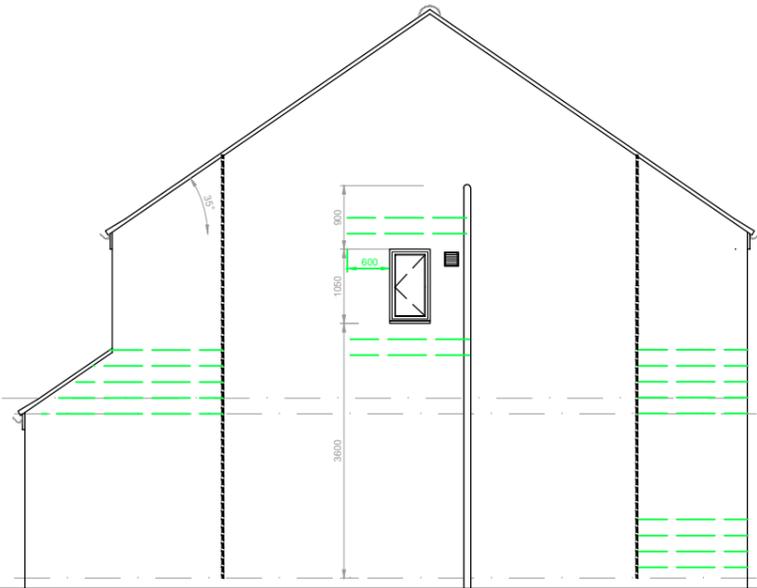


indicative PV location, refer to specification, material schedule and Energy strategy site plan for final location.



Front Elevation

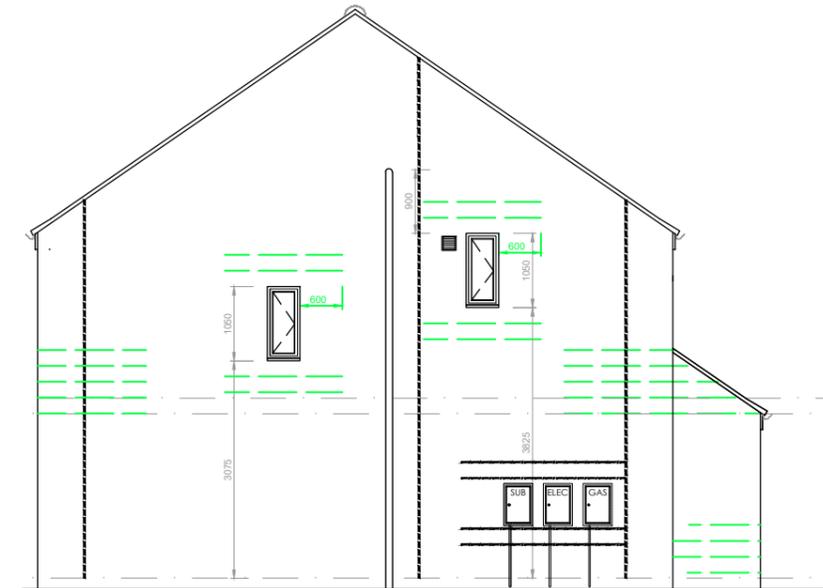
denotes required areas of brick reinforcement where concrete bricks are used.



Side Elevation

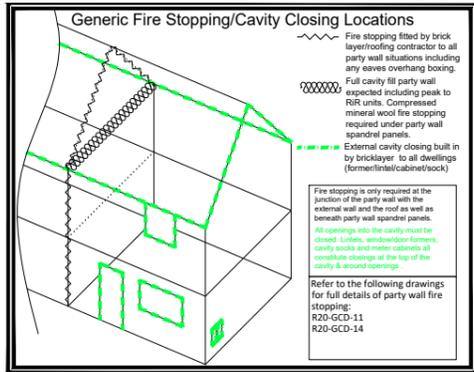


Rear Elevation



Side Elevation

Trickle vent requirements - 85m<sup>2</sup> 3 bed house = 40'000mm<sup>2</sup> - All vent rates are EQUIVALENT rates - total 64,000mm<sup>2</sup>  
 Varying Building Reg Requirements  
 2013 regs DAP 5.01



**Generic Fire Stopping/Cavity Closing Locations**

- Fire stopping fitted by brick layer/roofing contractor to all party wall situations including any eaves overhanging boxing
- Full cavity fill party wall expected including peak to R/R units. Compressed mineral wool fire stopping required under party wall spandrel panels.
- External cavity closing built in by bricklayer to all dwellings (former/inter/cable/block)
- Fire stopping is only required at the junction of the party wall with the external wall and the roof as well as beneath party wall spandrel panels.
- All openings into the cavity must be closed. Lintels, window/door frames, cavity socks and meter cabinets all constitute closings at the top of the cavity & around openings.
- Refer to the following drawings for full details of party wall fire stopping:  
 R20-GCD-11  
 R20-GCD-14

**General - All Dwellings**

**DRAINAGE** -RWP connection points shown are indicative - refer to drainage layout for plot specific positions. Durgo valves indicated to SP's to have access panel. Where property is at the head of a drainage run the last manhole must be ventilated - this may require a noted Durgo to be replaced with a SVP.

**FOUNDATIONS** - are shown indicative - refer to SI/schedule for actual foundation requirement.

**GROUND FLOOR** - is shown indicative -refer to SI/engineers schedule for floor type/gas membrane requirements

**WALLS** - refer to construction specification for all wall and partition types

**MOVEMENT JOINTS** - indicated on house types - MJ's shown are to suit concrete bricks - additional joints required for fully rendered elevations - positions may be varied to coincide with material changes but must be spaced as NHBC standards 6: D3

**ROOF** - refer to construction spec for insulation/ventilation requirements. Actual structural opening to suit suppliers requirement.

**ACCREDITED/CONSTRUCTIVE DETAILS** - relevant tick sheets are to be completed for each plot when building to 2006 or later building regulations.

**ENERGY EFFICIENT LIGHTING**  
 2006 building regulations 25%  
 2010 building regulations 75%  
 2013 building regulations onward 100%

**EXTRACT FANS** - Plot dependant, wall to take preference over ceiling, cooker hood to take preference over wall. Where 2 are shown in a room only 1 to be installed

**CARBON MONOXIDE DETECTOR** to be fitted to ALL properties with gas installations from 01/09/12

**SALES SPECIFICATION**  
 Reference should also be made to the feature sales specification for the particular development to confirm all items indicated are relevant and to the kitchen suppliers kitchen fitout drawing. Where utility sinks are indicated, these may be a Finishing Touch & will require an extract fan.

**PATIOS** - refer to site sales spec for patio door/french window and whether patio is provided as standard or finishing touch

**GARAGE DOOR** - depending on development, rollershutter or up & over

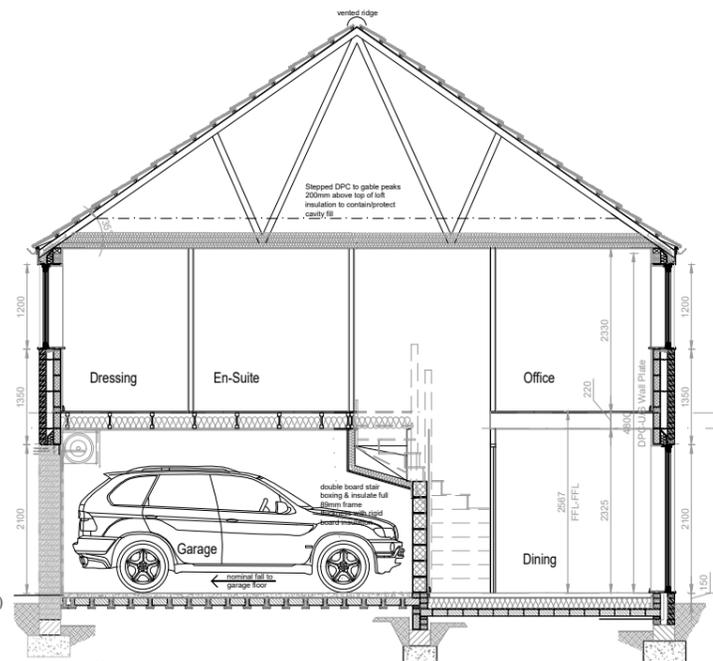
**GABLE WINDOWS** - may not be relevant to all plots depending on orientation

**NATIONAL SPACE STANDARDS-NSS**  
 Certain notes refer to NSS/ADM4(2) and apply ONLY where NSS/ADM4(2) is a planning requirement (CAD users - print/freeze layers NSS & ADM4(2) to suit site planning requirement)

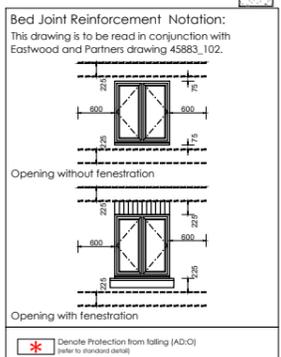
**Electrical Key**

- 13amp fused switched spur with neon light @ high level and unswitched socket @ low level
- Kitchen grid switch controlling all unswitched sockets to appliance spaces and high level socket for eh
- light switch (2 way)
- Pull cord
- 13amp double socket outlet
- Smoke detector - see site specification
- Carbon Monoxide detector to be fitted to ALL properties
- Heat detector - see site specification
- 13amp fused switched spur and neon light
- Wall mounted extract fan
- Consumer unit (switches 1350-1450 above fill for sites commenced April 2013 onwards)
- Batten light
- Pendant Light
- Denotes energy efficient bulb to be fitted
- Energy efficient wall light (dusk/dawn PIR to exit)
- 13amp switch socket outlet
- Cooker control spur with outlet below bench
- 13amp double socket outlet at high level
- 13amp socket outlet at high level
- Ceiling mounted extract fan
- Recessed spot
- Fibre broadband inlet, ATB box back to back where adjacent router location or microduct to remote router
- Media Plate (2x Double Sockets, TV)
- FibreNest Router Location
- FibreNest ONT Box Location
- Photovoltaic Meter (Refer to Site Specification)
- Lockable Isolator Switch (Refer to Site Specification)

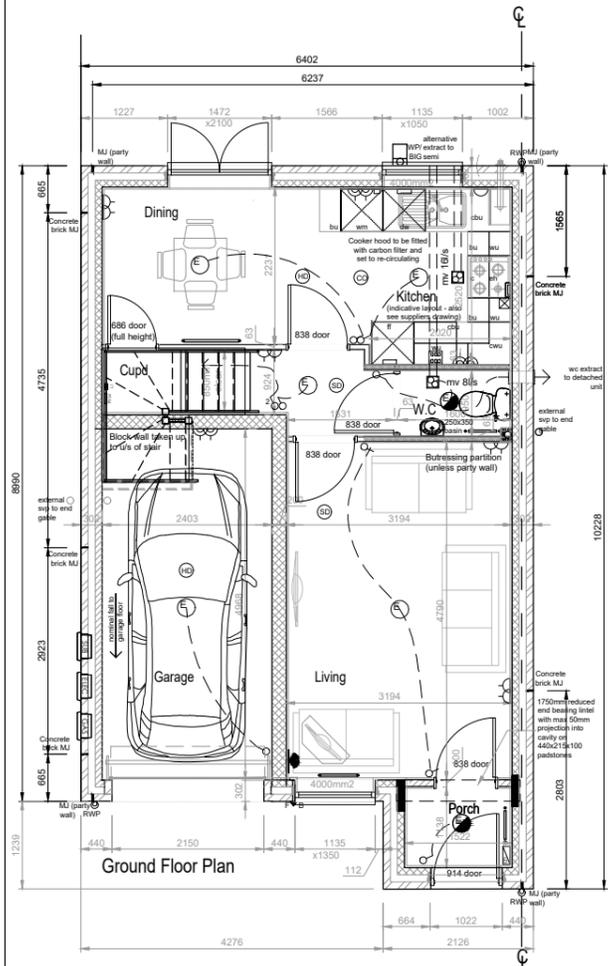
Note- for kitchen refer also to kitchen suppliers drawing



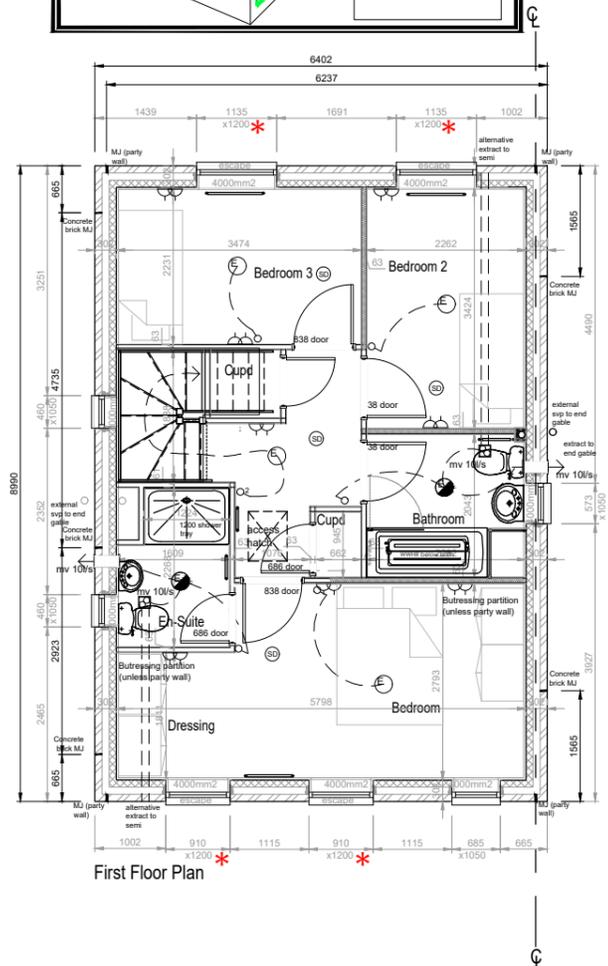
Section



**Bed Joint Reinforcement Notation:**  
 This drawing is to be read in conjunction with Eastwood and Partners drawing 45883\_102.



Ground Floor Plan



First Floor Plan

**PERSIMMON HOMES**

<b>Housetype</b> 0920	<b>Date</b> 020120
<b>Sales Name</b> Dalby (R20)	
<b>Drawing Number</b> DB-WD01	50@A1 100@A3
<b>Plans &amp; Elevations</b> (Netherton, Huddersfield)	
	Formerly
	Rev H

Rev A - Glazing bars to standard elevation 060520HS  
 Rev B - French doors split evenly 120520MR  
 Rev C - Additional BJR (contemporary) 220520MR  
 Rev D - Porch lintel note, fire/cavity barrier det added 120620MR  
 Rev E - En-suite/stairwell dims adjusted, bed 2 socket 020720MR  
 Rev F - Additional Smoke detectors added inline with Group Specification 071221 GdD  
 Rev G - SD to garage changed to HD following further discussion with Anup's. 090222 GDD  
 Rev H - 'G' Reference added to title sheets, Bath block updated, window trickle vent rates set to 4000mm<sup>2</sup>. Cooker extract removed and EF added to kitchen, PV meter and Isolator switch added to GF Plan, PV panels added to elevations and floor insulation thickness increased on section. 181222 GdD