

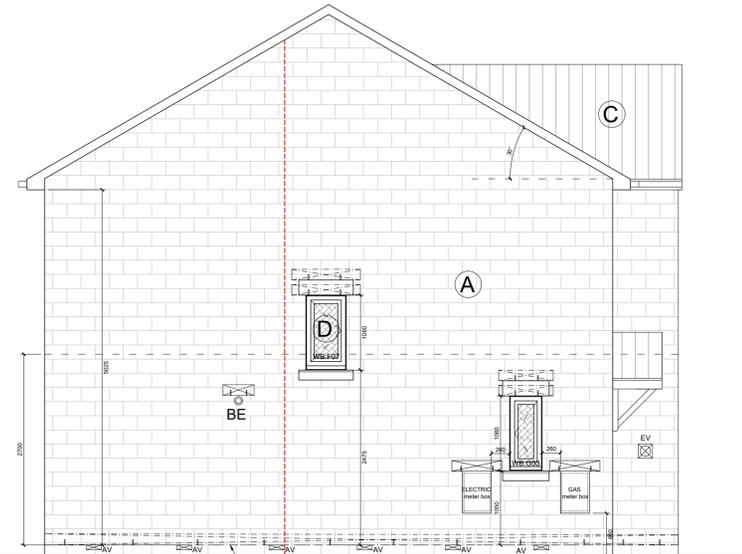
First Floor Plan Plot 125

External wall construction to be as follows:
 - 102.5mm external brick face
 - 51mm clear cavity with loose cavity ties
 - continuous breather membrane
 - 9mm sheathing board
 - 140mm insulated timber frame inner leaf
 - vapour control layer
 - 12.7mm plasterboard with 3mm skim finish

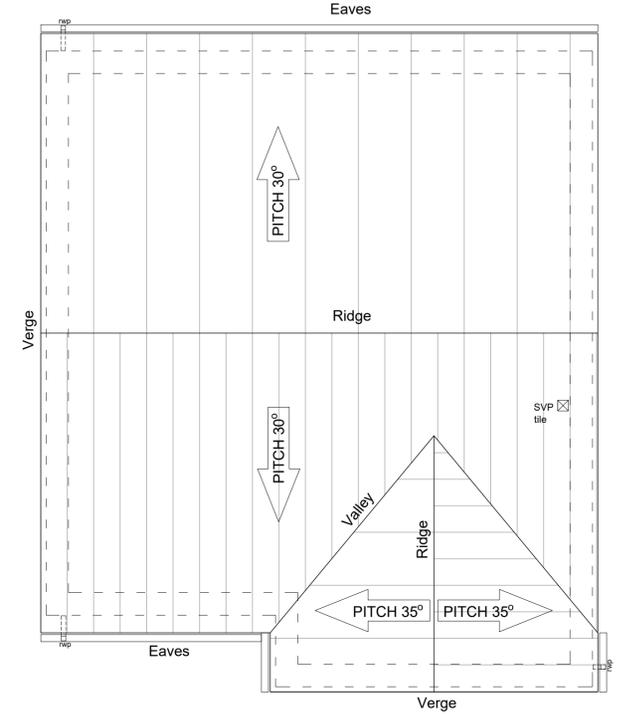
Note:
 - Plot 125 to receive mechanical ventilation system in accordance with clause 5.10 of the Ensafe Noise Impact Assessment dated 1-3-21 in order to comply with Conditions 15 and 16 of the planning approval



Front Elevation
 Level access threshold at main entrance. DPC to be stepped where required to maintain min. 150mm clearance to external ground level. DPC provided at min 150mm above external level.
 Artstone cills and heads to have slip plane dpcs and cavity trays in accordance with manufacturer's recommendations



Side Elevation
 DPC provided at min 150mm above external level.
 Refer to dwgs 101-104 for final location of EV charging points on individual plots

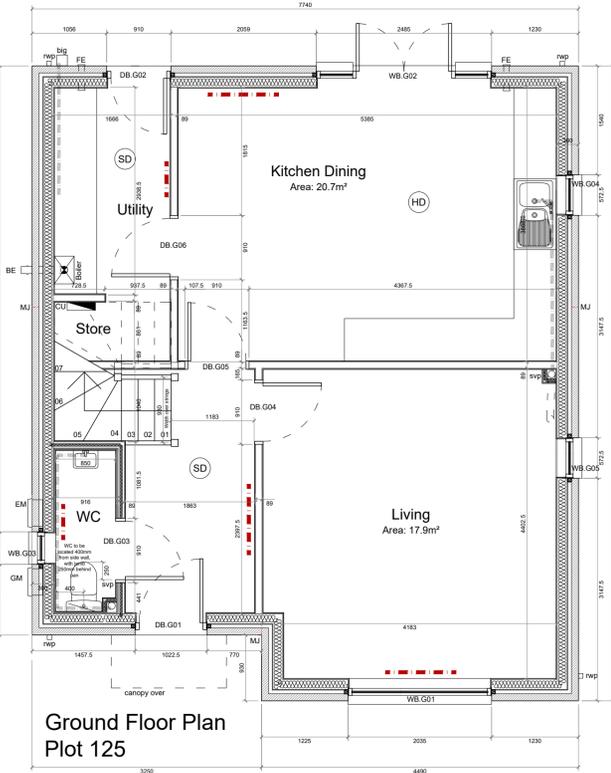


03 Proposed Roof Plan
 203 Scale 1:50 @ A1

House Type B Malhamdale

Plot No.s	Quantity	Door Ref	Location	S.O. Width	S.O. Height	Door Size	Notes
2,6,71,76,81,115,118,122,124,125	10 units	DB.G01	Entrance	1022.5	2110	see note	External door
		DB.G02	Utility	910	2110	see note	External door
		DB.G03	WC	910	2100	826x2040	Lockable
		DB.G04	Living	910	2100	826x2040	
		DB.G05	Kitchen	910	2100	826x2040	
		DB.G06	Utility	910	2100	826x2040	
		DB.F01	Bedroom 3	910	2100	826x2040	
		DB.F02	Bedroom 4	910	2100	826x2040	
		DB.F03	Bathroom	910	2100	826x2040	Lockable
		DB.F04	Bedroom 1	910	2100	826x2040	
		DB.F05	Bedroom 2	910	2100	826x2040	
		DB.F06	En suite	810	2100	726x2040	Lockable

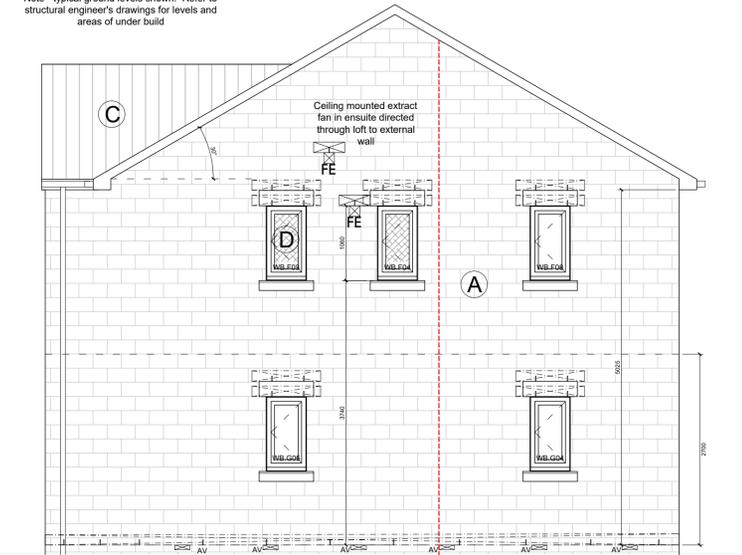
Notes
 All dimensions in mm
 All openings to be site measured prior to manufacture
 Allow suitable space at bottom of door to maintain ventilation following fitting of floor finishes (typically 20mm prior to fitting of floor covering material)
 Refer to floor plans and plot orientation for hinge locations
 Allow for future settlement in external openings to suit timber frame construction



Ground Floor Plan Plot 125



Rear Elevation



Side Elevation - Plot 125

02 Proposed Elevations
 203 Scale 1:50 @ A1

- Indicates loft access hatch minimum 726 X 520 with pre manufactured insulation and draught proof strips
 - Fire rated cavity barrier - to be provided to external wall around all openings (windows and doors etc.) and at eaves, and at all junctions with party walls and other locations shown thus
 - Plan location of fire rated cavity barrier
 - Telescopic air vent at 1200mm centres with cavity tray/ DPC and weepholes (@900mm ctrs) over
 - Indicates cavity tray with weepholes (@450mm ctrs) over windows and doors
 - Boiler extract (to be fanned draught located min. 300mm from all openings in external wall and boundaries) with cavity tray and weepholes over
 - Wall mounted utility box location with cavity tray and weepholes over
 - Semi-buried utility box location
 - Drainage run
 - Radiator
 - Smoke detector
 - Combined CO and heat detector
 - Obscure glazed window - Stippolyte pattern
 - Fan extract location with cavity tray and weepholes over
 - Consumer unit
 - Wall mounted external PIR light
 - Electric vehicle charging point - refer to drawings 101-104 for locations on plot by plot basis
 - Escape type window to have an unobstructed opening of at least 450mm (height and width) and be at least 0.33m² in area. The bottom of the openable area must be no more than 1100mm high from finished floor level. Handles are not to be key lockable on these windows
- ADDITIONAL ITEMS TO NOTE**
 - Refer also to Employer's requirements for additional information on items shown
 - Movement joint locations to be confirmed by Engineer
 - Internal doors generally to be FD30 unless otherwise stated

01 Proposed Floor Plans
 203 Scale 1:50 @ A1

Schedule of Materials

- (A)** Reconstituted stone - details to be confirmed
- (B)** Artstone cills and heads - Yorkstone buff semi dry Rylstone by GB Architectural
- (C)** Roof tiles - Marley Modern, smooth grey
- (D)** PAS 24 Double glazed upvc windows, colour RAL 7016

House Type B - Malhamdale Plot 125
 See dwgs 204 to 205 for other Malhamdale plots
 See dwgs 253 to 255 for sections B1 to B3

04 Door Schedule
 203 NTS

See dwg 271 for Malhamdale window schedule

General Notes
 01: Dimensions must not be scaled from this drawing. If in doubt, please ask.
 02: All dimensions are in millimetres unless noted otherwise.
 03: All dimensions should be verified on site before proceeding with the work.
 04: TADW Architects shall be notified in writing of any discrepancies.
 05: © TADW Limited (UK) 2015

Issue	Description	Date	Drawn	Checked
C8	Meter height added	10.2.23	MH	AM
C7	Changed to construction issue	10.10.22	MH	AM
P6	Movement joints added	16.9.22	MH	AM
P5	External water meters removed, door schedule notes amended, levels note added, acoustic insulation to internal walls corrected, ensuite fan revised	11.8.22	MH	AM
P4	Plot 125 transferred from dwg 204	11.5.22	MH	BB
	DRAWING OMITTED			
P3	Drawing redrafted to show different house type	10.1.22	MH	BB
P2	General amendments to suit feedback. Roof added	20.12.21	MH	BB
P1	Issued for comment	6.12.21	MH	BB

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Client **Yorkshire Housing / The Casey Group**

Job **Broad Oak Farm Linthwaite**

Title **House Type B - Malhamdale Variant Plot 125**

Scale **1:50 @ A1**

Drawing Status
 P - Planning | T - Tender | C - Construction | R - As Record

For Construction

Job Number **911277** Drawing Number **203** Issue **C8**