

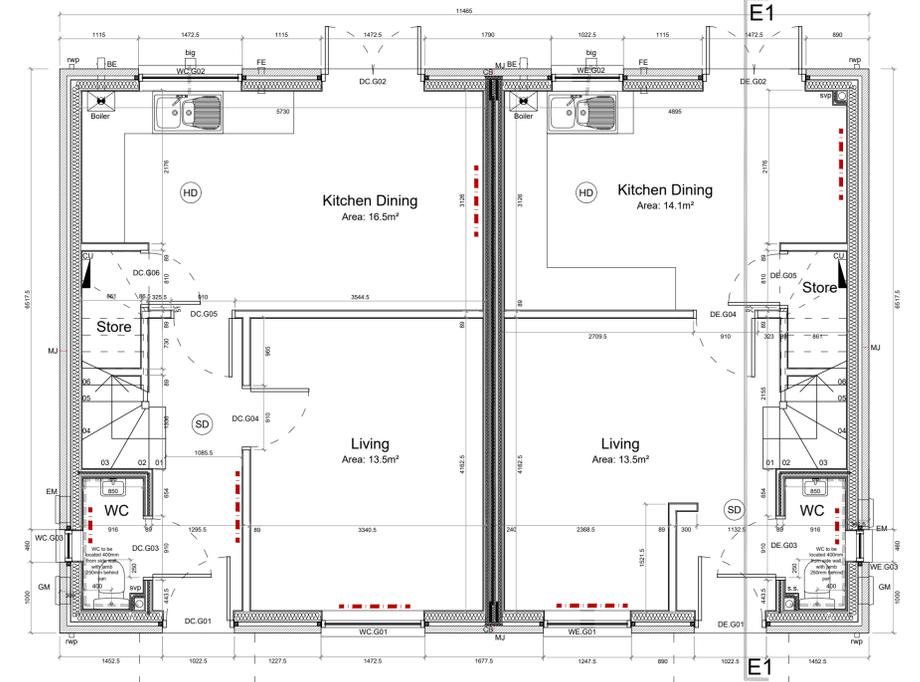
First Floor Plan

Party wall construction to be as Robust Detail E-WT-1:

- minimum 240mm between wall linings, 50mm gap between studs
- continuous 60mm mineral wool insulation batts to each leaf
- continuous mineral wool insulated cavity
- no connection between leaves, and all joints staggered and sealed
- wall linings to be 19mm plank and 12.5mm wall board plus skim, all to achieve 22kg/m2 to each side
- service boxes to be lined with plasterboard as Robust Detail requirements
- cavity barriers installed at junctions with external walls and other party walls

External wall construction to be as follows:

- 102.5mm external brick face
- 51mm clear cavity with loose cavity ties
- continuous breather membrane
- 9mm sheathing board
- 140mm insulated timber frame inner leaf
- vapour control layer
- 12.7mm plasterboard with 3mm skim finish



Ground Floor Plan Plot 47 - Stonesdale

Plot 48 - Birkdale

House Type E Birkdale

Plot No.s 28,29,30,31,36,37,41,46,48,70

Quantity 10 units

Door Ref	Location	S.O. Width	S.O. Height	Door Size	Notes
DE.G01	Entrance	1022.5	2110	see note	External door
DE.G02	Dining	1472.5	2110	see note	External patio door
DE.G03	WC	910	2100	826x2040	Lockable
DE.G04	Kitchen	910	2100	826x2040	
DE.G05	Store	810	2100	726x2040	
DE.F01	Bathroom	910	2100	826x2040	Lockable
DE.F02	Bedroom 2	910	2100	826x2040	
DC.F03	Bedroom 1	910	2100	826x2040	

Notes

All dimensions in mm

All openings to be site measured prior to manufacture

Allow suitable space at bottom of door to maintain ventilation following fitting of floor finishes (typically 20mm prior to fitting of floor covering material)

Refer to floor plans and plot orientation for hinge locations

Allow for future settlement in external openings to suit timber frame construction

03 Birkdale Door Schedule

228 NTS

See dwg 206 for Stonesdale door schedule

See dwgs 272 and 274 for Stonesdale and Birkdale window schedules



Front Elevation Plot 47

Plot 48

Level access threshold at main entrance. DPC to be stepped where required to maintain min. 150mm clearance to external ground level

Artstone cills and heads to have slip plane dpcs and cavity trays in accordance with manufacturer's recommendations

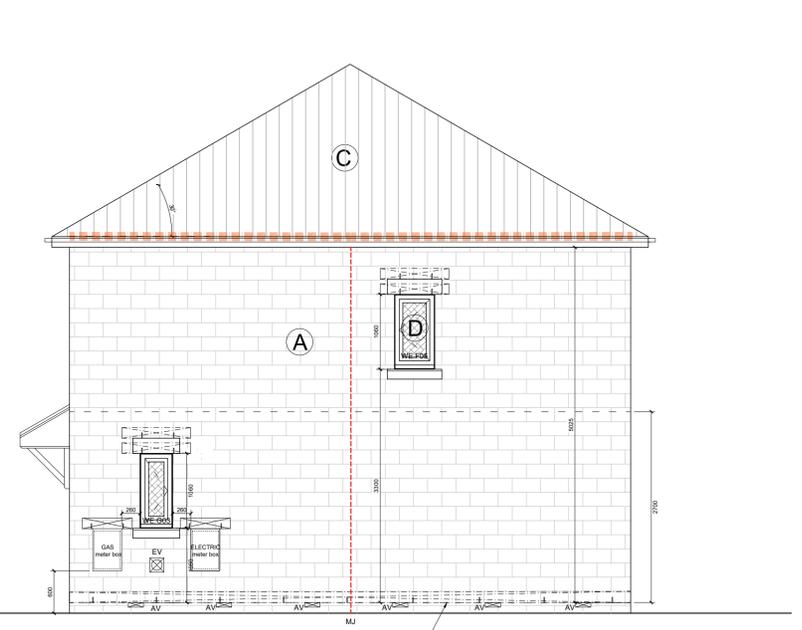


Rear Elevation Plot 48

Plot 47

Stepped access threshold at patio door entrances. DPC and cavity trays min 150mm above external floor level

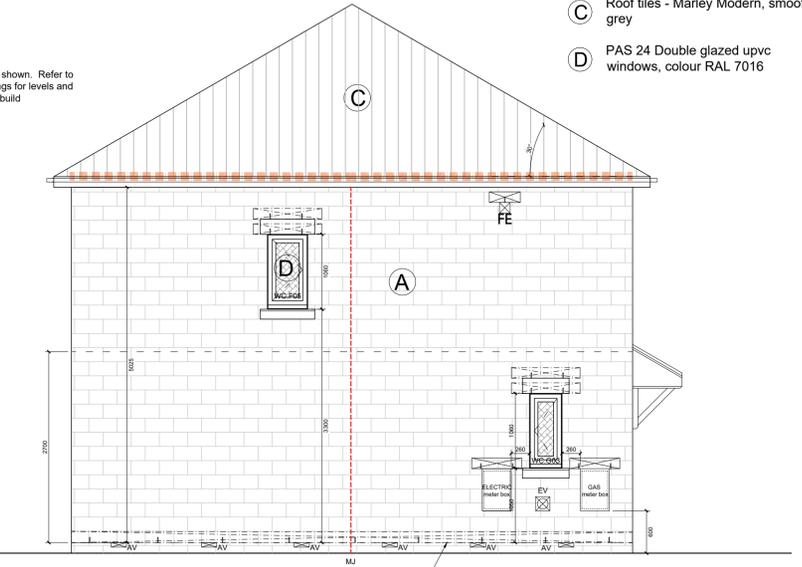
DPC provided at min 150mm above external level



Side Elevation Plot 48

DPC provided at min 150mm above external level

Refer to dwgs 101-104 for final location of EV charging points on individual plots



Side Elevation Plot 47

DPC provided at min 150mm above external level

- Schedule of Materials**
- (A) Reconstituted stone - details to be confirmed
 - (B) Artstone cills and heads - Yorkstone buff semi dry Rylstone by GB Architectural
 - (C) Roof tiles - Marley Modern, smooth grey
 - (D) PAS 24 Double glazed upvc windows, colour RAL 7016

02 Proposed Elevations Scale 1:50 @ A1

	Indicates loft access hatch minimum 726 X 520 with pre manufactured insulation and draught proof strips		Consumer unit
	Fire rated cavity barrier - to be provided to external wall around all openings (windows and doors etc.) and at eaves, and at all junctions with party walls and other locations shown thus		Wall mounted utility box location with cavity tray and weepholes over
	Plan location of fire rated cavity barrier		Semi-buried utility box location
	Telescopic air vent at 1200mm centres with cavity tray/ DPC and weepholes (@900mm ctrs) over		Drainage run
	Indicates cavity tray with weepholes (@450m ctrs) over windows and doors		Radiator
	Boiler extract (to be fanned draught located min. 300mm from all openings in external wall and boundaries) with cavity tray and weepholes over		Smoke detector
	Fan extract location with cavity tray and weepholes over		Combined CO and heat detector
	Obscure glazed window - Stippolyte pattern		Escape type window to have an unobstructed opening of at least 450mm (height and width) and be at least 0.33m² in area. The bottom of the openable area must be no more than 1100mm high from finished floor level. Handles are not to be key lockable on these windows
	Fan extract location with cavity tray and weepholes over		ADDITIONAL ITEMS TO NOTE - Refer also to Employer's requirements for additional information on items shown - Movement joint locations to be confirmed by Engineer - Internal doors generally to be FD30 unless otherwise stated

General Notes

01: Dimensions must not be scaled from this drawing. If in doubt, please ask.

02: All dimensions are in millimetres unless noted otherwise.

03: All dimensions should be verified on site before proceeding with the work.

04: TADW Architects shall be notified in writing of any discrepancies.

05: © TADW Limited (UK) 2015

Legend

Issue	Description	Date	Drawn	Checked
C5	Meter height added	10.2.23	MH	AM
C4	Changed to construction issue	10.10.22	MH	AM
P3	Movement joints added	16.9.22	MH	AM
P2	External water meters removed, door schedule notes amended, levels note added, kitchen peninsula omitted	11.8.22	MH	AM
P1	Plots transferred from dwg 219	11.5.22	MH	BB

Drawing Status

P - Planning | T - Tender | C - Construction | R - As Record

For Construction

tadw architects

Six St. Petersgate Stockport Cheshire SK1 1HD
Ph 0161 477 6158 Fx 0161 480 8342 mail@tadw.co.uk www.tadw.co.uk

Client **Yorkshire Housing / The Casey Group**

Job **Broad Oak Farm Linthwaite**

Title **House Type E/C - Birkdale / Stonesdale Variant Plots 47-48**

Scale **1:50 @ A1**

Note - Prints from PDF files may not be to scale, check accuracy against scale

Job Number	Drawing Number	Issue
911277	228	C5

House Type E/C - Birkdale / Stonesdale Plots 47-48

See dwg 232 for roof plans and 258 for section E1