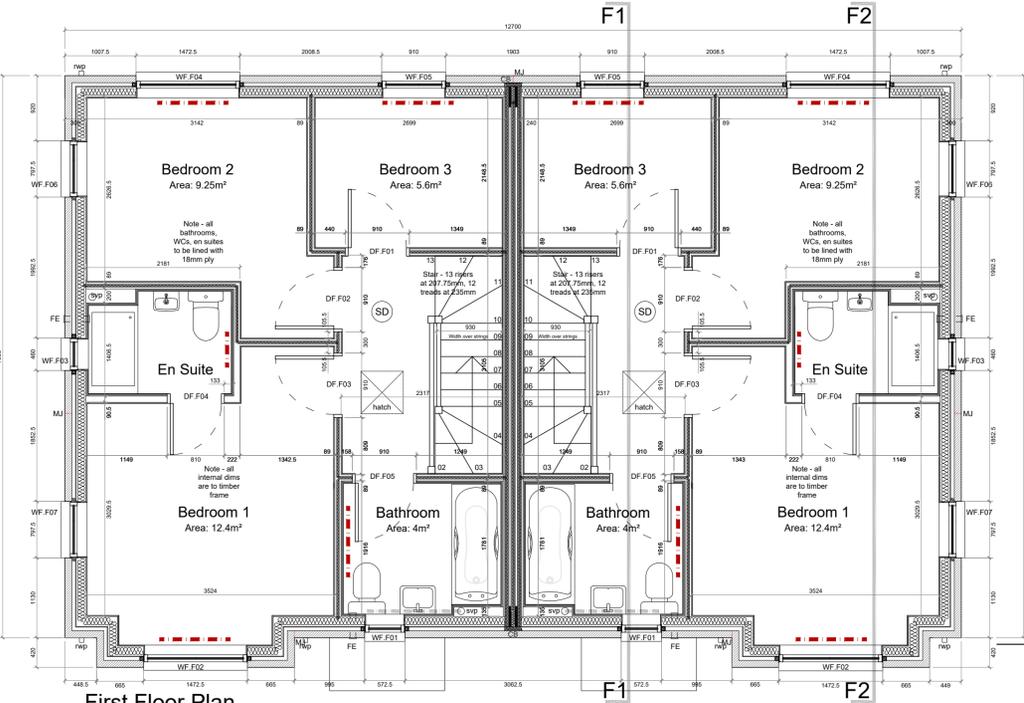


- Schedule of Materials**
- A Reconstituted stone - details to be confirmed
 - B Artstone cills and heads - Yorkstone buff semi dry Rylstone by GB Architectural
 - C Roof tiles - Marley Modern, smooth grey
 - D PAS 24 Double glazed upvc windows, colour RAL 7016



First Floor Plan Plot 93

Party wall construction to be as Robust Detail E-WT-1:

- minimum 240mm between wall linings, 50mm gap between studs
- continuous 60mm mineral wool insulation batts to each leaf
- continuous mineral wool insulated cavity
- no connection between leaves, and all joints staggered and sealed
- wall linings to be 19mm plank and 12.5mm wall board plus skim, all to achieve 22kg/m² to each side
- service boxes to be lined with plasterboard as Robust Detail requirements
- cavity barriers installed at junctions with external walls and other party walls

External wall construction to be as follows:

- 102.5mm external brick face
- 51mm clear cavity with loose cavity ties
- continuous breather membrane
- 9mm sheathing board
- 140mm insulated timber frame inner leaf
- vapour control layer
- 12.7mm plasterboard with 3mm skim finish



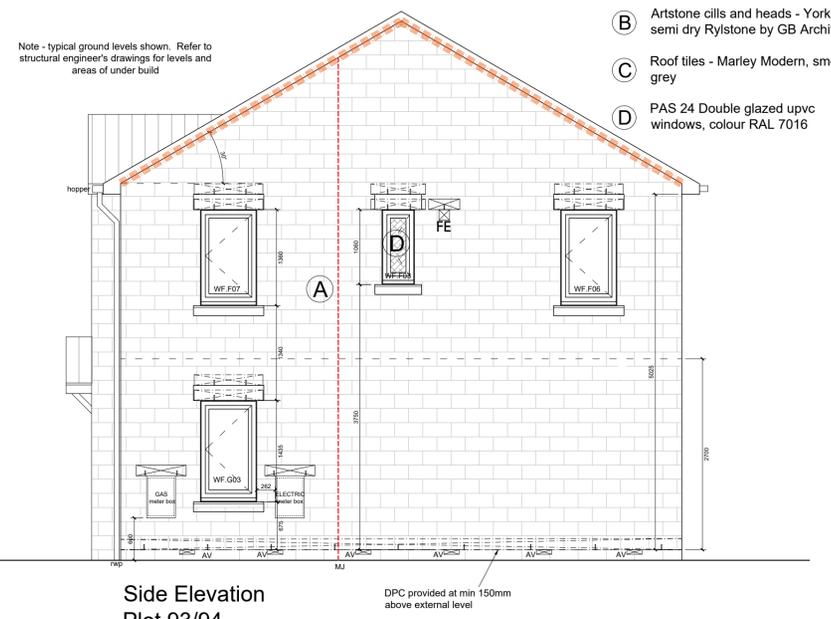
Front Elevation

Level access threshold at main entrance. DPC to be stepped where required to maintain min. 150mm clearance to external ground level

DPC provided at min 150mm above external level

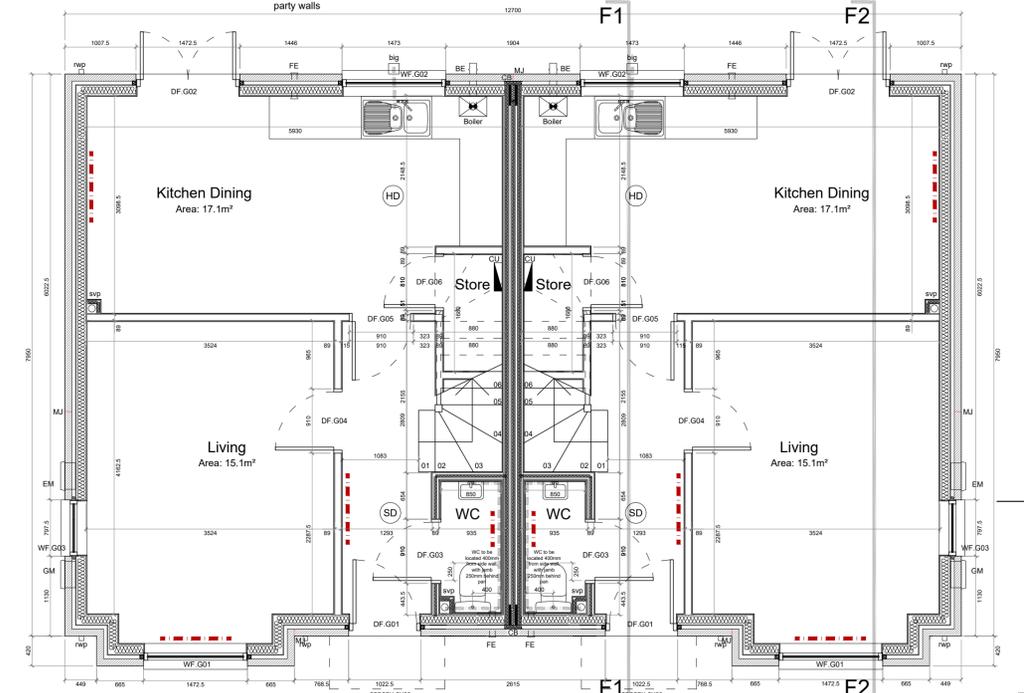
Artstone cills and heads to have slip plane dpcs and cavity trays in accordance with manufacturer's recommendations

Refer to dwgs 101-104 for final location of EV charging points on individual plots



Side Elevation Plot 93/94

DPC provided at min 150mm above external level



Ground Floor Plan Plot 93

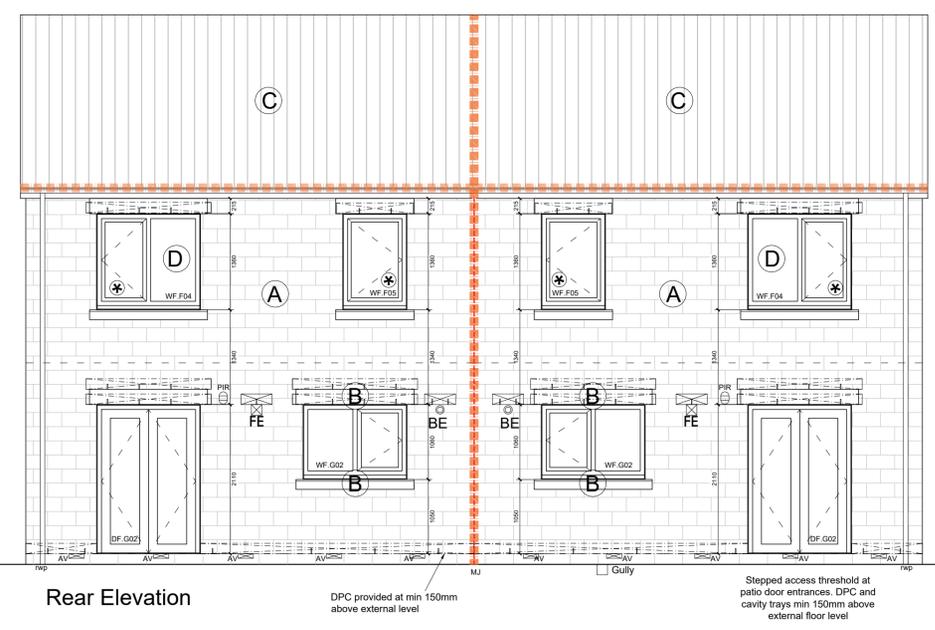
House Type F Fossdale Plot 94
 Plot No.s 9,10,11,12,13,14,15,16,72,73,74,75,77,78,79,80,82,83,86,87,88,89,93,94,97,98,101,102,105,106,109,110

Door Ref	Location	S.O. Width	S.O. Height	Door Size	Notes
DF.G01	Entrance	1022.5	2110	see note	External door
DF.G02	Dining	910	2110	see note	External door
DF.G03	WC	910	2100	826x2040	Lockable
DF.G04	Living	910	2100	826x2040	
DF.G05	Kitchen	910	2100	826x2040	
DF.G06	Store	810	2100	726x2040	
DF.F01	Bedroom 3	910	2100	826x2040	
DF.F02	Bedroom 2	910	2100	826x2040	
DF.F03	Bedroom 1	910	2100	826x2040	
DF.F04	En suite	810	2100	726x2040	Lockable
DF.F05	Bathroom	910	2100	826x2040	Lockable

Notes
 All dimensions in mm
 All openings to be site measured prior to manufacture
 Allow suitable space at bottom of door to maintain ventilation following fitting of floor finishes (typically 20mm prior to fitting of floor covering material)
 Refer to floor plans and plot orientation for hinge locations
 Allow for future settlement in external openings to suit timber frame construction

04 Fossdale Door Schedule
 229 NTS

See dwg 275 for Fossdale window schedule



Rear Elevation

DPC provided at min 150mm above external level

Stepped access threshold at patio door entrances. DPC and cavity trays min 150mm above external floor level

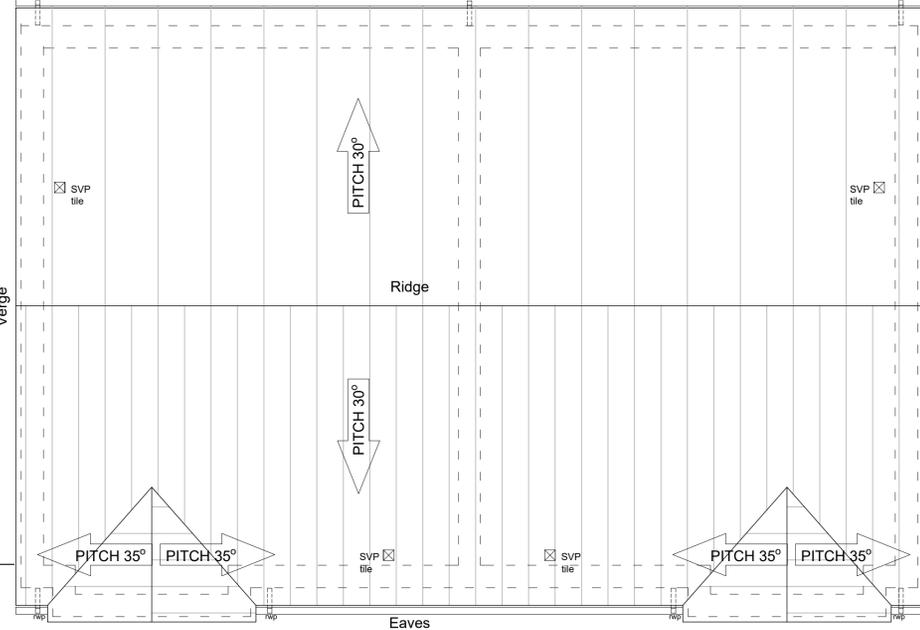
02 Proposed Elevations
 229 Scale 1:50 @ A1

- Indicates loft access hatch minimum 726 X 520 with pre manufactured insulation and draught proof strips
- Fire rated cavity barrier - to be provided to external wall around all openings (windows and doors etc.) and at eaves, and at all junctions with party walls and other locations shown thus
- Plan location of fire rated cavity barrier
- Telescopic air vent at 1200mm centres with cavity tray/ DPC and weepholes (@900mm ctrs) over
- Indicates cavity tray with weepholes (@450mm ctrs) over windows and doors
- Boiler extract (to be fanned draught located min. 300mm from all openings in external wall and boundaries) with cavity tray and weepholes over

- Wall mounted utility box location with cavity tray and weepholes over
- Semi-buried utility box location
- Drainage run
- Radiator
- Smoke detector
- Combined CO and heat detector
- Obscure glazed window - Stipplyte pattern
- Fan extract location with cavity tray and weepholes over
- Consumer unit
- Wall mounted external PIR light
- Electric vehicle charging point - refer to drawings 101-104 for locations on plot by plot basis
- Escape type window to have an unobstructed opening of at least 450mm (height and width) and be at least 0.33m² in area. The bottom of the openable area must be no more than 1100mm high from finished floor level. Handles are not to be key lockable on these windows

ADDITIONAL ITEMS TO NOTE

- Refer also to Employer's requirements for additional information on items shown
- Movement joint locations to be confirmed by Engineer
- Internal doors generally to be FD30 unless otherwise stated



03 Proposed Roof Plan
 229 Scale 1:50 @ A1

General Notes
 01: Dimensions must not be scaled from this drawing. If in doubt, please ask.
 02: All dimensions are in millimetres unless noted otherwise.
 03: All dimensions should be verified on site before proceeding with the work.
 04: TADW Architects shall be notified in writing of any discrepancies.
 05: © TADW Limited (UK) 2015

Legend

Issue	Description	Date	Drawn	Checked
C5	Meter height added	10.2.23	MH	AM
C4	Changed to construction issue	10.10.22	MH	AM
P3	Movement joints added	16.9.22	MH	AM
P2	External water meters removed, door schedule notes amended, levels note added, kitchen peninsula omitted, acoustic insulation corrected	11.8.22	MH	AM
P1	Plots transferred from dwg 221	11.5.22	MH	BB

Drawing Status
 P - Planning | T - Tender | C - Construction | R - As Record

For Construction

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Client Yorkshire Housing / The Casey Group
 Job Broad Oak Farm Linthwaite
 Title House Type F - Fossdale Variant Plots 93-94
 Scale 1:50 @ A1

Note - Prints from PDF files may not be to scale, check accuracy against scale

Job Number 911277 Drawing Number 229 Issue C5

01 Proposed Floor Plans
 229 Scale 1:50 @ A1

House Type F - Fossdale Plots 93-94

See dwg 221 for standard Fossdale house type

See dwgs 259 and 260 for sections F1 and F2