

Sent: Wednesday, September 27, 2023 3:02 PM

Subject: Re: 2023/92308 and 2023/92410 8 Dodlee Lane Hd3 - wishing to oppose the planning applications

Hi Laura, here are my comments regarding the applications:-

Dorma - 2023/92410

The large extra windows on the proposed extension will significantly invade our privacy and that of our neighbours. It would look directly onto our garden and overlook our property (12 Dodlee Lane), as well as No 16 Dodlee Lane, where it will look directly into their bedroom windows and garden. Our privacy is already compromised due to the new decking which is currently under appeal due to no planning permission being obtained when built. See photo 1.

No 8's property ground level is elevated above No 12's (our property) by roughly 3m+. To raise the roof of the property, by building a dormer by a further 1m, is quite significant, making the proposed extension overbearing and imposing a dominant impact on my own and other surrounding properties.

Being in a Conservation Area the dorma would also have a significant impact on the appearance of the property. It is a contemporary design and does not fit in with the surroundings. The current brickwork of the new conservatory is starkly different from the main building. I strongly suspect this will be the same for the raising of the roof, creating a very unaesthetic view and detract from the charm of the other properties and heritage of the area generally, which I assume the Conservation Act tries to protect.

The view from Lamb Hall Road, the cul de sac the property resides in, and Dodlee Lane will also be significantly changed. Photo 2

Patio - 2023/92308

The vast majority of the decking did not get replaced with similar decking and is totally different to what previously existed. The old decking had not been there for a number of years as claimed. When it was sold in September 2021, there was no wooden decking. See photos 3, 4 and 5.

The new decking is in a different location, of a different material/colour and is significantly larger in area and height to the old one.

The new decking is elevated higher and is now positioned at the property floor level and not accessed down external steps as the original layout. Their property ground level is already approx 3m+ above ours (12 Dodlee Lane), so the change in location and level of the external decking does invade our privacy alot more than the original would have. See photo 1.

The old decking used to be accessed down several external steps from the conservatory door (situated at the far left of the conservatory if looking out) down to the patio at lower level and went off to the left towards the road/footpath. The new decking is the full length of the new conservatory, raised in height significantly to the property floor level and also wraps around the corner of the property at the rear towards the field.

As mentioned, the appeal site is elevated approx 3m+ above no.12's (our property) and even higher to no.16's. Our hedges/fence do not screen or provide any privacy from the decking as it is raised higher than the top of the boundary hedges/fence. See Photo 1. Our full rear garden/conservatory and view into the top windows of No.16 are overlooked by the decking and is an invasion of our privacy.

The decking is not away from public view and is clearly visible from Lamb Hall Road and Dodlee Lane detracting from the charm and heritage of this Conservation Area.

As a side issue we would advise that the proposed extension of no.12 which is mentioned in the appeal was granted by Kirklees Planning in 2021 (this has not been carried out and we have no plan to do so - 2021/62/90998/W). However, these plans are totally different to their application and would not have caused any privacy issues to adjacent properties. Please see the plans and that the area is already set back and any windows would have been looking directly to the back elevation onto the fields and not at any angle which would be facing their property or affecting any privacy issues. See photos 6 and 7.

If you could forward these onto the correct parties it would be much appreciated.

Kind regards,





← Back



33 of 43 Garden



← Back

Floor



31 of 43 Bathroom



32 of 43 Rear Elevation



PROPOSED GROUND FLOOR PLAN
SCALE 1:50



PROPOSED FIRST FLOOR PLAN
SCALE 1:50

Photo 6

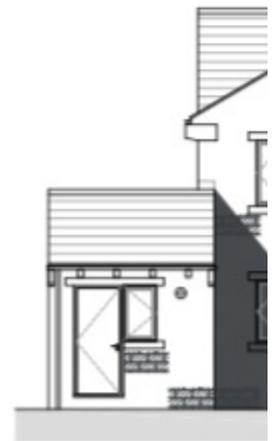
PROPOSED MATERIALS	
• MASONRY	- NATURAL/ARTIFICIAL COURSED STONE
• ROOF TILES	- CONCRETE TILES
• DOORS	- BLACK ORITALL STYLE
• WINDOWS	- BLACK ORITALL STYLE
• RAINWATER GOODS	- BLACK PVCu



PROPOSED SECTION
SCALE 1:50



PROPOSED NORTH EAST FACING ELEVATION
SCALE 1:50



PROPOSED NORTH WEST FACING ELEVATION
SCALE 1:50

10 0 10 20 50 100mm ACTUAL SCALE

