

Environment Agency  
Kings Pool Peasholme Green  
York  
YO1 7PX

Date 6<sup>th</sup> September 2023  
Our Ref: 23345

FAO Bev Lambert

Dear Sirs

**Re: Main River Culvert Condition Technical Note for proposed Conversion at 31 Chapel Hill, Linthwaite**

We write in response to your planning consultee response of 13<sup>th</sup> June 2023 ref RA/2023/145899/01-L01 to William Simcock of Kirklees Metropolitan Borough Council.

We write to better describe the current setting of the culvert, describe proposed development works in the vicinity and provide additional information requested.

GHP Architects have provided a site plan which indicates the position and alignment of the culvert. Beyond this, a visual inspection of the culvert has been undertaken and photos are shown below (video is available if considered of benefit).

From review of the GHP site plan and wider aerial imagery, it can be seen that the culverted watercourse passes beneath the adopted highway 'Waingate' and continues to be culverted north of this point, for approx 130m overall. The culvert runs beneath the proposed development site and numerous other parcels of third-party land (assuming that the various properties to the North, accessed off Chapel Hill are all privately owned). We note that on this route there are other areas of private driveways and apparent garages over/adjacent to the culvert.

In the wider context of the above we note the following:

- From visual inspection, the culvert appears in reasonable condition, with no indication of defects or deterioration (stone arch construction).
- The loading applied to the culvert from an adopted highway is far in excess of the loading from a private car parking area for residential dwellings. In addition to this the access space will prohibit any larger vehicles from accessing this area.
- The culvert runs beneath an adopted highway and numerous other private curtilages. As such, it is extremely unlikely that the entire section of culvert would ever be opened up. In conjunction with this, given the short length in question beneath our development site, there is very limited benefit to be gained from opening up the culvert in this situation.
- The area of land over the culvert is proposed to be a small residential car parking area. Due to the space available, large machinery cannot be used to form the proposed hardstanding, i.e. very unlikely to overload the culvert. In addition to this, the proposed car park finish is to be macadam, which would not pose any difficulties in excavation, should culvert maintenance works be required at some point in the future.

Hopefully the above description in conjunction with the attached additional information provides sufficient clarification of the site specific circumstances associated with this development and why the proposed construction works are considered acceptable.

Yours faithfully



Peter Dixon  
For Dudleys Consulting Engineers Ltd

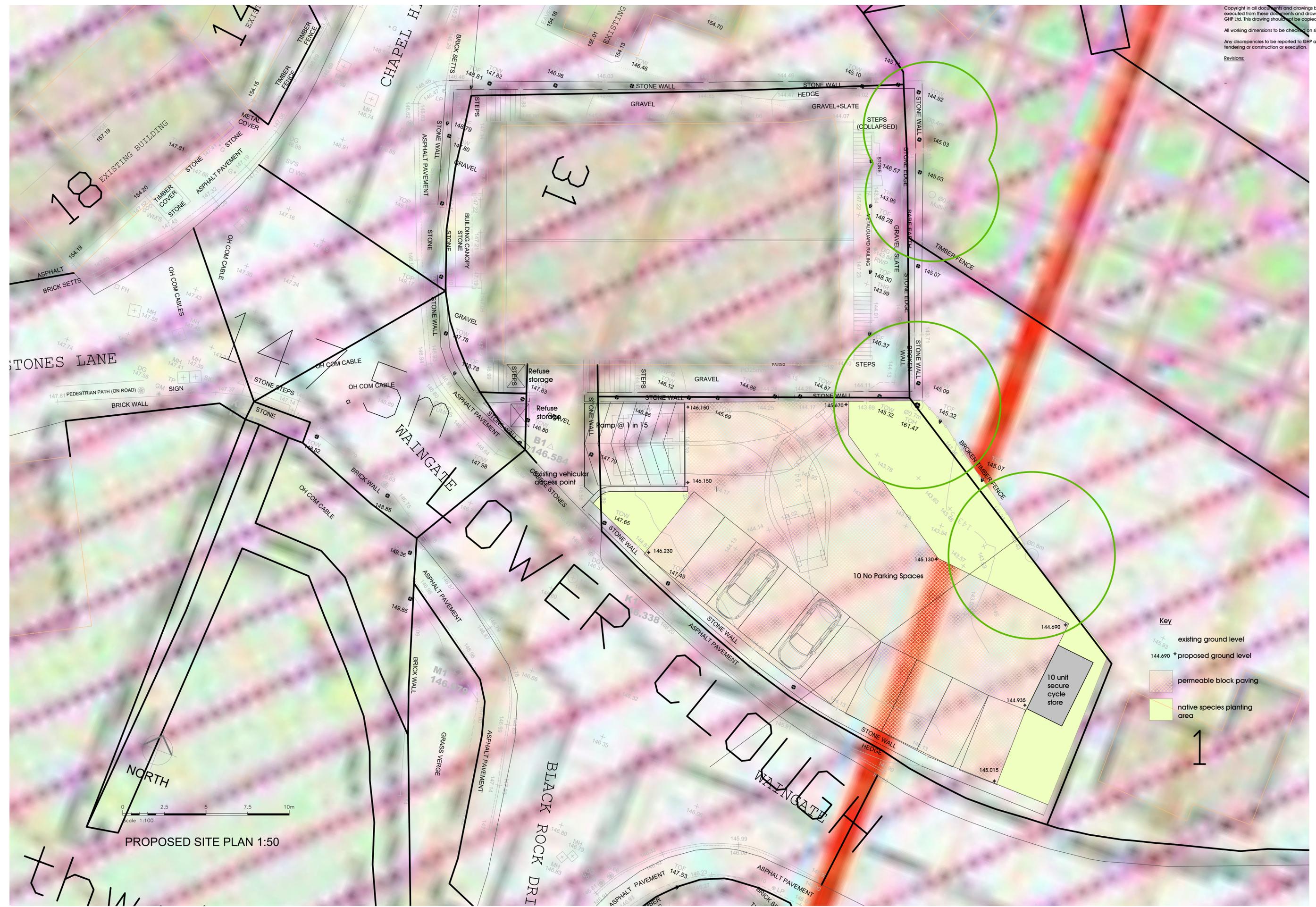
Associated Information: GHP Scale Site Plan  
Photographs of current culvert condition

Entrance to culvert to south of development site (van is driving over on Waingate)



Photograph of culvert construction





- Key**
- + 145.93 existing ground level
  - 144.690 \* proposed ground level
  - permeable block paving
  - native species planting area

**GHP Architects**  
 GHP Architects  
 Empire House  
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**ACA**  
 ASSOCIATION OF  
 CONSULTANT ARCHITECTS

Revisions:  
 1

**Project:**  
 Refurbishment of  
 Former Methodist  
 Chapel to create  
 9 Apartments.

**Address:**  
 31 Chapel Hill,  
 Linthwaite,  
 Huddersfield,  
 HD7 5NJ

**Client:**  
 ABM  
 Developments  
 Ltd

**Drawing:**  
 Proposed  
 Site Plan

Date: April 2023  
 Scale: 1:100 @ A1  
 Job: 22-509  
 Drawing No: P 100 Rev: -