

Comments on revised plans and drawings with Planning Application 2023/61/93714/E

Application number

[2023/61/93714/E](#)

Location

Land off, Cumberworth Lane, Denby Dale, Huddersfield, HD8 8RU

Description / Development

Reserved Matters application (including the consideration of access, appearance, landscaping layout, and scale) for the erection of 10 dwellings pursuant to outline permission 2019/93906 for erection of residential development up to 10 dwellings, and discharge of condition 20 (waste arrangements)

Revised plans and drawings

The following revised documents have appeared in the planning portal subsequent to the end of the public consultation period:

- [Grouped Plans and Elevations \[id 1041462\]](#) 20/05/2024 - 12A - House type 03
- [Grouped Plans and Elevations \[id 1041460\]](#) 20/05/2024 - 11A - House type 2
- [Proposed Site Sections \[id 1041459\]](#) 17/05/2024 - 13C - Sections
- [Proposed Site / Block Layout \[id 1041447\]](#) 17/05/2024 - 10D - Site plan as proposed
- [General \[id 1041458\]](#) 20/05/2024 - Design & access statement

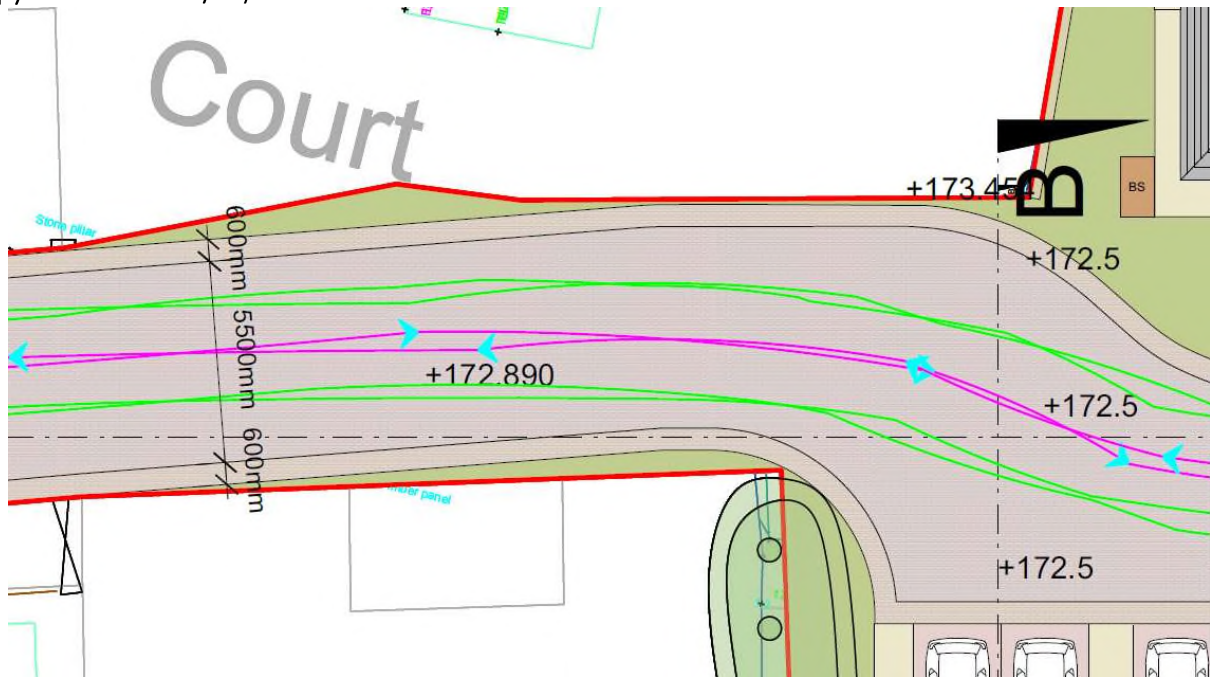
Access Roadway

Comparing [Proposed Site / Block Layout \[id 1041447\]](#) 17/05/2024 10D with the previous version [Proposed Site / Block Layout \[id 1031055\]](#) 29/02/2024 10C, it can be seen that the width of the access roadway has been increased up to the indicated boundary lines and width dimensions have been added, $2 \times 600 + 5500 = 6700 \text{ mm}$ total. I think this dimension is inaccurate and misleading in that it does not show the narrowest part of the roadway, which is at the existing gate to the field. My own measurements at the gate indicate that only **4800 mm** total width is available at this point.

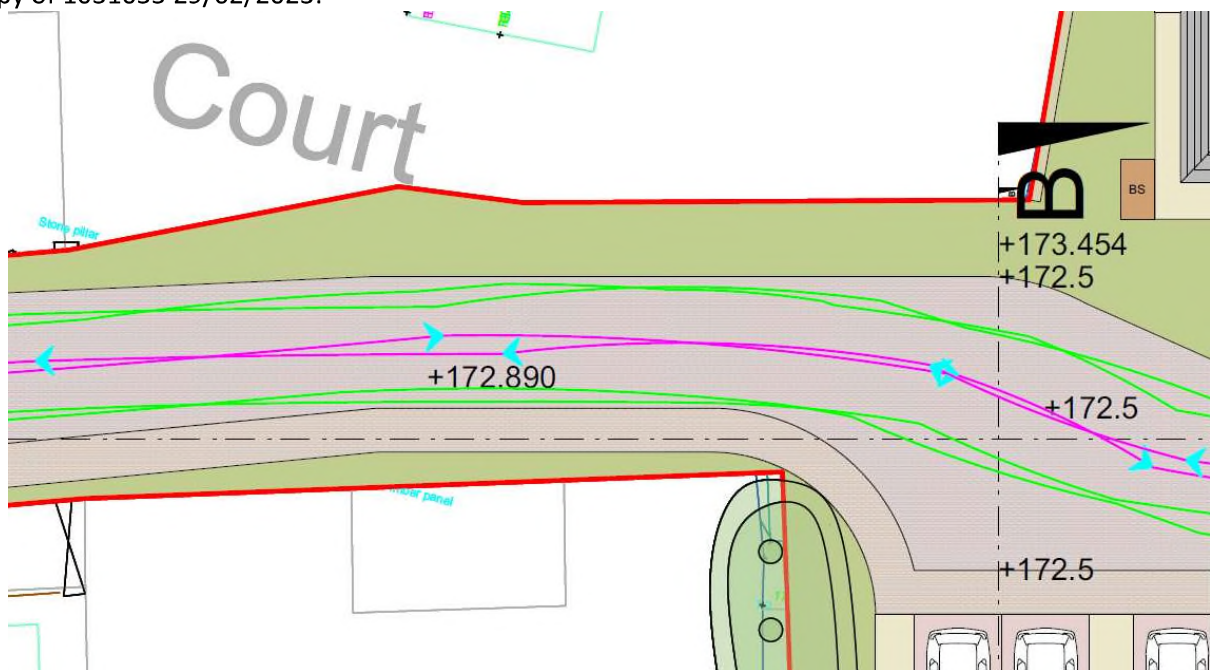
I believe that the boundary line to the south of Cruck Cottage, shown in red on these drawings, is not depicted accurately. Referring to the more detailed plans submitted with the 2019 application, [Grouped Plans and Elevations \[id 846469\]](#) 16/10/2020 - Updated Highways Plans, it can be seen that the boundary line depicted is inside the existing gate, fences and stone wall associated with Cruck Cottage.

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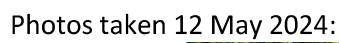
Part copy of 1041447 17/05/2024:



Part copy of 1031055 29/02/2023:



Part copy of 846469 16/10/2020:





Conclusion

It appears that the access roadway shown on the latest plans would impinge on the existing boundary of Cruck Cottage and indeed extend beyond the existing gate, fences and stone wall that are associated with this property. It is recommended that the site be visited and the dimensions and actual boundary location independently checked by the Planning Officer.