



PLANNING LAYOUT KEY:

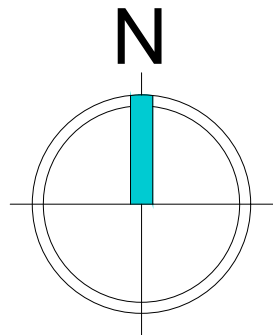
Boundary treatments

- ART STONE WITH FENCE PANEL
- CLOSE BOARDED TIMBER FENCE
- METAL RAILINGS
- 450 KNEE RAIL
- BLOCK PAVING (ADOPTABLE MARGINS)
MATERIAL SPEC TO BE AGREED.
- BLOCK PAVING (PRIVATE AREA)
MATERIAL SPEC TO BE AGREED.
- ALL OTHER DRIVES/DRIVEWAYS TO BE TARMAC
- AFFORDABLE
- BIN COLLECTION POINT
(BIN COLLECTION DAY ONLY)
- RETAINED TREE

Z	Shared surface amended to accommodate possessory title.	NJ	30.08.23
Y	Plots 1 - 6, 8 & 9, 15 - 21 updated as per client comments.	VR	21.08.23
X	Updated as per LA comments.	NJ	17.03.22
W	Visi splay added, bin collection points added, turning head cut back in line with planners comments	AS	16.03.22
V	Updated as per LA comments.	NJ	15.03.22
U	Updated as per LA comments.	NJ	08.02.22
T	Updated turning head to the North.	NJ	08.12.21
S	Updated roof pitch to plot 8 & 9 Baycliffes	NJ	17.11.21
R	Road pattern amended to suit Highway comments.	NJ	17.11.21
Q	Roof design amended at plots 1 & 4.	NJ	15.11.21
P	Layout updated to clients comments and LA discussions.	NJ	20.10.21
N	Layout updated to clients comments.	NJ	21.04.21
M	Redline, boundary fence and driveway updated to suit red line overlays as issued 23.02.21	TS	24.02.21
L	Path shown to open space connecting to Swallow Lane	TS	10.11.20
K	Extent of block paving updated to clients comments.	TS	09.11.20
J	Red Line updated to title plan to the rear of plot 15, accommodation schedule reduced, driveway areas updated to client comments.	TS	06.11.20
H	Layout amended to clients comments prior to submission.	TS	04.11.20
G	Layout updated to clients redesign of 03.08.20	TS	04.08.20
F	Access and enclosure to POS amended	BMS	27.03.20
E	Alignment of road amended to alter VP. Extra VP added	BMS	04.03.20
D	Plots to south replanned to clients comments	TW	25.02.20
C	Plot 6 & 7 parking amended to twin garage. Underground tank added in South East corner.	TW	10.02.20
B	Plot 6 handed, plot 7 and plot 9 to Bayswater. Visitor parking bays introduced.	TW	20.01.20
A	Updated to general clients comments. Plot 6 Sherwood replaced with Bayswater. Plot 16 replaced with Banbury. Plot 17 to detached Baycliffe.	TW	26.11.19
REV:	DESCRIPTION:	BY:	DATE:

Accomodation schedule				
Free Sale	Floor Area (Sqft)	Beds	Total	Total Sqft
Keywick	941	3	8	7528
Banbury	1264	4	3	4502
Buckley	1069	4	3	2024
Bentley	1019	4	1	1019
Letchford	1945	5	2	3890
Total		17		22163
Discount for sale				
Keywick	Floor Area (Sqft)	Beds	Total	Total Sqft
Total	941	3	4	3764
Overall Total		21		25827
Overall Totals				
Gross Area	hectares	839.5		
Public Open Space	0.75	1.83		
Nett Area	525sqm			
Dens by	0.86	1.84		
Coverage	32	15773		

Scaled @ 1:500



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CLIENT:			
SITE:	Swallow Lane Golcar		
TITLE:	Planning Layout Phase 02		
SCALE AT A3:	1:500	DATE:	11.11.19
PROJECT NO:	1956	DRAWN:	NJ
DRAWING NO:	1956.01	CHECKED:	Z
REVISION:			