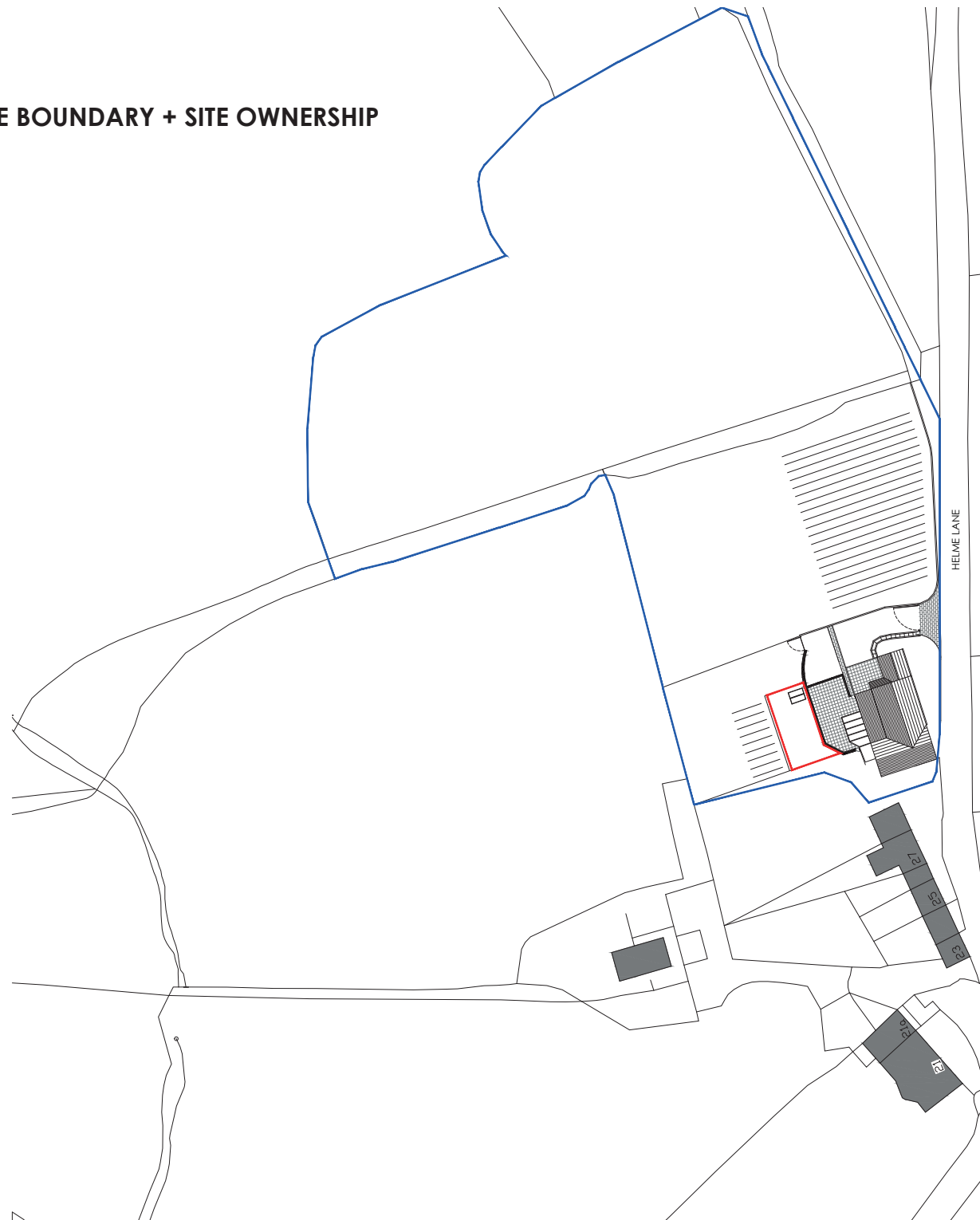
The site consists of a detached residential property that historically was a barn and has been converted, hosting a double garage, private walled garden area and agricultural land that has established vines for production.

The property has good access with car parking for approximately 6-8 cars.

The proposed siting for the ancillary building is on a flat piece of land, west of the host dwelling and the surrounding area is of sloping topography.

The proposed site sits approximately 3 meters down from the host dwelling and will not be overlooked from the host dwelling or any surrounding properties and is situated within the curtilage of the existing dwellings garden space and much like that of a garden shed or outdoor pod.

1.2_ RED LINE BOUNDARY + SITE OWNERSHIP



1.1_ RED LINE BOUNDARY

The proposed works include the following_

Formation / Erection of Single Storey ancillary agricultural building for offices, storage, and wine tasting room.

This is within the curtildege of Helme Edge Farm, Helme Lane, Crosland Edge

The site has an area of approximately 12,949 square meters (3.2 Acres)

1.3_ DESIGN BRIEF

We aspire to provide a proposal that complies with local and national planning policy and one that respects the existing architectural context of the area.

The existing dwelling sits on a generous plot, with gardens to the front, rear and side and is enclosed. We will seek to create a design that respects the surrounding context and is very important to not be intrusive to the green belt. We intend to draw comparisons of the existing architectural materiality while providing a modern interpretation of the local typology with contemporary detailing.

The proposal will respect the existing proportions of the existing site - It will apply carefully designed details and the use of high quality materials local and sustainable to the area. The design will draw inspiration from the surrounding typology to provide a high level architectural response that will bring order, hierarchy and a sense of 'completion' to the existing site.

The brief from our client was to introduce the following aspects into the scheme_

Improved vehicular circulation to front of property

_A 06 x 04 meter area to aid in the local business, that will provide office, storage and wine

_Tasting for visitors - STRICTLY BY APPOINTMENT ONLY to avoid traffic and heavy pedestrian use onto the site

_Strict privacy from the existing host dwelling

_To be absolutely in keeping with the surrounding context

_To respond by blending / almost hiding around the existing landscaping by becoming anonymous.

_Taking advantage of the stunning views

_It was requested that the design provided plenty of light into the space and provide good visibility from the proposal into the side garden.

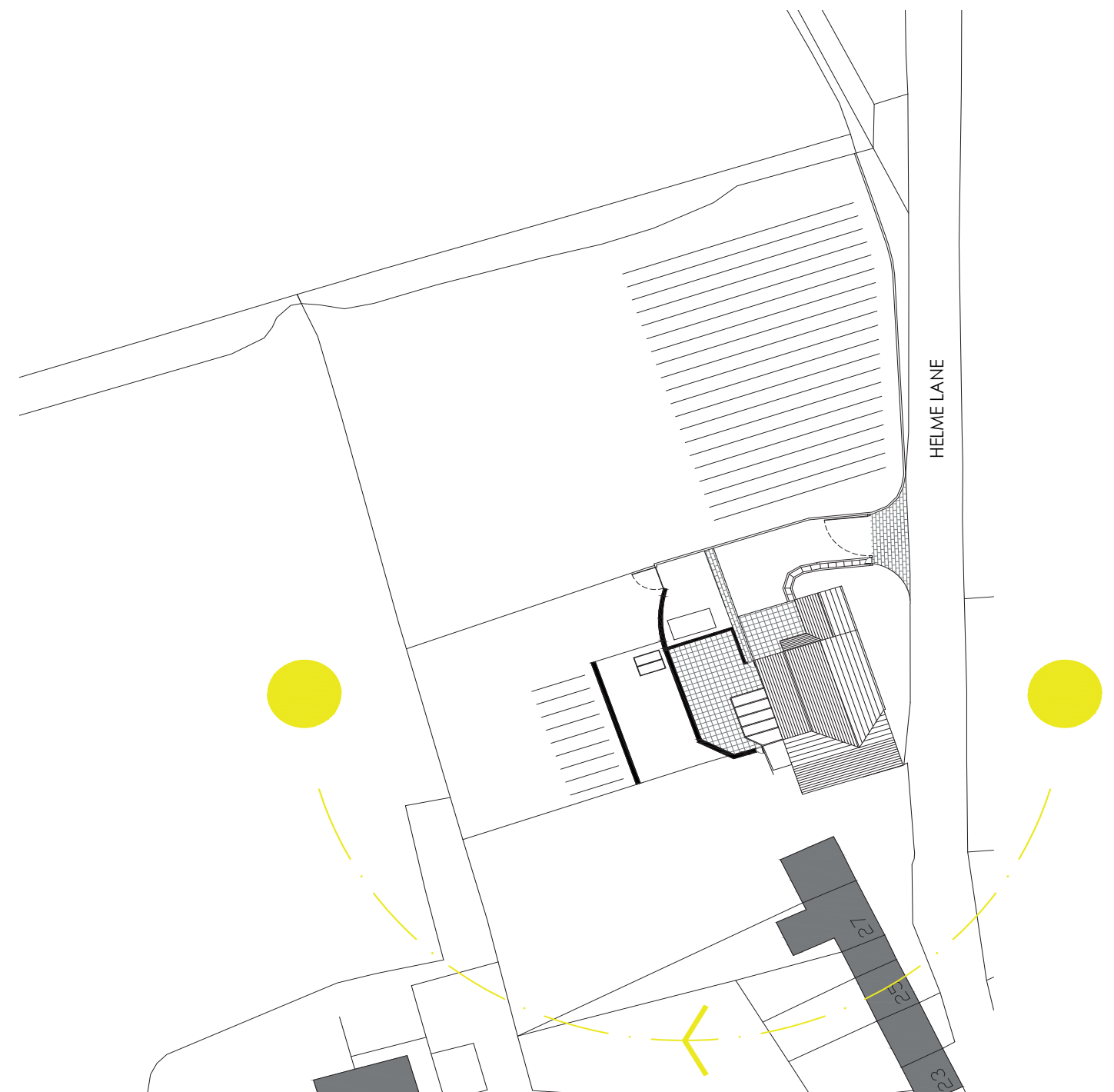
Below_ Proposed location of development siting



1.4_ SITE ANALYSIS_ SUN PATH DIAGRAM

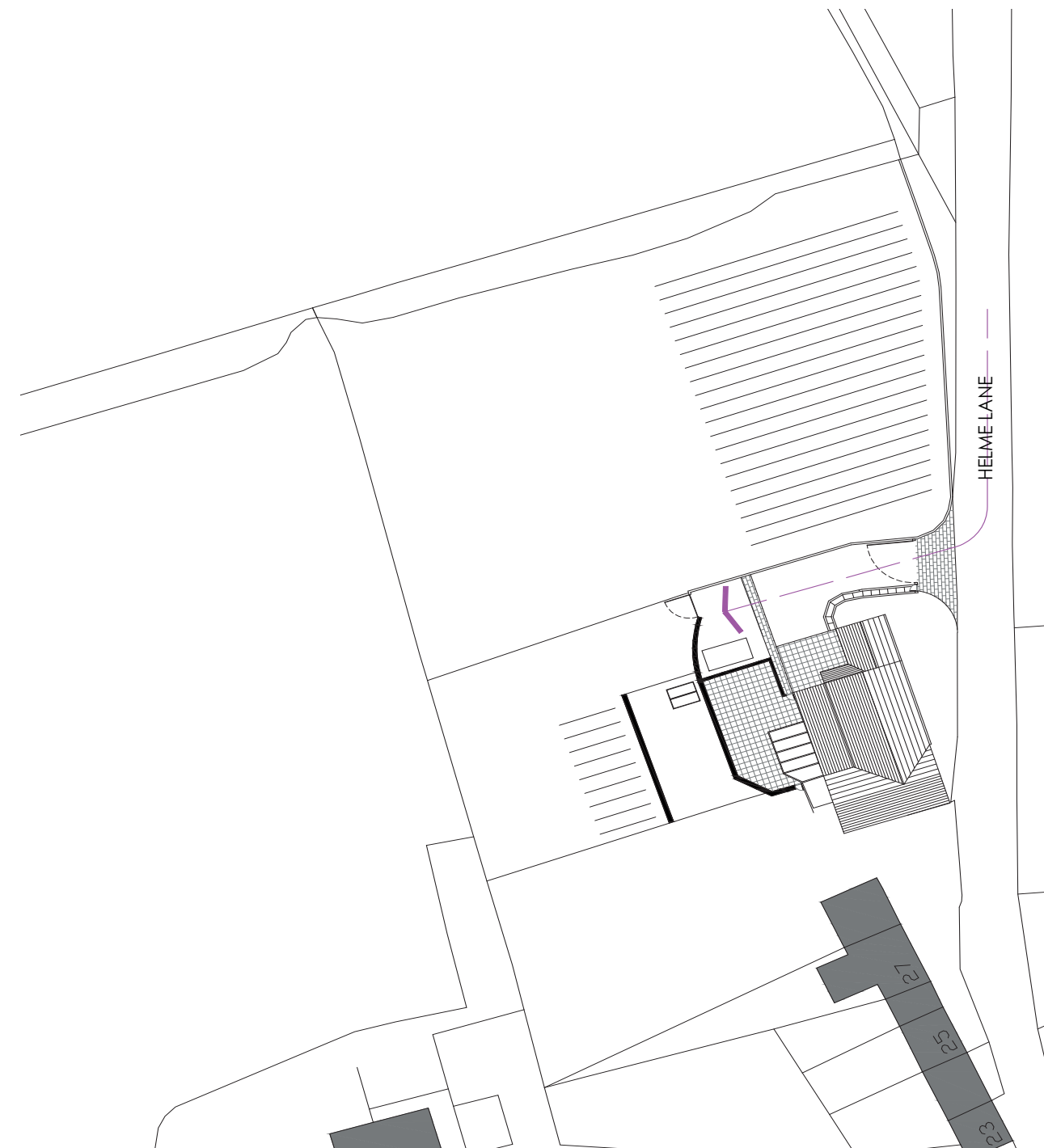
As the proposal is to be situated to take advantage of the stunning views across the Holme Valley, it is noted that positioning the proposal facing west will allow South westerly sun all afternoon / sunset providing the potential for large amounts of solar gain into the proposed design lessening the implementation / costs of heating systems.

A small flat roof canopy that over-sails the building is proposed to provide solar shading in the height of summer. From a sustainable point of view the flat roof will also allow for a living green roof.



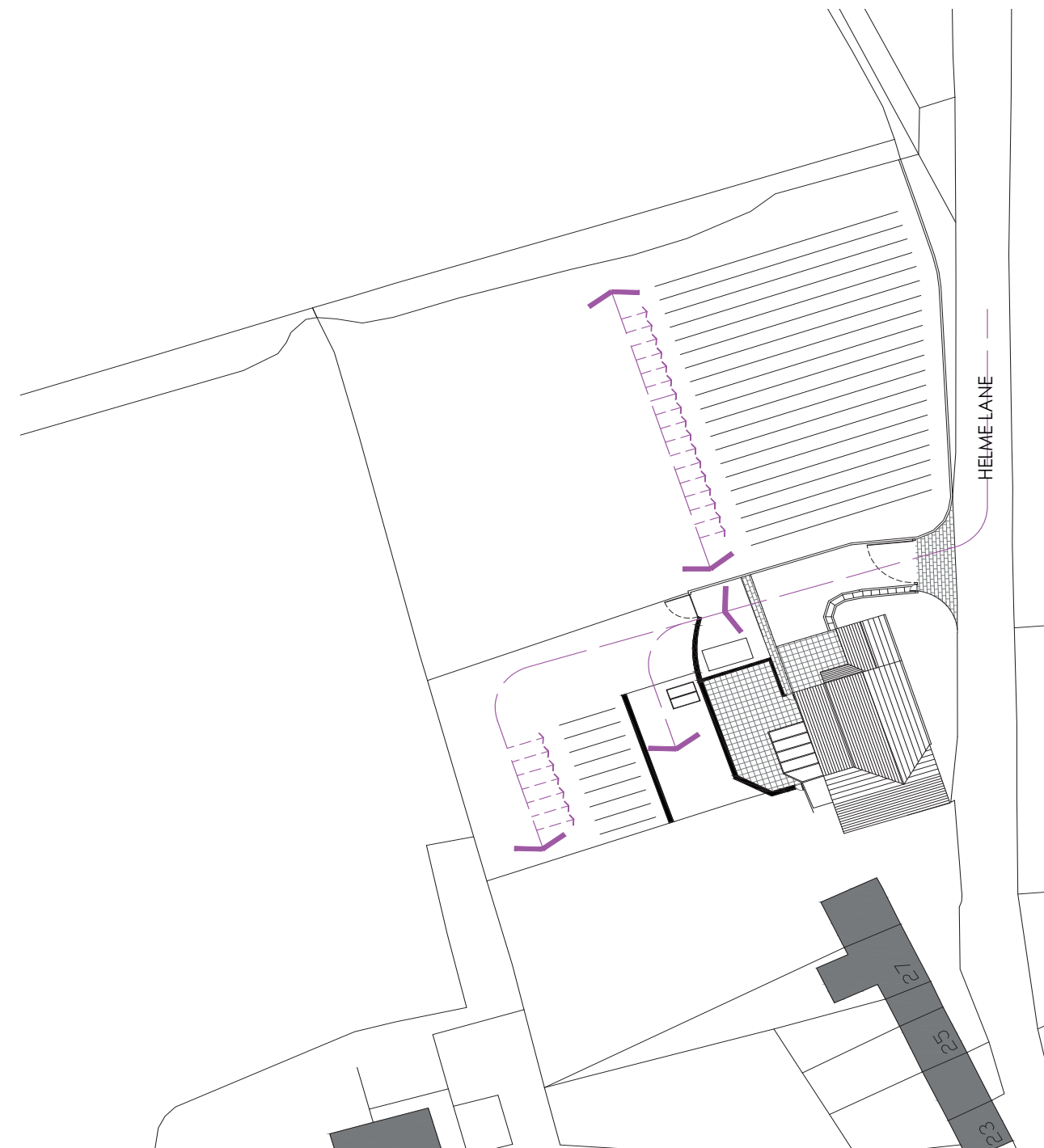
1.4.1_ SITE ANALYSIS_ MOVEMENT INTO THE SITE_

Harrison Lane runs from North to South and Helme Edge Farm is accessed to the West. There is a large driveway which will allow parking for around 6-8 cars, plus the clients car parking. There is also a private gate that pedestrian can access with steps down to the host dwelling.



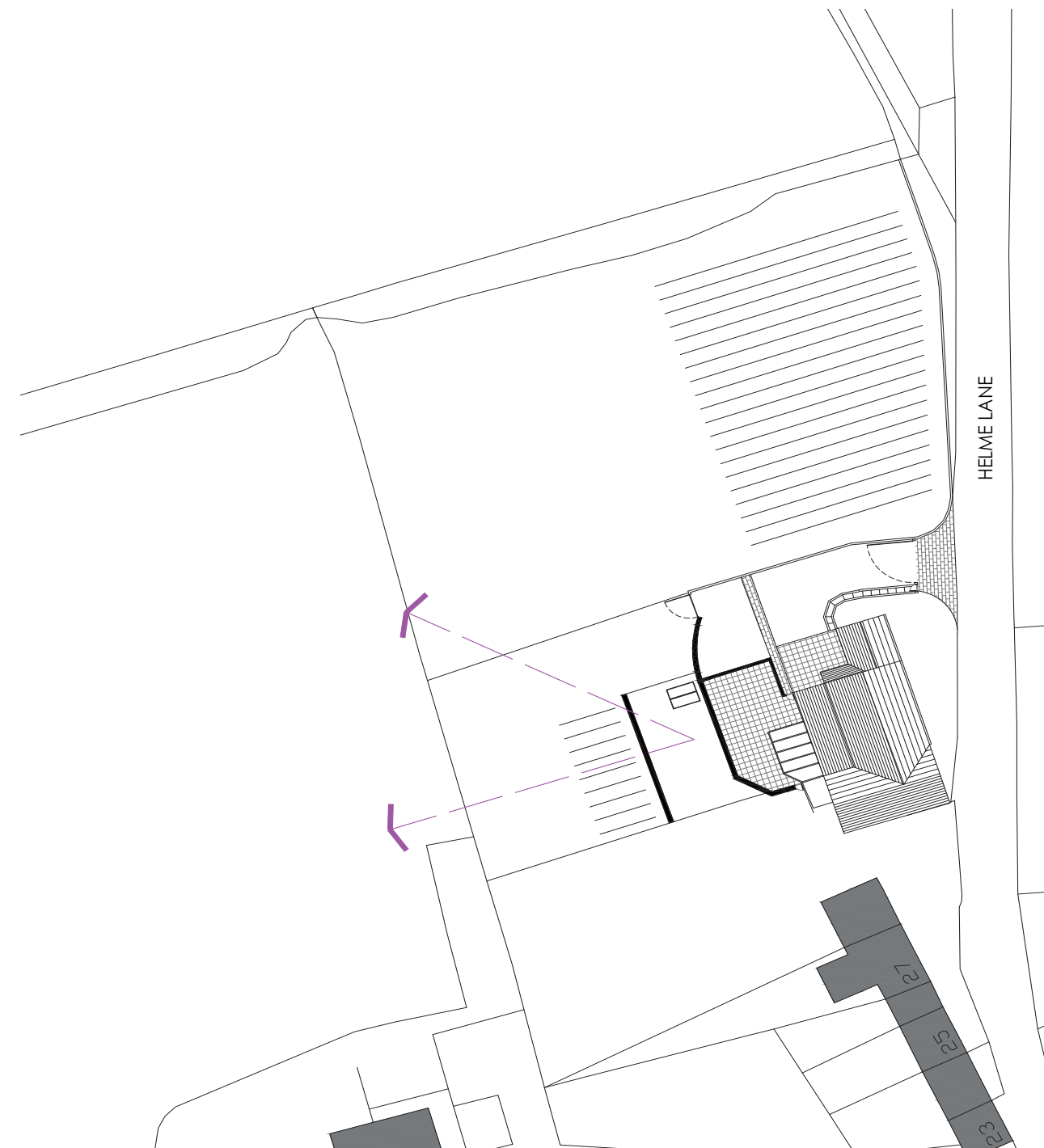
1.4.2_ SITE ANALYSIS_ MOVEMENT ACROSS THE SITE_

The main movement across the site is by foot and is into the agricultural fields where the vineyards are in growth.



1.4.3_ SITE ANALYSIS_ PRIMARY VIEWS_

Viewing across the site as shown within the photos is quite simply stunning. The proposal seeks to take full advantage of the vista as does the existing dwelling.



1.5_ PRE_APPLICATION ADVICE + CONCLUSIONS

Given the nature of the proposals the Council's Highways team were consulted. Highways officers have no objections to the proposals, but any subsequent planning application should provide suitable visibility splays for the proposed access shown on plan. The parking area for visitors should also be outlined on plan with sufficient turning space provided within the site to allow vehicles to enter and exit the site in forward gear. Whilst a Transport Assessment would not be needed a simple transport statement may be of use, this should outline the proposed trip generation details. Finally, an operational strategy plan should be submitted which contains operational details of the booking/invitation process and how numbers will be limited to stop the car park capacity being exceeded.

Information will be required within any subsequent application in relation to foul drainage. Conditions and informatives may also be attached in respect of noisy construction activities and hours of use regarding the wine tasting part of the business.

The site within the designated Green Belt. As such the proposal will be assessed having regard to NPPF Chapter 13 paragraph 153 which advises that planning authorities should ensure that "substantial weight" is given to any harm to the Green Belt and that inappropriate development should not be approved unless very special circumstances can be demonstrated.

The pre-application enquiry relates to the erection of a new building to be used for offices, storage and a wine tasting room. There is also a small cloakroom which the applicant says is necessary for all weather gear associated with working outdoors but again it is unclear how this would work in practice. In addition there is an extensive canopy along two sides of the building, the purpose of which is unclear.

Given the nature of the proposed use and its location with the Green Belt, Officers sought to formally consult the Council's Planning Policy team who note that from looking at the above, it appears that the primary purpose of the building is to host wine tasting sessions, and that the remainder of the floorspace is ancillary to that use rather than the operations of the agricultural enterprise and on that basis they consider that the proposed building would not be deemed to constitute a building for agriculture.

In respect of openness of the Green Belt, openness has been established to have both a visual and spatial aspect. The new building is proposed to be approx 4.5m x 6.6m in size, the mass of this is increased to 8.20m x 6.20m if the open canopy is included. It would have a timber wall construction with a green roof, located to the west of the existing property and at a lower level. Officers consider that the introduction of a new building where no building currently exists will harm the openness of the green belt and this harm carries substantial weight. In addition, the proposal includes an outdoor seating area, under the canopy, which could introduce noise and disturbance into an area that would expect a high degree of tranquility, causing further harm to openness.

Development should also not conflict with the purposes of including land in the green belt, the relevant one in this case being to safeguard the countryside from encroachment. The location of the proposed new building appears to be in a part of the site that is separate from the agricultural land and more associated with the dwelling. While the site is located within the countryside and in an area with a strong countryside character, Officers consider that the size and location of the building is unlikely to result in any significant encroachment into the countryside in this instance.

Local Plan policy LP10 'Supporting the Rural Economy' states that the economic performance of the rural economy will be improved by increasing local employment opportunities, tourism related development and supporting farm diversification schemes. The policy justification states that it is not intended to prevent businesses from locating in the Green Belt where there is a genuine need.

1.5.1_ PRE_APPLICATION ADVICE + CONCLUSIONS

Chapter 6 of the NPPF states that planning decisions should enable sustainable rural tourism and leisure developments which respect the character of the countryside. Planning decisions should recognise that to meet local business needs in rural areas sites may have to be found beyond existing settlements and in locations that are not well served by public transport.

Whilst it is acknowledged that the proposed wine tasting business to be used ancillary to the existing vineyard would result in the creation of a tourism facility and is welcomed, regard must be had to the relevant policies within the Kirklees Local Plan and relevant national planning policy. The benefits to the rural economy that would come as a result of developing the site and creating this office, storage and wine tasting room are acknowledged however, they are not considered to be significant enough to overcome/justify the impact the proposals would have on this sensitive countryside location and the Green Belt in this instance.

Also submitted in support of the application is the potential for large amounts of solar gain through the positioning of the proposed building, which will face west allowing south-westerly sun all afternoon/early evening. This would reduce the need for implementation of costs of heating systems.

The use of locally sourced natural and recycled stone, implementation of a green roof system and the use of Shou Sugi Ban Charred timber which is known to last up to 80 years and therefore would reduce the buildings waste and carbon footprint. Whilst this is acknowledged, and the use of more environmentally friendly materials and layouts are welcomed, this is not considered to be sufficient to overcome Officers concerns in respect of harm to the Green Belt.

In terms of visual amenity, the indicative drawings and information submitted proposes the erection of a single storey structure measuring approx 4.5m x 6.6m, (8.20m x 6.20m including canopy) with a flat green roof design. The building is to be constructed from natural/recycled stone and Shou Sugi Barn charred timber.

The building is to have a flat roof and simple 'box' design, which when looking at the differences in land levels, the proposed building would be set at a similar height to the existing retaining walls at a ground level, approximately 3m lower than the host property and therefore should appear subservient in scale and size. The external materials to be used in the building are in principle welcomed, as the natural stone should be reflective of the host dwelling, and adjacent properties within the immediate vicinity, with the green roof enabling the structure to blend in more seamlessly with its surroundings. Whilst the proposed Shou Sugi Barn charred timber does appear to give the building a more contemporary feel, it is acknowledged that the reference to timber cladding is reflective of agricultural buildings/residential outbuildings within the area and therefore may be acceptable. However, Officers would wish to see more details on how this material would age over time to ensure that it remains visually appropriate over a longer period of time.

When taking the above assessment into account, the proposed building may be considered to be of a scale and size that would be acceptable in this location, not appearing overly dominant or overbearing. However, further details are required in respect of the proposed Shou Sugi Barn charred timber to ensure that this material would be appropriate in this location for an extended period of time and an understanding of the height of the building in relation to surround land. Nevertheless, the design of the building, whilst somewhat contemporary, may be considered to be acceptable in this location.

1.5.2_ PRE_APPLICATION ADVICE + CONCLUSIONS

Given the proposed location of the building, differences in ground level and that it is to be single storey in height with a possible flat roof design, Officers have no concerns in respect of the building appearing overbearing or overly dominant on adjacent neighboring properties, and that any additional shadowing arising from the proposals would fall within the garden/amenity area belonging to Helme Edge Farm. In addition, no windows or doors are proposed within the southern elevation of the building and therefore there should be limited overlooking. However, within any subsequent application discussions would need to be had in respect of whether visitors would be congregating outside of the building, the use of the outside canopy area and whether this would require any additional screening to be installed to protect the amenity of adjacent neighbouring properties.

Taking into account odour and noise pollution at the site, the Council's Environmental Health Officers were consulted, and they note that existing noise in the area is unlikely to adversely affect the proposed development and that the proposed development is unlikely to cause noise that will adversely affect nearby noise sensitive receptors. Therefore, it is considered unlikely that noise will be an issue within any subsequent planning application (dependent on use and hours of operation). However, with any future planning application, ENVH Officers would expect some clarity on the proposed opening hours regarding the wine tasting part of the business. In the absence of this information, it would be necessary for a condition to restrict the hours of use to prevent loss of amenity to nearby residential properties. Furthermore, there is a potential for loss of amenity to the occupiers of nearby properties from noise and vibration from the construction phase of the development. It is therefore likely that a condition restricting the times when noisy construction activities (including deliveries) will be permitted to 07.30 to 18.30 hours Mondays to Fridays, 08.00 to 13.00 hours, Saturdays and with no noisy activities on Sundays or Public Holidays would be recommended.

In terms of pollution from odours, ENVH Officers consider that the proposed development will not create any significant odours and also that there are no significant odours in the vicinity that will affect the development. Therefore, it is considered that odours do not need to be considered in this instance.

Given the above assessment, it is considered that the proposal is unlikely to cause undue material harm to the amenities of any neighbouring properties. However, it should be noted that neighbouring properties will be consulted as part of this application process should a subsequent application be submitted to the Council, and therefore any planning related comments raised will have to be considered by the case officer.

Local Plan Policies LP21 and LP22 are relevant and seek to ensure that proposals do not have a detrimental impact on highway safety and provide sufficient parking. Paragraph 115 of the NPPF states that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

In summary, should a planning application be submitted which includes the plans and information as shown, it is very unlikely that the Council would support the proposals. This is due to the proposed building not being considered to result in a building required to support an agricultural enterprise, such that it would be classed as an agricultural building in terms of national and local green belt policy. It appears that the primary purpose of the building, and canopy, is to host wine tasting sessions, and that the remainder of the floorspace is ancillary to that use, on that basis the proposed building is not deemed to constitute a building for agriculture. Failing this, the proposed building does also not comply with any of the exceptions listed in NPPF paragraph 154 and therefore constitutes inappropriate development. Furthermore, Officers consider the proposals to cause harm to the openness of the Green Belt, whereby no very special circumstances have been demonstrated which are deemed to be sufficient to clearly outweigh the harm by reason of inappropriateness and impact on openness in this case.

1.6_ LAYOUT

The concept behind the design proposal is to respond to the existing architectural vernacular of the surrounding area in a contemporary manner. The design is simple in its form and is simply a 04 x 06 meter [internal] 'box' with the longest span of the building to sit along the existing retaining wall in orientation to impede further encroachment into the green belt. It should also be noted that

The proposal will also be positioned on the site that is currently vegetation and is lower by 03 meters down from the host dwelling but sits within the same orientation as the original dwelling

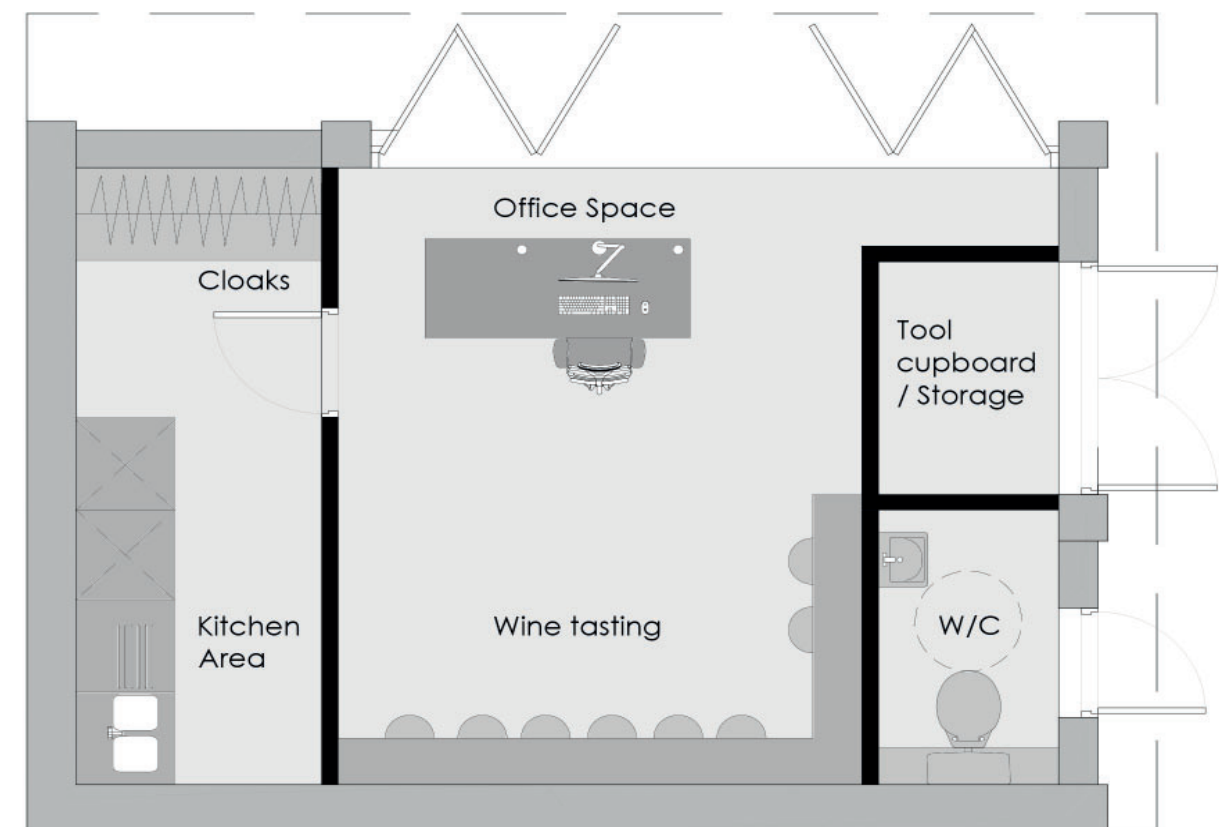
The internal space is intentionally simple in its layout, for the most part because this is a very small structure it needs to feel as large as possible with no waste internally.

The 'box' is largely open plan with most of the footplate to allow for office space and small seating area for wine tasting. There are of course the supplementary utilitarian spaces for the W/C and tool cupboard / store with external access for workers in the Vineyard for ease of access.

There is office / desk space for administration of the business allowing for bookings / phone calls and general office space for when the weather is exceptionally adverse to be carrying out day to day tasks in the Vineyard.

There is a small bench to the rear of the proposal to seat for wine tasting.

Below_ Ground Floor Plan as Proposed



GROUND FLOOR PLAN_
AS PROPOSED_

1.7_ MATERIALITY

Locally sourced Natural / Recycled Stone_

Locally sourced, recycled stone will allow the project to blend seamlessly in the surrounding retaining walls and wider landscaping and will allow the embodied energy of the building to be minimal.

Green Roof_

The ecological possibilities of a green roof [Not living roof] will 'hide' the building within the existing landscaping, reducing its overall impact on the Green Belt

Shou Sugi Ban Charred Timber_

Shou Sugi Ban Charred Timber is long lasting, weatherproof and fireproof and has been known to last for up to 80 years. For this reason there are no maintenance issues often associated with timber (in replacement every 5-10 years) reducing the building's waste and carbon footprint. It is one of the lowest embodied carbon materials available and complements traditional timber agricultural buildings within the local vivacity.

Timber is organic, naturally strong and durable, but also hygroscopic. This means it expands and contracts in response to changing moisture levels. If exposed to the changing seasons of Europe or Japan, it cracks, warps and rots.

Applying oils, varnishes, paints and other protective coatings creates an outer barrier. This helps to protect the timber. There are highly effective products on the market, but these need to be reapplied regularly to maintain weatherproofing.

In Japan, they char the timber. The controlled burning of the wood draws out natural resins and leaves a layer of carbon on the surface. As it is part of the timber, not an additional coating, this weatherproofing system is long-lasting.

The process of charring timber increases its resilience to burning. The controlled process removes the soft outer cells, which are quick to ignite. The tough, lignin cells, are revealed and these require a considerably higher temperature to ignite.

This means charred timber has different thermodynamic conductivity to untreated timber. With just concerns about the fire resistance of timber cladding, we offer an additional fire retardant treatment if required.

Charring timber adds to its strength. It seems strange that removing an outer layer strengthens the wood, but the process draws out moisture. This results in a stronger end product.

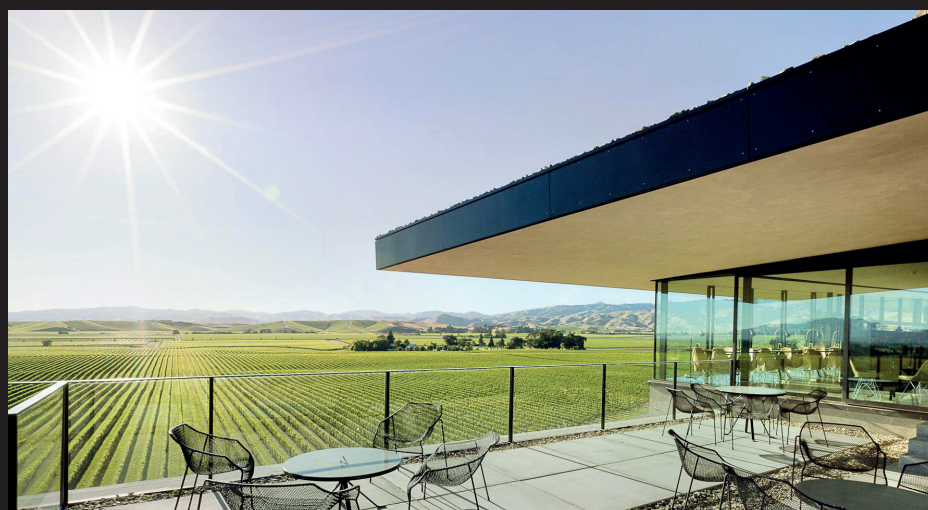


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1.8_ PRECEDENT STUDIES

- _Vineyard buildings
- _Flat roofs
- _Internal / external spaces
- _Taking advantage of the views
- _Roof overhangs
- _Glazed Facades
- _Building/ design rhythm across the facade

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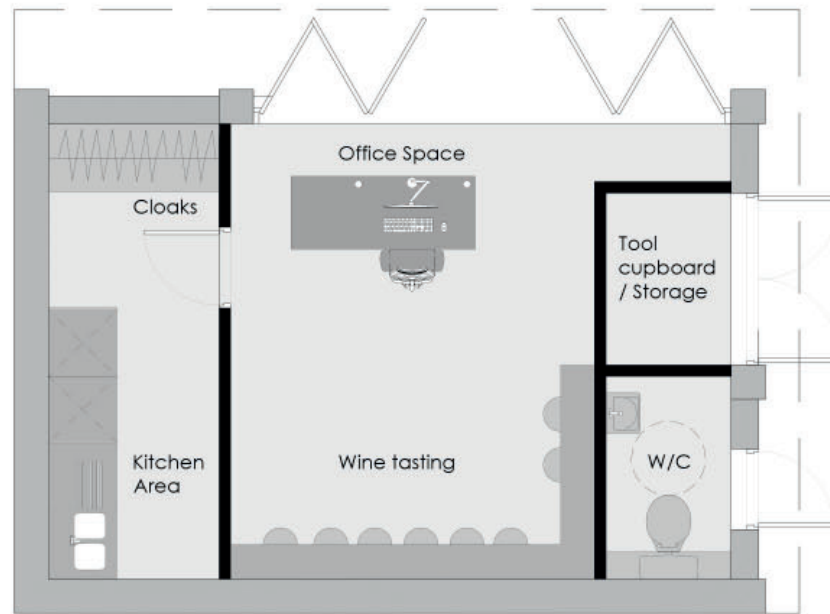
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1.8_ PRECEDENT STUDIES + PAVILION ARCHITECTURE

1.9_ PLANNING DRAWINGS_

As Proposed Floor Plans and Elevations_



GROUND FLOOR PLAN_ AS PROPOSED_ Scale_ 1:25



FRONT ELEVATION_ AS PROPOSED_ Scale_ 1:50



ROOF PLAN_ AS PROPOSED_ Scale_ 1:25



SIDE ELEVATION_ AS PROPOSED_ Scale_ 1:50



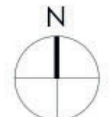
SIDE ELEVATION_ AS PROPOSED_ Scale_ 1:50

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Notes

PLANNING



0 250 500 750 1000 1250 mm
SCALE 1:25

0 500 1000 1500 2000 2500 mm
SCALE 1:50

Note:
Surrounding contextual buildings and information are based on received ordinance survey drawings and are shown for illustrative purposes only. Assumed site boundary is subject to confirmation to legal confirmation.

Note:
Information is based on OS map and received information and is subject to full topographical survey. Assumed site boundary and site constraints subject to legal confirmation. All legal easements and extent of existing underground services locations are subject to confirmation.

W/C, DASH, APPROXIMATE, R/C, APFC

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Drawing Status: PLANNING

Client: MB + MRS CALDER

Project: PROPOSED ANCILLARY BUILDING, HELM EDGE FARM, HELM LANG

Drawing Title: AS PROPOSED, FLOOR PLANS + ELEVATIONS

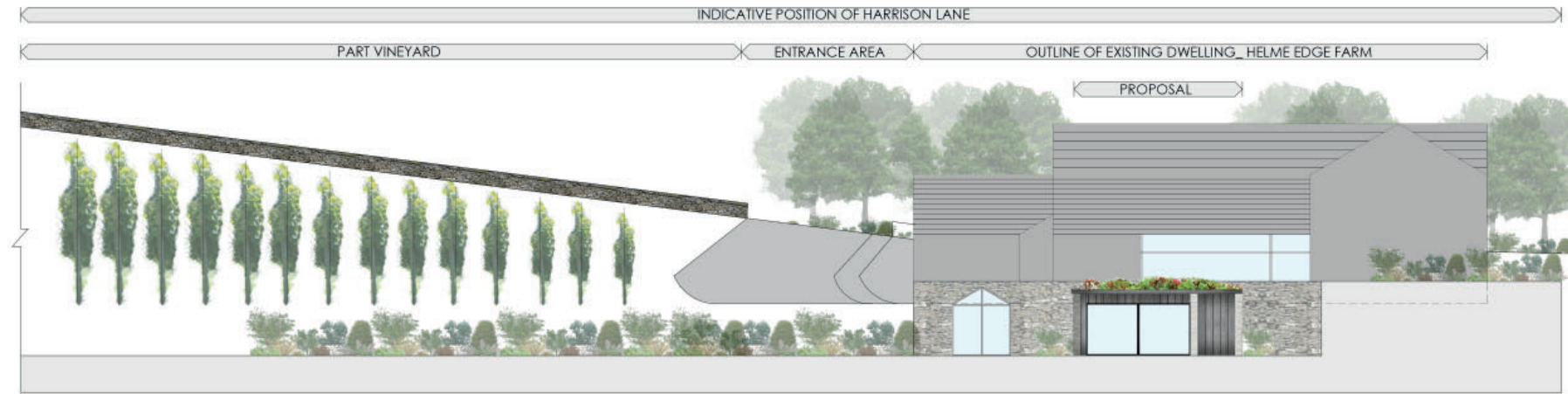
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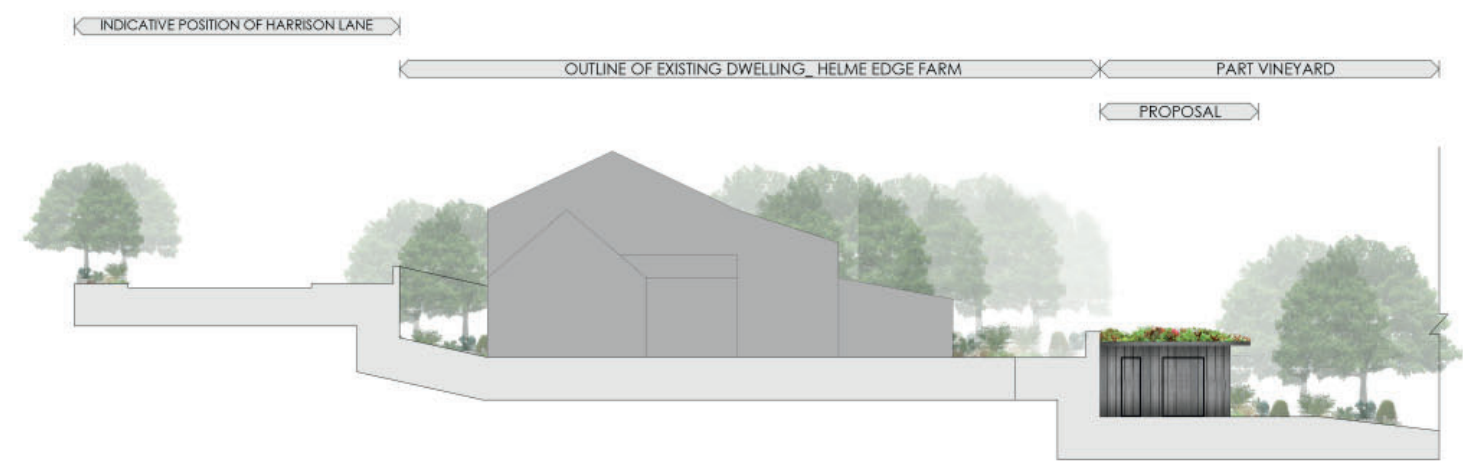
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1.9_ PLANNING DRAWINGS_

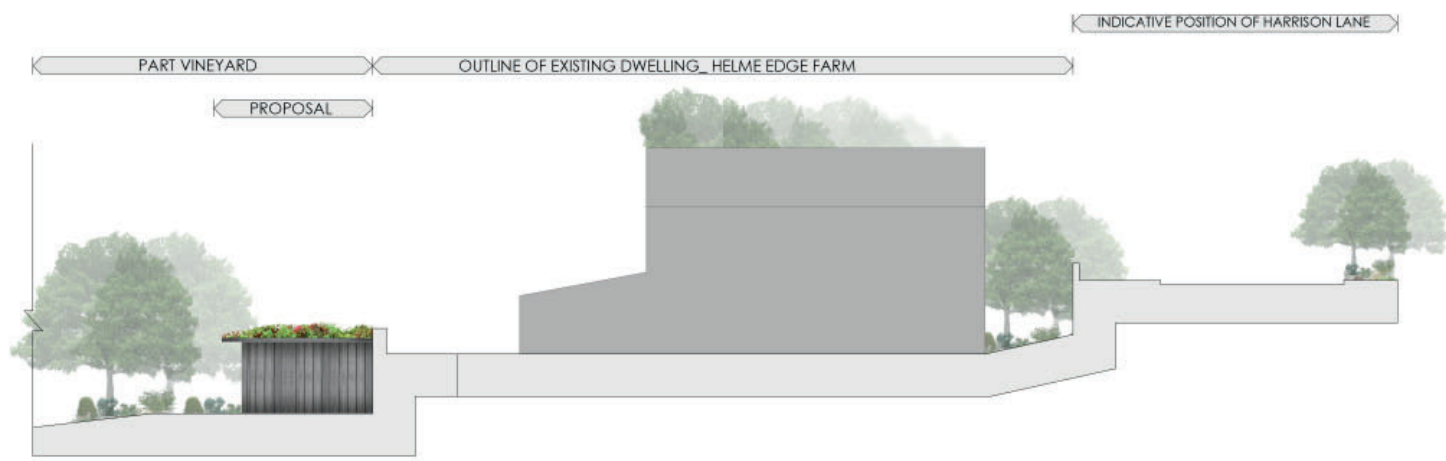
As Proposed Site Sections / Context Elevations



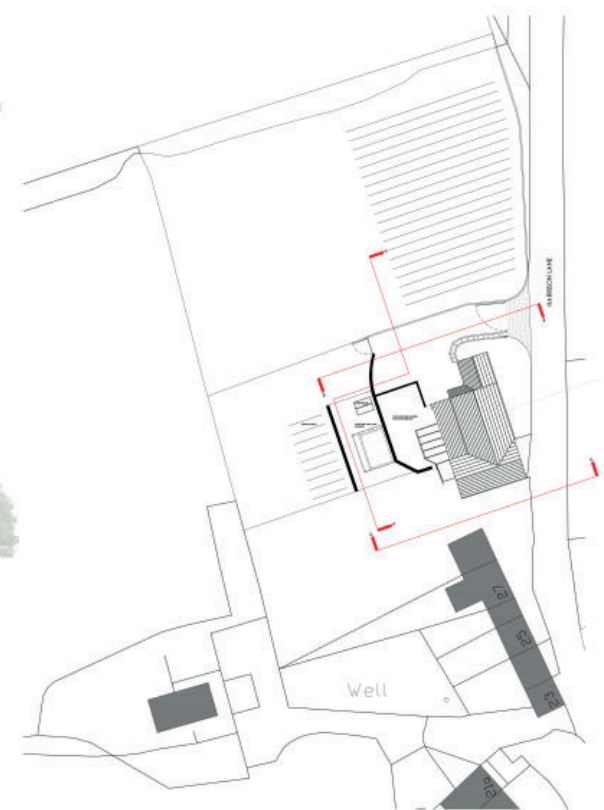
ELEVATION / SITE SECTION AA_ AS PROPOSED_ Scale_ 1:100



ELEVATION / SITE SECTION BB_ AS PROPOSED_ Scale_ 1:100



ELEVATION / SITE SECTION CC_ AS PROPOSED_ Scale_ 1:100



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Rev. Date, Amendment, No. April

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Drawing Status: PLANNING

Client: MR + MRS CALDER

Project: PROPOSED ANCILLARY BUILDING, HELME EDGE FARM, HELME LANE

Drawing Title: AS PROPOSED, SITE SECTIONS / CONTEXT ELEVATIONS

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1:100	JOS	JOS

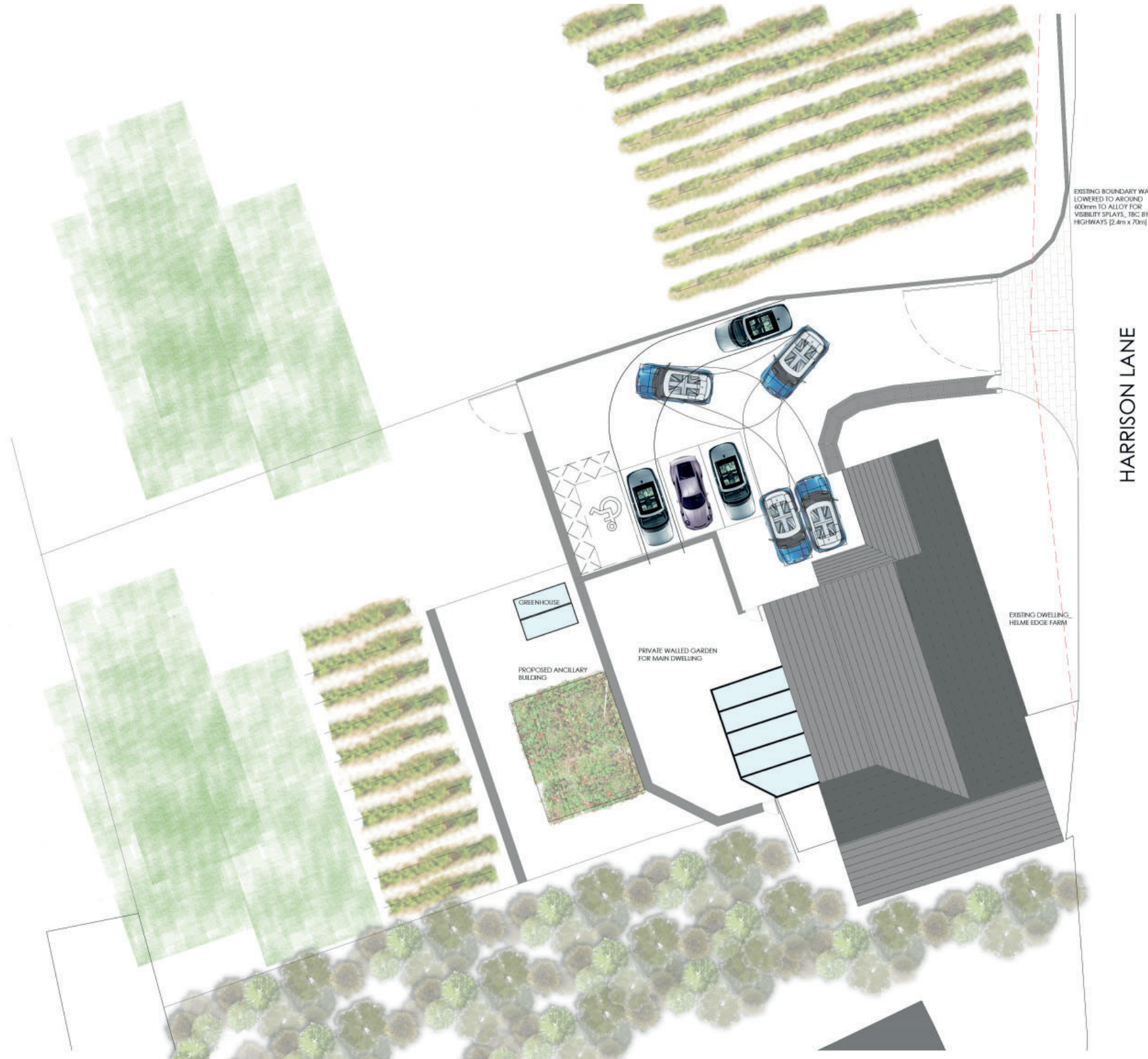
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A1	FEB 2024	FEB 2024

Drawing Number: 23_011_101

1.9_ PLANNING DRAWINGS_

As Proposed Part Site Plan_

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Notes:

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Rev. Date, Amendment, By, Appr.

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Drawing Status: PLANNING

Client: MR + MRS CALDER

Project: PROPOSED ANCILLARY BUILDING, HELME EDGE FARM, HELME LANE

Drawing Title: AS PROPOSED, PART SITE PLAN

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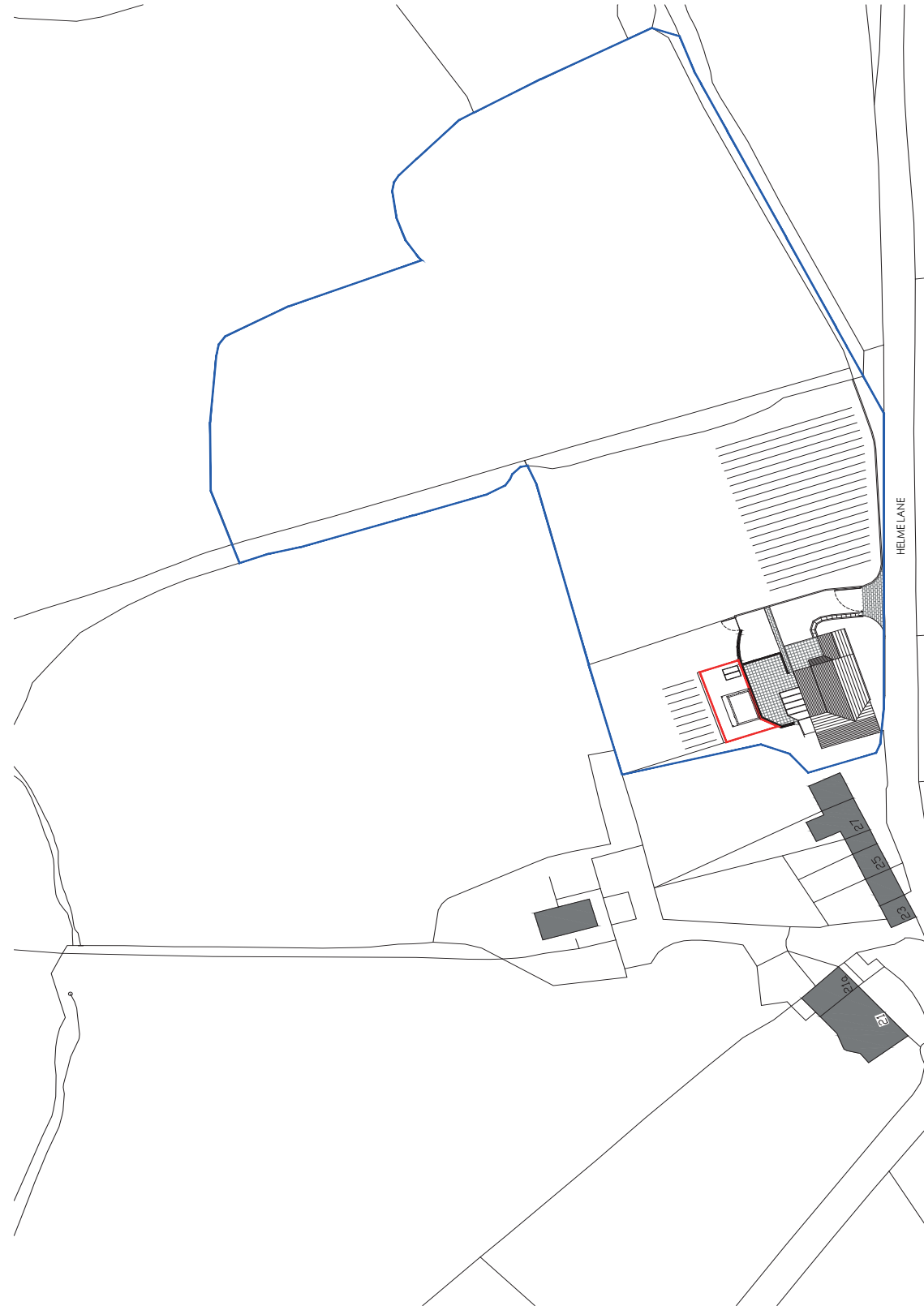
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A1	FEB 2024	FEB 2024

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1.9_ PLANNING DRAWINGS_

As Proposed Site / Location Plan_

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Notes_

PLANNING



SCALE 1:500

Note:
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Rev. Date. Amendment. By. Appr.

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Drawing Status_ PLANNING

Client_ MR + MRS CALDER

Project_ PROPOSED ANCILLARY BUILDING, HELME EDGE FARM, HELME LANE

Drawing Title_ AS PROPOSED, SITE + LOCATION PLAN

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2.0_ CONCLUSION

This scheme seeks to fulfill the requirements of the client and rationalization the proportions of the existing site and introduce a new out building to support an existing business. The proposal must complement surrounding context through well considered architecture. This will be achieved in terms of its architectural design, massing and density, materials, the layout and type of property and in relation to its urban and landscape design.

The design sees the introduction of an addition to the site and main dwelling from which will be accessed from the existing landscaping.