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JF HG

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Designers & Architects

PLANNING,
HERITAGE
STATEMENT

124 HIGH STREET, SCAPEGOAT HILL

Job Ref: 2877

Headrow House, Old Leeds Road, Huddersfield HD1 1SG Tel: 01484 546000

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SECTION 1: INTRODUCTION

1. This Heritage Statement has been prepared to support a planning application for the erection of a single storey side extension to 124 High Street, Scapegoat Hill.
2. The building is Grade 2 listed. It is not in a conservation area.
3. This statement responds to section 16 of the National Planning Policy Framework which requires applicants to describe the significance of any heritage asset affected and the impact or contribution of the proposed development upon the heritage asset.
4. This statement has been prepared by James Fearnley BSc(Hons) MArch following site visits to appreciate the building and its context. Historical research has been carried out using digital and physical reference. This report has been created in conjunction with the submitted design proposal drawings.

SECTION 2: BACKGROUND, SITE & HERITAGE ASSET DESCRIPTION.

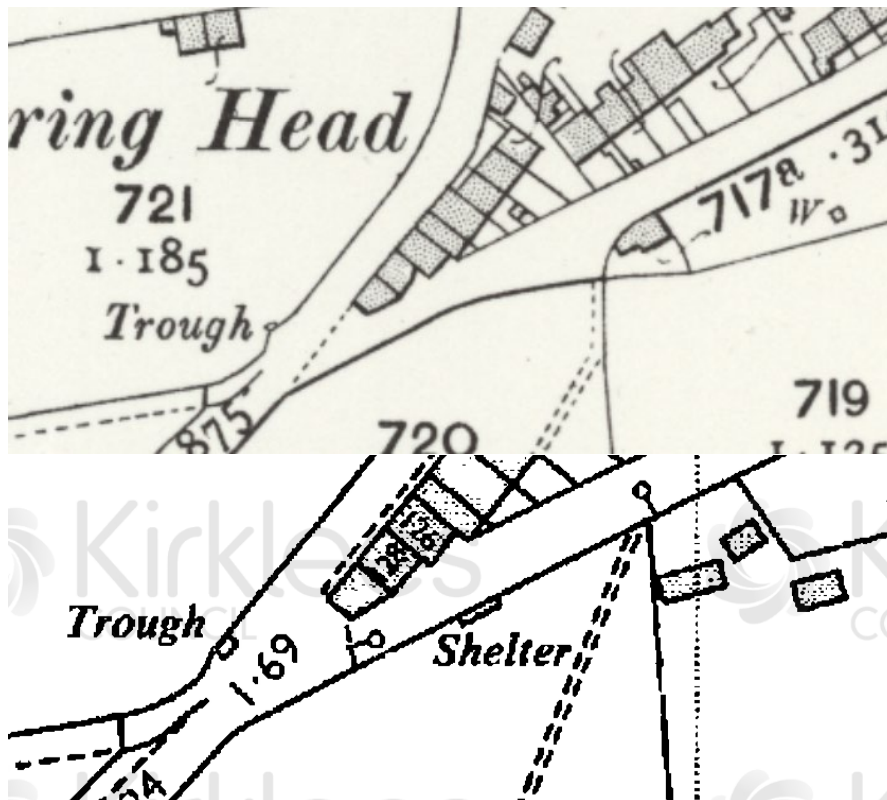
GENERAL DESCRIPTION & SITE LOCATION.

5. The application relates to number 124 High Street. The building is listed along with the adjacent house Nr 122. The remainder of the cottages on the terrace (120 -116) are under a separate listing due to their subtle differences in detailing.
6. The listed building is recorded as grade II and is described by Historic England as – *Early to mid C19. Handed pair. Hammer dressed stone (gable rendered). Pitched stone slate roof (bitumen covered). Stone brackets on string course (paired to north west elevation). 2 storeys (ground floor back to earth). South east elevation: Ground floor: two central doorways with stone surrounds. One 3-light stone mullioned window (to each dwelling). First floor: one 10-light stone mullioned window (2 lights blocked giving one 5-light and one 3-light window with continuous pronounced sill). North west elevation: Ground floor: back to earth. First floor: entrance with stone surrounds and tie-stones (blocked). One 9-light stone mullioned window (2 lights blocked).*
7. The dwelling is attached to nr 120 to the north-east. The listing text for 120 [to 114] is below – *Mid C19. Terrace. Part of longer row. Hammer dressed stone. Pitched stone slate roof. Coped gable. Stone brackets (paired to north west). 2 storeys. South East gable: Ground floor: three entrances with stone surrounds and tie-stones and fanlights; one 2-light larger (later style) stone mullioned window to each dwelling (1 mullion removed). First floor: one 6-light stone mullioned window (continuous pronounced sill) to each dwelling. North west elevation: Ground floor: back to earth. First floor: three entrances with stone surrounds and tie-stones (blocked); three 3-light stone mullioned windows. Included for group value.*

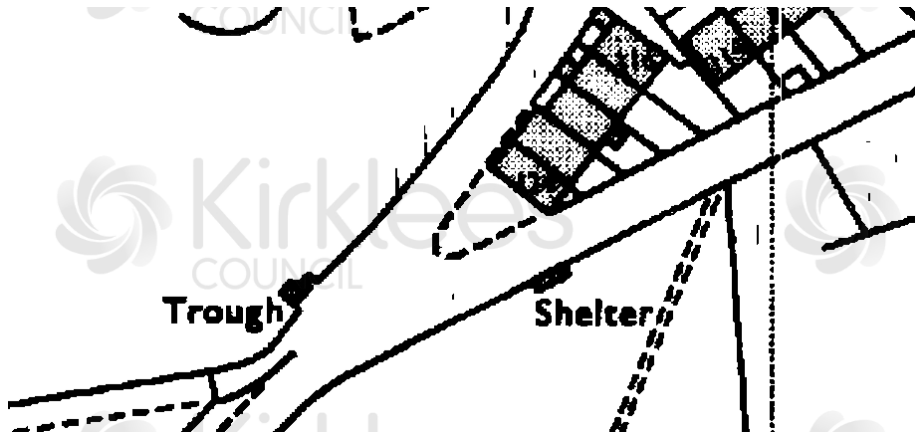
8. Nr 120 has previously had a double storey extension added per the image below [from Google Streetview]. The extension successfully responds to the scale of the existing house and replicates the detailing.



9. The property was originally attached to two more cottages to the south per the 1892 OS 25 inch map shown below. The image below the 1892 map is the 1955 OS map [from the Kirklees mapping service] which is the last map showing the properties (numbered 126 – 130).



10. By the 1965 2500 scale OS map [from Kirklees mapping service] the properties were demolished as shown overleaf.



11. The remaining property is a fine example of a traditional weavers style cottage, the cottage remains mostly as per the listing text.
12. The listing text makes no mention of the south-west elevation. This is the former party wall to the now demolished cottages.
13. The south-west elevation has sand cement rendered. It is most likely that this was done at the time of the demolition of the other cottages to hide any 'scars' on the party wall. The elevation features a single window with full stone surrounds. On the ground floor is a single door with full stone surrounds. To the side of the doors is a double window which has full stone surrounds and single mullion. All windows and doors on this elevation are not original, this is evident as the masonry surrounds are of a thinner profile to those on the front and rear. See image below of the existing elevation.



14. To the south-west is a small gravel area with a raised lawn on a small retaining wall.

SECTION 3: PROPOSED DEVELOPMENT

15. This planning application seeks to create a dining area with a better link to their garden space.
16. The proposed extension has been designed to match the main house detailing, incorporating – corbels, tabling, kneelers and windows and doors with full surrounds.
17. The extension has been designed to be subservient to the host dwelling.
18. All areas of new walling are to be built from natural stone to match the main house. The new roof will also be built from stone slates. The proposed windows and doors are to be timber to match the existing house.
19. There are to be no alterations to the exterior of the property other than the proposed extension.

SECTION 4: HERITAGE IMPACT

20. The proposed development relates to the southwest elevation which is of the least heritage significance. The door and window which are to be removed to facilitate this development were added in the 1960s following the demolition of the previous cottages.
21. The proposal will enhance the appearance of the rendered elevation by adding visual interest in a sensitive manner.
22. The proposed development has been designed where possible to reflect historic features.
23. The position of the roof on the extension allows it to be read as an extension to the run of cottages which reads in relation to the existing linear context.
24. The proposal will mostly be screened from Halifax road due to the level changes within the existing topography.

- 25. The proposals have a negligible impact on the listed building.
- 26. The proposed development allows the house to offer a more flexible living space for the house and its occupiers.

SECTION 6: KIRKLEES LOCAL PLAN (PLP35) AND NATIONAL PLANNING POLICY
FRAMEWORK (NPPF)

- 27. The NPPF provides guidance on assessing the impact of development on a designated heritage asset. It states that any harm of the heritage asset should require clear and convincing justification.
- 28. Paragraph 189 of the NPPF sets out that in determining planning applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting.
- 29. Paragraph 200 of the NPPF sets out that local planning authorities should look for opportunities for new development within Conservation Area, and with the setting of heritage asset, to enhance or better reveal their significance.
- 30. The site is identified within the Local Plan as being within Huddersfield Town Centre Conservation Area.
- 31. The Local Plan explains it is not necessary to preserve every detail of a conservation area, but there should be care in the control of new development to ensure that the appearance of the area is not affected in a way that would diminish its value.
- 32. Policy PLP 35 from the local plan states...
 - "1. Development proposals affecting a designated heritage asset (or an archaeological site of national importance) should conserve those elements which contribute to its significance. Harm to such elements will be permitted only where this is outweighed by the public benefits of the proposal. Substantial harm or total loss to the significance of a designated heritage asset (or an archaeological site of national importance) will be permitted only in exceptional circumstances."*

SECTION 7: CONCLUSION

33. The proposed extension is sympathetic to the host dwelling and reflects the house's key features. The scale of the extension is relatively small and is subservient to the main cottages. The proposal has a minor impact on the listed building.
34. The proposal will allow the current occupants to have a more flexible living space and let them have better access to their garden.



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Written - JF | Checked - JC & HG