



ERECTION OF TWO STOREY REAR, PART SINGLE STOREY SIDE AND FRONT PORCH EXTENSIONS, AT 2 SWISS WALK, BATLEY, WF17 7BL.

CLIENT: MR A AKUDI

PROPOSED GROUND FLOOR PLAN

Date 06/2023

Sheet size: A3

Drw No. 1539-01 /

S-21

**DRAWINGS FOR PLANNING PERMISSION
 NOT BUILDING REGULATIONS OR CONSTRUCTION**

Existing cliff face to remain unaltered

Existing boundary natural stone wall to remain unaltered
 Pinch point to face of boundary wall, must ensure access is maintained, absolute min 850.

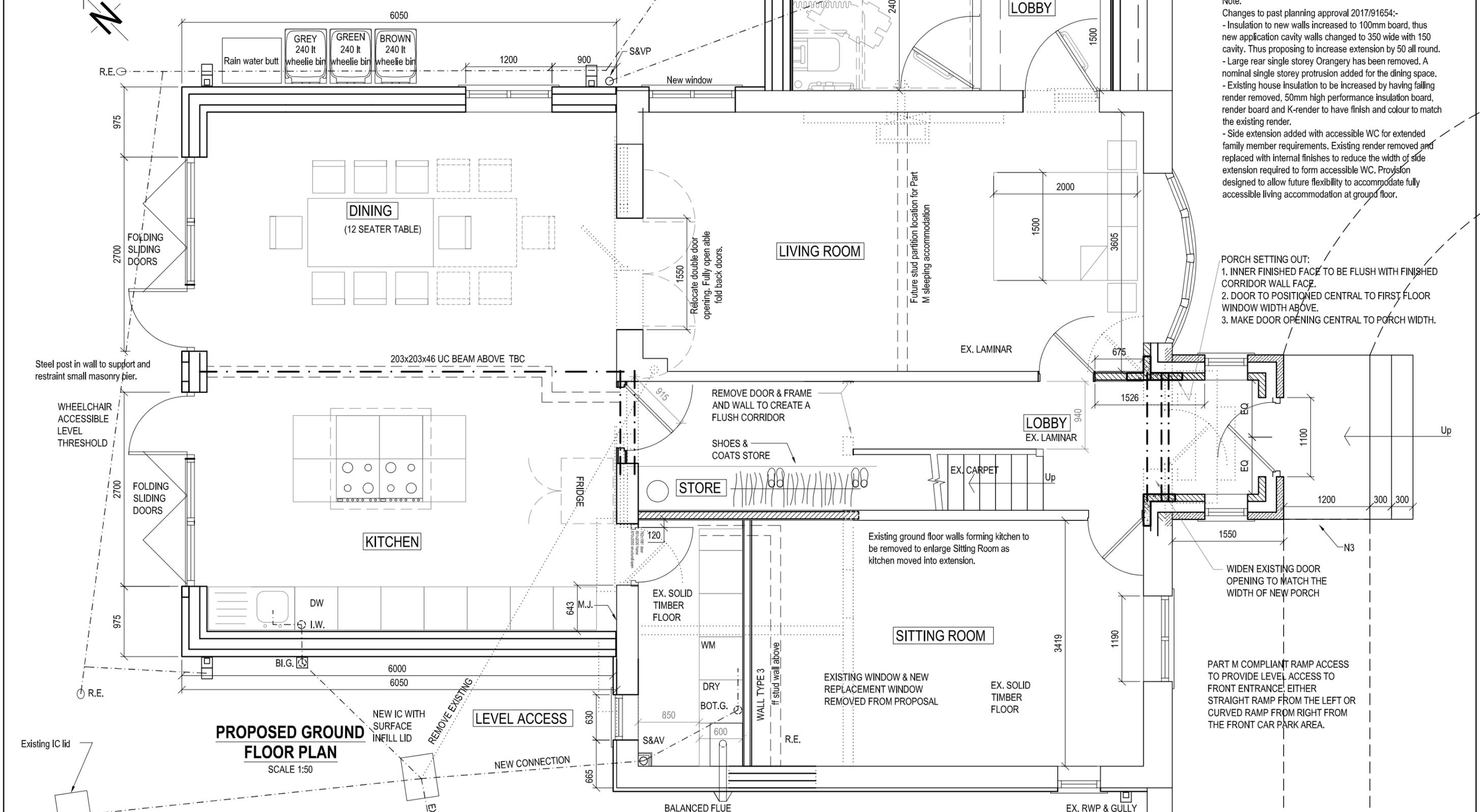
SW2
 SURFACE: NEW CONNECTION TO NEW SOCK AWAY IN FRONT GARDEN BELOW LAWN AREA, WITH AN OVERFLOW CONNECTION TO MANHOLE IN DRIVE OVER ASSUMED EXISTING DRAIN

FOUL: NEW CONNECTION TO EXISTING MANHOLE IN RAISED ROSE BED.

Note:
 Changes to past planning approval 2017/91654:-
 - Insulation to new walls increased to 100mm board, thus new application cavity walls changed to 350 wide with 150 cavity. Thus proposing to increase extension by 50 all round.
 - Large rear single storey Orangery has been removed. A nominal single storey protrusion added for the dining space.
 - Existing house insulation to be increased by having falling render removed, 50mm high performance insulation board, render board and K-render to have finish and colour to match the existing render.
 - Side extension added with accessible WC for extended family member requirements. Existing render removed and replaced with internal finishes to reduce the width of side extension required to form accessible WC. Provision designed to allow future flexibility to accommodate fully accessible living accommodation at ground floor.

PORCH SETTING OUT:
 1. INNER FINISHED FACE TO BE FLUSH WITH FINISHED CORRIDOR WALL FACE.
 2. DOOR TO POSITIONED CENTRAL TO FIRST FLOOR WINDOW WIDTH ABOVE.
 3. MAKE DOOR OPENING CENTRAL TO PORCH WIDTH.

PART M COMPLIANT RAMP ACCESS TO PROVIDE LEVEL ACCESS TO FRONT ENTRANCE. EITHER STRAIGHT RAMP FROM THE LEFT OR CURVED RAMP FROM RIGHT FROM THE FRONT CAR PARK AREA.



PROPOSED GROUND FLOOR PLAN
 SCALE 1:50