

<b>Application No.</b>	2024/62/90108/W
<b>Proposed Development:</b>	Demolition of existing wall and erection of fence (within a Conservation Area)
<b>Location:</b>	1, Ravensdeane, Edgerton, Huddersfield, HD3 3DD
<b>Ward:</b>	Greenhead
<b>Type of Comment:</b>	Objection

## 1. Introduction

The prominent historic boundary wall is in a dilapidated and unsafe state, necessitating immediate repair and remediation to avoid the loss of further sections of the wall and to prevent injury to those using the properties. The wall is within the curtilage of Grade II listed buildings and special consideration needs to be given that Trafford House and Ravensdeane are located within a Conservation Area.

The application should be mindful of the fact that the properties are located in an area of unique character and is part of the setting of listed heritage assets. Consideration needs to be made of all relevant Planning Policies and of the Edgerton Area Conservation Appraisal document.

## 2. Consultation

The Design and Access Statement – Consultation section details: *“Discussed with neighbours in Trafford House who have documented a fence would be sufficient for their purposes.”*

Trafford House strongly object to the historic boundary wall being demolished and replaced with a 0.9m timber fence. Ravensdeane Estate Management Ltd only advised Trafford House of their proposal to demolish the historic boundary wall and replace it with 0.9m timber fence on the 18th April 2024, after the planning application had already been submitted on the 15th January 2024.

A single casual passing remark had been made during a much wider conversation with Ravensdeane Estate Management that; if the wall wasn't a retaining wall a hedge or fence would be sufficient to mark the boundary line. This is not in any way endorsing Ravensdeane's proposal to demolish the prominent historic boundary wall and replace it with a with a 0.9m timber picket fence.

## 3. Planning Policy Compliance

The proposal is not compliant with the National Planning Policy Framework and the Councils Local Plan Policies. The proposal is not aligned to the Council's strategic objective 'to protect or enhance characteristics for the built, natural and historic environment'. The following policies and documentation should be considered, relevant to this proposal:

- National Planning Policy Framework
- Kirklees Local Plan Strategy and Policies [2019] Policy LP35 Historic Environment
- Kirklees Local Plan Strategy and Policies [2019] Policy LP30 Natural Environment
- Kirklees Local Plan Strategy and Policies [2019] Policy LP24 Design
- Conservation Area Appraisal – Edgerton [Local Plan ID CA13]

The proposals must be determined in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990. The duty at Section 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: *“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses”*.

The duty at Section 72 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states: *“In the exercise, with respect to any buildings or other land in a conservation area ... special attention shall be paid to the desirability of preserving or enhancing the character or appearance of that area”*.

## 4. Heritage Statement

Trafford House is located within the Edgerton Conservation Area in the area designated as Character Area 1. This area is predominantly of large, mid-late 19C detached properties. Traditionally built from stone and demonstrating quality craftsmanship in their details, most have architecturally significant elements that feature a mix of Classical, Italianate and Gothic Revival styles and many have been given Grade II listing in recognition of this. Boundary treatments are typically quality coursed wall stone with hedge/shrub buffer planting to the front aspects, many with ashlar gate piers, of which some are listed.

Heritage Category: Grade II Listed Building  
Statutory Address: TRAFFORD HOUSE, 11, HALIFAX ROAD  
Listing Date: 28-Sep-1978  
List Entry Number: 1134178

Listing Description: HALIFAX ROAD 1. 5113 (South Side) Edgerton No 11 (Trafford House) SE 1217 27/623 II GV 2. Mid C19. Ashlar. Hipped slate roof. 2 storeys. Moulded and bracketed eaves cornice. Blocking course, pedimented in centre with sculpted wreath. Rusticated quoins. 4 sashes in moulded surrounds on 1st floor. One sash, framed by Tuscan piers and full entablature, and one canted bay with Tuscan piers, full entablature and blocking course, on ground floor. Porch on Ionic columns, with full entablature and blocking course.

Although the boundary walls and gate piers are not in themselves listed, they are a good example of the quality and workmanship characteristic of the area and are a significant aspect of the designated heritage asset setting. The wall is of 19thC red clay brick. It is finished with half-round, fine tooled sandstone coping along its length. A lower wall of 19thC red clay brick, finished with gritstone saddleback coping stones forms a buttress. This forms a retaining wall for the adjoining elevated land on the Ravensdeane side.

The boundary walls are typical of the brick and stone boundaries within the conservation area. In terms of style and appearance, the boundary walls do contribute to preserving the designated heritage asset's significance, as it forms an important element of the listed building's intended design and setting. Therefore, the importance as non-designated heritage asset must be recognised.

## 5. Correspondence from Conservation Office

Correspondence previously received from Planner in relation to this wall: *"The previous agent met our conservation office on site where concerns were raised on the submitted plans, over the proposed method of repairing the collapsed wall. Therefore, please can you provide any information or amended plans of how you propose to repair the damaged wall and move the application forward. Currently the old bricks are on site and these should be retained within the grounds to be re-used and not removed, given the property is a listed building, were council officers have photographic evidence of the bricks currently on site."*

## 6. Technical Design

### 6.1 Historic Signpost

The proposal plans do not identify the historic Trafford House signpost located next to the boundary wall, which will be affected by the works. If the earth mound is reduced in that location, it will expose the post footings, if the post does not go down to the tarmac level, the footings will need to be removed and a suitable post base must be added securely onto the existing signpost to ensure it remains at its current height and match the remaining signpost in design and material and the new post rebbed firmly into the ground. If the signpost extends to the tarmac level, it will need to be cleaned and restored.

### 6.2 Height of Boundary Wall

The plans do not provide any details on the height of the existing boundary wall from ground level (tarmac level):

- At its lowest point where the wall meets the boundary wall at Halifax Road, the wall is 0.3m high, with a 1m high earth mound and a total height of 1.3m from ground level.
- Further along the unstable wall at 10m point, just at the point before the collapse: the wall is 0.4m high, with a 1m high earth mound and a total height of 1.4m from ground level.
- Further up along the wall at 18m point, just at the point after the collapse wall ends: the wall is 2m high, with a 0.4m high earth mound and a total height of 2.4m from ground level.
- Further up along the unstable wall at 25m point: the wall is 2.5m high, with a 0.3m high earth mound and a total height of 2.8m from ground level.

The proposed works appear to only cover 17-liner meters section of wall, however it measures as 18-liner meters, with the starting point at Halifax Road, to the end of the collapsed wall section. At the 18-liner meter point, the total wall height is 2.4m from ground level. Therefore a 0.9m high timber fence is totally inadequate and will have an immediate impact on overlooking issues. The yellow tape measure against the gate pillar in the photograph below demonstrates the height of the proposed timber fence, at the lowest height point of the current wall.

### 6.3 Health and Safety Concerns

There is an additional section of unstable wall, that extends from the end of the current collapsed wall to approximately 7 to 9 liner meters further along, this is also in a very poor state of repair, leaning, stepped, twisted and likely to collapse imminently, which has not been included in the proposed remediation plans.

This is a major health and safety concern for the family with young children and for visitors at Trafford House. The wall at this section is 2.8m high and any collapse is likely to cause serious injury, stop access and use of the property.

### 6.4 Water Drainage

The proposal does not provide any information of what effect the sloped banking will have on the drainage of surface water and of any water drainage system for the remaining unstable wall section. Is the proposal encouraging the surface water run-off into the lower land at Trafford House, is this sustainable or will it cause future water pooling issues.

### 6.5 Finishing Details

There have been no finishing details showing the relationship between how the 2.4m high wall comes to an end and the timber fence begins. The jarring nature of the abrupt end to the 2.4m high wall and the start of the 0.9m high timber fence raises serious concerns of the adverse impact on the character and appearance on the listed buildings setting and the Edgerton conservation area.

## 7. Objection to Replacing Wall with Timber Fence

There are several properties located with the Ravensdeane Estate. This collapsed boundary wall is at the rear bottom corner of the Ravensdeane Estate, this area of the garden is used to store bins and is otherwise seldom used by the Ravensdeane residents. Therefore, demolishing the historic boundary wall and replacing it with a timber fence would not have any significant visual impact for the Ravensdeane's residents.

This wall is a prominent feature for Trafford House, being located at the front entrance of the property that faces Halifax Road. The prominent historic boundary wall can clearly be seen from the road by passing vehicles and pedestrians. Demolishing the historic boundary wall and replacing with a timber fence will have a substantial adverse impact on the character and appearance of the Grade II Listed properties and the Edgerton Conservation area. All the properties in the immediate local vicinity all have walled gardens, replacing the historic wall with a timber fence would be detrimental to the appearance of the area.

The proposed 0.9m timber picket fence would result in Trafford House, the neighbouring property being fully overlooked from the elevated path at Ravensdeane, and result in a disproportionate and adverse impact on the character and appearance of the conservation area and have a negative impact on the designated heritage asset.

Fundamentally, the proposal fails to demonstrate how the works would either 'preserve or enhance' the character and appearance of the conservation area. On the contrary, the proposed works would demonstrably compromise the character and appearance of the designated conservation area. The impact on the designated heritage asset would thus be adverse.

The proposal fails to:

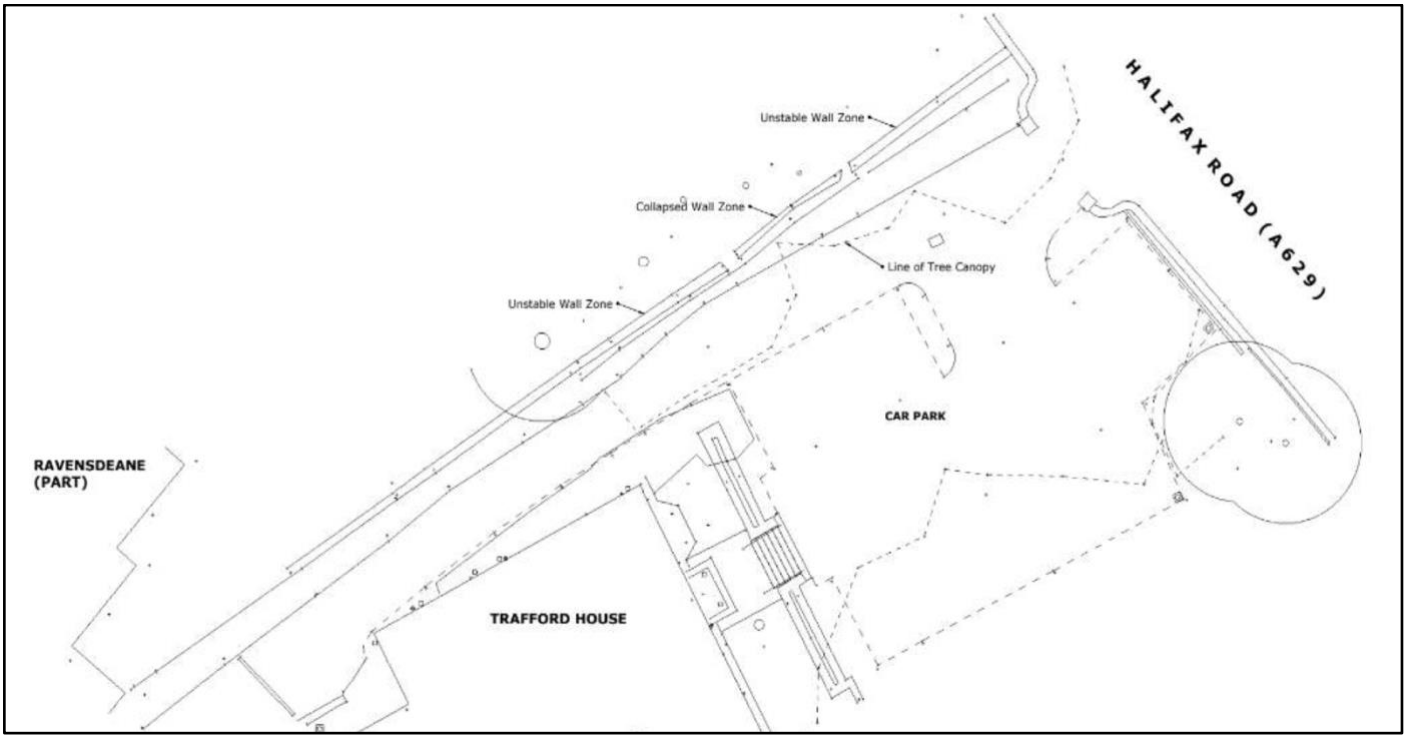
- Protect or enhance characteristics for the built and historic environment within a conservation area.
- Preserve the listed buildings, their setting, and features of special architectural or historic interest.
- Protect the existing street scene.
- Prevent further loss of the original boundary wall.
- Prevent further damage from a probable further collapse.
- Prevent or maintain safe access to, and use of, the Grade II listed buildings.
- Provide structural robustness.
- Prevent or maintain privacy by creating overlooking issues.

There are serious concerns that the proposed plans fundamental aim is to undertake the remedial works as inexpensively as possible. The fact that the proposal aims to replace such a prominent historical wall with a small timber fence, demonstrates no value has been given to the impact it will have on the listed buildings setting or the Edgerton conservation area.

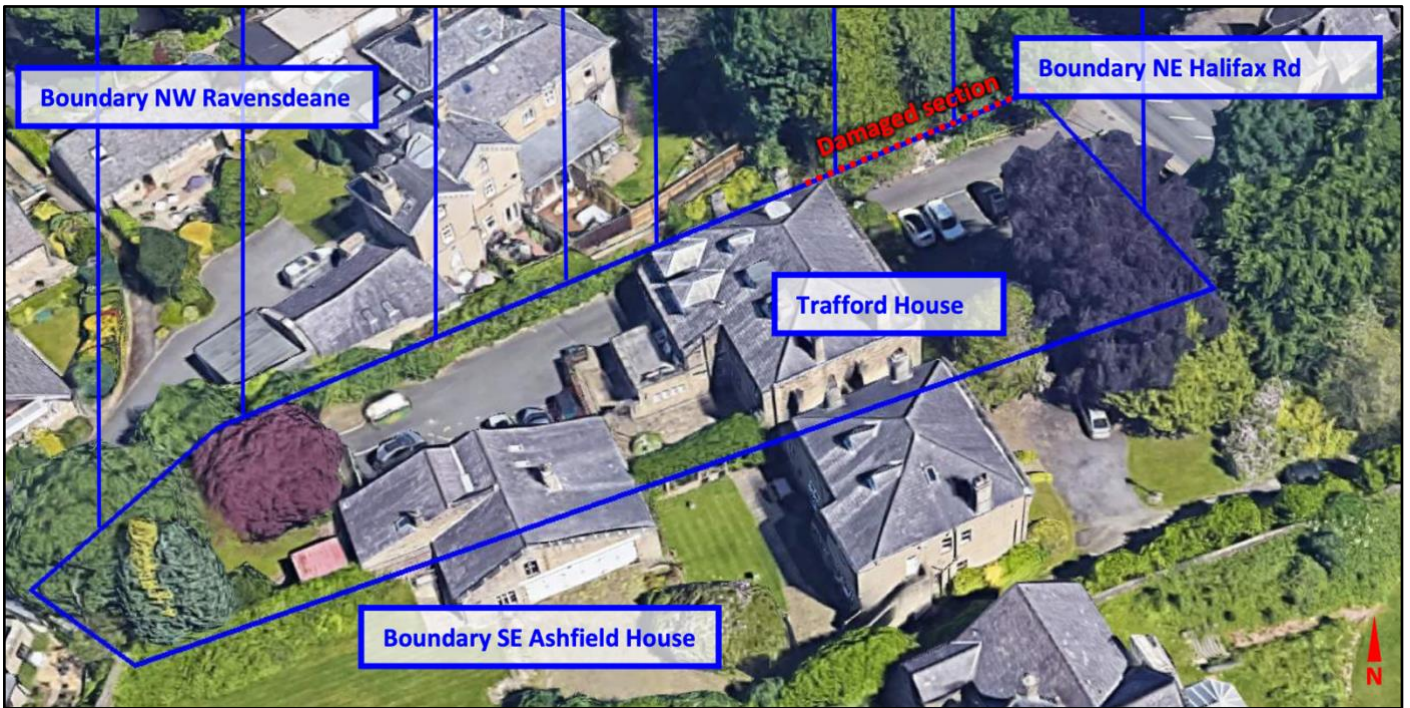
Furthermore, the proposal fails to address the additional section of unstable wall that needs to be corrected to prevent a further extensive collapse, at the risk of potentially causing serious injury to residents, young children, visitors and stop access to Trafford House.

I understand that remedial work cost is to be split over the seven properties that form part of the Ravensdeane Estate, therefore the individual cost for the work will be significantly reduced and consequently should be financially feasible to undertake the remediation work properly.

## Site Plan



## Google Maps Annotated Site Plan



Site Photographs



