
PRIMROSE LANE

PROPOSED RESIDENTIAL
DENBY CLOSE, HIGHTOWN, LIVERSEGE

DESIGN & ACCESS STATEMENT

On behalf of Jones Homes to provide a full planning application submission for 77 no. residential dwellings.



PROJECT NUMBER: 3416
AUTHOR: BW
DATE: 14.12.23

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1.0 INTRODUCTION

// INTRODUCTION

This statement has been prepared on behalf of Jones Homes to support the submission of a full planning application for 77no. residential dwellings.

This document provides background information on the matters taken into account in formulating the scheme design.

1.1 PROPOSED DEVELOPMENT

The proposed development is for 77no. residential dwellings and associated routes, access, and landscaping.

The proposed development is comprised of 77no. dwellings in a mix of semi-detached and detached dwellings alongside a small number of single detached garage structures.



2.0 THE SITE

// THE SITE

2.1 LOCATION & SETTING

The site is located between Primrose Lane to the West and Denby Close to the East, in Hightown, to the North-Western edge of Liversedge.

2.2 SITE CHARACTERISTICS

The greenfield site is currently in use as agricultural land, and is sub-divided into a number of paddocks, organised with wire and timber post fencing.

The site is predominantly clear and comprised of maintained grassland.

The site area sits at approximately 7.65 acres.



Site Location Illustration

// THE SITE

2.3 EXISTING ROUTES & ACCESS

The site currently has existing access internally from adjacent fields. Informal access can easily be sought from Denby Close and Darley Road, where an existing highway terminates in a way that can be extended into the future development this scheme proposes.

2.4 EXISTING LANDSCAPE & TOPOGRAPHY

The topography of the proposed site area has a gradual fall from South to North, although this steepens to the South. A topographical survey was undertaken as part of the proposal, which can be seen to the right.

2.5 VEGETATION & BOUNDARY TREATMENTS

The sites boundaries are comprised of a short poorly maintained dry stone wall and post and wire fencing combination.

Sections of the site boundary also include a mature hedgerow to the Western side of the site adjacent to Primrose Lane.

There are a small number of trees to the North-West portion of the site.

The site has a large area of self-seeded tree cover to the North which runs across the site from East to West, and a band of which follows the Eastern boundary creating a buffer between the rear of existing dwellings off Denby Close and the proposed sites developable area. The boundary within this wooded area is a continuation of the post and wire fence which runs around the site. To the North of the area of self-seeded tree cover is the Spen Valley Greenway which is a well used public footpath/cycleway.



Topographical Survey N.T.S.

// THE SITE

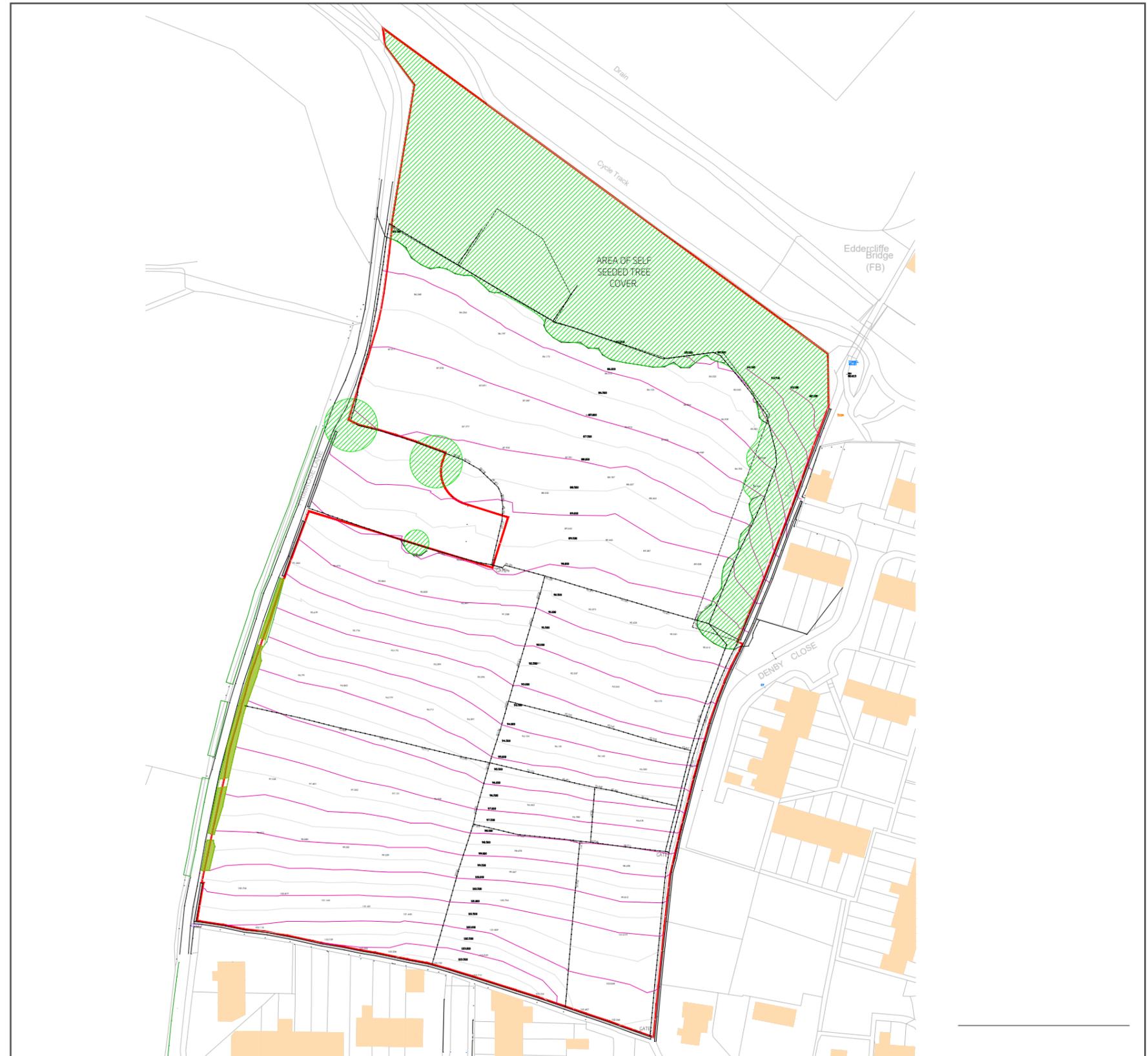
2.6 CONSTRAINTS & OPPORTUNITIES

The main considerations for the design process of this scheme should be given to the presence of the existing tree cover to the North of the scheme and the adjacent public rights of way (and Spen Valley Greenway), along with the overall topography of the site, given its gradual fall from South to North, and the steepening to the South.

The lack of existing vehicular access is also a constraint for the scheme, and suitable access proposals will be taken into account during the design process. There are however opportunities for access to the site from Darley Road, which is the existing residential area to the East of the site..

There is the opportunity for a continuation of Darley Road into the site to form site access, where the road has been created with future development in mind. Both the vehicular and pedestrian routes provide the opportunity to extend the highway for further residential development.

The site provides opportunity to enhance pedestrian permeability through to Primrose Lane from the existing residential area to the East of the site as well as the Spen Valley Greenway to the North and Primrose Lane, which is a Public Bridleway, adjacent to the Western edge of the site.



Existing Site Layout N.T.S.

// THE SITE

2.7 LOCAL AREA

The site is surrounded by a number of 'local areas' due to its position centrally from Cleckheaton to the North, Hightown to the West, and Liversedge to the immediate South-East.

The site is also well situated for access to the nearby population centres of Halifax, Dewsbury, and Huddersfield, and slightly further afield Bradford and Leeds.

2.8 IMMEDIATE SURROUNDINGS

To the North of the site is the Spen Valley Greenway beyond which is the site of a local football club, Hartshead AFC and the River Spen. Beyond the river is the Princess Mary Stadium and the Spen Valley Leisure Centre,

The the East and South of the proposed site is ordered by a public right of way and beyond this is the existing residential development, in a range of modern terraced rows.

To the West of the site is further land in use for agricultural purposes, located beyond Primrose Lane (public bridleway) which runs adjacent to the Western boundary.



Images of the Immediate Surroundings

// THE SITE

2.9 PRECEDENTS

The surrounding area has a range of properties, in varying styles, ages, and materials, with a good number of relatively new build developments within the local area which provide good precedents for the form of the proposed development.

The area has a good mix of terraced, semi-detached, and detached modern houses. Modern dwellings generally have a height of 2 or 2.5 storeys, and are constructed in a range of brick types, with standard brick detailing such as soldier course heads and cills. Larger dwellings often feature a bay window to the ground floor frontage, whilst semi-detached and terraced dwellings feature dormer windows to the third floor roof space, creating character within the area.

Older structures within the local area are often stone in construction in contrast to more modern brick dwellings. A number of newer stone, or reconstituted stone, dwellings are located at key locations on surrounding routes.

Dwellings within the modern developments often feature areas of open defensible space with parking to the frontage of plots, and secured rear gardens. Integral garages are also a common feature to many of the larger detached styles within the area.



Precedent Dwellings within the Local Area

// PRECEDENTS



Dwellings within the Local Area

// PRECEDENTS



Dwellings within the Local Area

3.0 ACCESSIBILITY

// ACCESSIBILITY

3.1 ACCESS BY ROAD

The site is proposed to be accessed via Darley Road to the East. The site also sits adjacent to Primrose Lane to the West but no vehicular access is proposed, however pedestrian links will form part of the proposed scheme.

The site is situated to the South of the A638 Bradford Road which provides a direct route via Cleckheaton to the Chain Bar Roundabout which connects to the M606 and Junction 26 of the M62, and the A58.

3.2 ACCESS TO PUBLIC TRANSPORT

Local bus services can be accessed from stops to the South of the site situated along Halifax Road. The nearest train station is located in Mirfield approximately 2.9 miles to the South of the site, which is approximately 12 minutes from the site when travelling by car.

3.3 ACCESS BY AIR

Leeds Bradford Airport is approximately 15.4 miles from the site travelling by road, with a travel time of approximately 40 minutes, to the North of the site.

3.4 ACCESS TO EDUCATION

The site is well positioned for good access to education, with 7 schools accessible within a 1 mile radius of the site.

3.5 DEFINED RETAIL CENTRES

The nearest defined retail zone can be found South-East of the site in Heckmondwike where there are a number of retailers, including 2no. supermarkets, situated alongside the local bus station and a petrol station. Cleckheaton is a marginally further away from the site when travelling by car, however, is closer to the site when on foot due to the sites proximity to good public footpath routes. Similar amenities can be found within Cleckheaton's centre, with a number of local retail and food outlets present. An additional superstore supermarket can be also found in Cleckheaton.

The site is well situated for access to the larger retail centres of Leeds, Halifax, Huddersfield, and Bradford.

3.6 ACCESS TO OTHER FACILITIES

The site has good access to local leisure facilities with the Spen Valley Leisure Centre located just to the North-East of the site, along with the adjacent Princess Mary Stadium and Hartshead AFC ground.

There are local health services located within the nearby area, along with a number of public houses found to the South of the site on Halifax Road, along with a local take-away food outlet. There is also a large park located to the North of the site beyond the Spen Valley Leisure Centre off Bradford Road. Further facilities can be found in adjacent local areas, such as Cleckheaton, where there is a golf club and various leisure facilities.

4.0 SCHEME DESIGN

// SCHEME DESIGN

4.1 PROJECT BRIEF

The project brief by Jones Homes was to accommodate an appropriate level of development whilst considering the site's constraints and opportunities and existing context.

The project brief was to connect the proposed scheme to the existing residential zone to the East of the site, forming new vehicular routes, and to increase pedestrian permeability through to Primrose Lane to the West.



Extract of Initial Concept Site Layout

// SCHEME DESIGN

4.3 PROPOSED ACCESS

Access is proposed to be from Darley Road, an adjacent residential area, by creating a continuation of the existing highway into the site, extending both the vehicular and pedestrian routes into the scheme.

This will lead to a branched and circular arterial route through the site which should deter any traffic congestion from the single access point.

Further pedestrian access connections are proposed to Primrose Lane along the Western boundary, creating pedestrian permeability through the site, as well as a footpath connection to the existing area of self-seeded tree cover route to the North of the site, which sits adjacent to the sites boundary and provides access to the Spen Valley Greenway

4.4 DESIGN & VISIBILITY SPLAYS

The proposed scheme seeks to create vehicular access into the site via the continuation of Darley Road into the scheme, therefore maintaining the existing visibility of the road and extending it into the site. The route will then devolve into the schemes proposed road hierarchy.

Vehicular turning facilities have been afforded where necessary using private access roads and private driveways within individual plot curtilages, with the larger portion of the site served by a circular route, removing the need for turning facilities by providing a looped route. This will also reduce the likelihood of any vehicular congestion within the scheme, and pull the sites traffic away from Darley Road and the adjacent residential area to the East.

4.5 ACCESS INTO DWELLINGS

Gradients leading to dwellings will be designed in accordance with Part M of the Building Regulations and all plots include an allowance for a minimum 900 x 1200mm level access to the main entrance.

4.6 PARKING PROVISION

Parking provision across the site has been allocated at a minimum of 100%. The proposed apartments have been allocated 100% parking in the form of an off-road parking space. Semi-detached dwellings have been allocated 200% off-road parking in the form of private driveways or off-road parking spaces. Detached dwellings have been allocated 200% parking plus single garage, in the form of off-road parking spaces or driveways. Visitor parking has also been allocated at various key locations within the proposed scheme.

Electric Vehicle (EV) charging points have been included within the proposals; the locations of these are generally situated either within the garage or to the side wall of the individual dwellings. These will be provided in line with the specific building regulations at

the time of approval.

4.7 AMENITY

The proposed layout seeks to maintain the private amenity of neighbouring properties with particular care given to the existing properties located to the Eastern edges of the site.

Private amenity within the site is provided through secure rear gardens bound by proposed 1.8m timber fencing or street facing walled boundaries.

4.8 PRIVATE & PUBLIC SPACES

Solid design methodologies have been adopted concerning the design of public and private space. The public space and road infrastructure devolve from branched and circular road hierarchy directly into plot curtilages predominantly, with a smaller shared access route to the North-West of the site. The clearly defined frontages provide an open area defensible space whilst the private amenity to the rear of properties is clearly defined by timber fencing or a boundary wall where rear amenity sits adjacent to a highway. Parking is positioned throughout the site with site lines and overlooking used where possible. The existing tree cover to the North of the site is retained as public open space, with a new footpath connection to the public footpath running through the tree cover North of the site included.

4.9 CRIME & PREVENTION

Prevention of crime has been taken into consideration in the design of the layout of the proposed site, with the defined frontages and sight lines to the main highway or devolved shared access routes, all working in conjunction to provide clear and defensible space, using sound methodologies to prevent criminal activity to the frontage. The security of the rear gardens is provided using fencing to create a barrier between properties and the site boundary where applicable. In addition, many of the plots have rear gardens bordering rear gardens, which in turn creates a much more secure area to the rear of the dwellings, particularly to the dwellings situated within the 'central island' created by the circular estate road within the Southern half of the scheme. Overlooking towards the tree covered footpath to the North-East and Primrose Lane to the West has also been achieved through the careful orientation of dwellings at these locations, providing increased sight lines at key locations.

4.10 HOUSING MIX

The scheme is comprised of 77no. residential dwellings. This is made up of 7 different dwelling types, in a range of apartments, semi-detached and detached homes. There are 12no. 2 bed apartments, 22no. 3 bed semi-detached houses, and 36no 4 bed detached houses, and 7no. 5 bedroom detached houses.



Boundary Treatment Plan N.T.S.

Top: Boundary Treatment Detail /Bottom: Garage Detail N.T.S.

// SCHEME DESIGN

4.11 PROPOSED ELEVATIONS

Careful consideration has been given to the arrangement of the varying properties to ensure visual diversity and interest is achieved through the architectural form, the street scape and roof scape.

All proposed elevations consist of two storey dwellings in both semi-detached or detached form, with the exception of the 2no. apartment blocks which sit at 3 storeys in height, with pitched roof lines in keeping with the existing theme within the immediate locality. Additional features such as quoin detailing, brick heads, cills and corbelling at eaves level combine to create visually engaging elevations while establishing a sense of identity for the development itself. Detached dwellings also include bay windows, covered entrance ways, and rear extensions so as to add further detail and character to the development, ensuring that the scheme is less repetitive and box like in its appearance. The varied shapes and widths of the front elevations of the detached dwellings in particular provide good visual variation to the development.

ELEVATION STYLE 5, STONE & RENDER WITH GABLE ROOF - PLOTS 10-15 & 16-21

FRONT ELEVATION SIDE ELEVATION

FIRST FLOOR PLAN SECOND FLOOR PLAN

GROUND FLOOR PLAN

ELEVATION STYLE 4, FULL STONE WITH GABLE ROOF - PLOTS 1, 8, 36 & 39

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

ELEVATION STYLE 1, STONE & RENDER WITH HIPPED ROOF - PLOTS 7, 26, 33, 34 & 43

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

ELEVATION STYLE 4, FULL STONE WITH GABLE ROOF - PLOTS 22-23, 37-38, 39-40 & 66-67

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

ELEVATION STYLE 1, STONE & RENDER WITH HIPPED ROOF - PLOT 2

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

ELEVATION STYLE 2, FULL STONE WITH HIPPED ROOF - PLOTS 27, 28, 31, 32, 35, 41 & 42

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

ELEVATION STYLE 3, FULL STONE WITH HIPPED ROOF - PLOTS 1, 4, 11, 12 & 13

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

ELEVATION STYLE 3, STONE & RENDER WITH GABLE ROOF - PLOTS 4 & 10

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

ELEVATION STYLE 4, FULL STONE WITH GABLE ROOF - PLOTS 5, 6, 47, 52, 54, 57 & 62

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

ELEVATION STYLE 2, FULL STONE WITH HIPPED ROOF - PLOTS 14, 16, 24 & 25

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

ELEVATION STYLE 3, STONE & RENDER WITH GABLE ROOF - PLOTS 28, 36, 38 & 43

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

ELEVATION STYLE 3, STONE & RENDER WITH GABLE ROOF - PLOTS 36, 38, 40 & 67

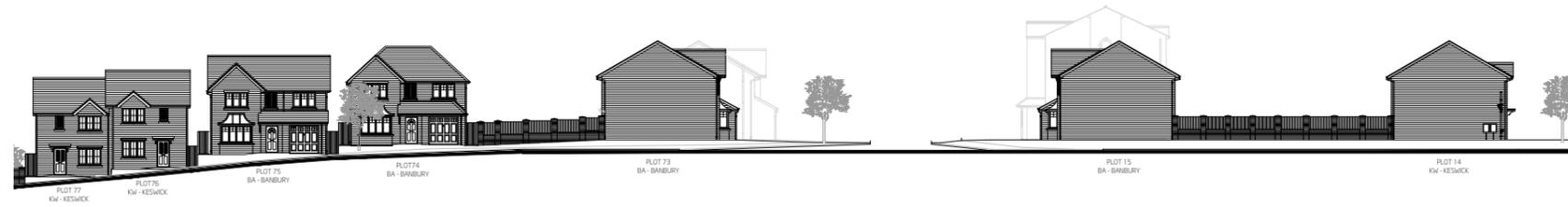
FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

FRONT ELEVATION SIDE ELEVATION REAR ELEVATION SIDE ELEVATION

GROUND FLOOR PLAN FIRST FLOOR PLAN

Proposed House Types: Elevations & Floor Plans N.T.S.

// SCHEME DESIGN



A-A



B-B



C-C



SITE LAYOUT
SCALE 1:1000

| | | | | |
|---|----------|----|----|--|
| E | 13/12/23 | PG | - | UPDATED IN LINE WITH SITE LAYOUT REVISION BB |
| D | 03/04/23 | PG | - | UPDATED IN LINE WITH SITE LAYOUT REVISION V |
| C | 15/09/23 | SM | ED | UPDATED IN LINE WITH SITE LAYOUT REVISION T |
| B | 07/03/23 | PG | - | UPDATED IN LINE WITH SITE LAYOUT REVISION S |
| A | 24/01/23 | PG | - | UPDATED IN LINE WITH SITE LAYOUT REVISION Q |

| | |
|--|--|
| PRIMROSE LANE | |
| ILLUSTRATIVE STREET SCENES | |
| PROJECT PRIMROSE LANE HIGHTOWN | |
| CLIENT JONES HOMES | NIEMMEN ARCHITECTS Deck 2, The Waterside Centre 43 Leazes & Boulevard Road Farnham, Leicestershire LE11 5JG T: 0115 239 5400 info@niemmen.co.uk |
| DATE 14/11/22 | SCALE 1:200@A2 |
| DRAWING NO. 3416-1-400 | REVISION E |

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Illustrative Street Scenes N.T.S.

// SCHEME DESIGN

4.12 PROPOSED MATERIALITY

The chosen materiality of the proposed site is intended to both reflect and complement the existing brick constructions within the surrounding area, and to sit comfortably against the existing residential area to the East of the site, whilst also creating an aesthetically pleasing development for future residents.

A comprehensive approach to the materiality of the facades, including windows and doors, has been taken within the detailed design of the house types which have been chosen for this scheme, with a proposed materials plan included as part of the application, shown here to the right.

The scheme will be predominantly comprised of a buff artstone, with rendered elevational detailing, and grey roof tiles. The render will be applied to first floor front and side elevations, its application varied according to house type style. Roofing will be cohesive throughout. Windows, soffits and fascias are proposed to be white UPVC, with black UPVC rainwater goods. Doors and garage doors will be in either a sage green, stone green, or french grey/cream and will match within individual plots. Surfaces in the scheme will be block paved or macadam.

The materials proposed are as follows;

- Roof Finish: CEMEX GRAMPPIAN SLATE GREY
- Elevations: FORTICRETE ARTSTONE - PITCH FACED BUFF
- Elevation Detail: "K-REND - ARRAN" RENDER



Proposed Materials Plan N.T.S.

4.13 DEVELOPMENT PRECEDENT

The existing Century View scheme recently developed by Jones Homes located in Golcar, Huddersfield provides a good visual example of the proposals for this scheme.

The existing scheme provides aesthetic examples of the materials palette proposed for the development, and the overall finish and style of the proposed street scenes. The images to the right show the completed development.



Images of the Existing Jones Homes Development in Nearby Golcar

// SCHEME DESIGN

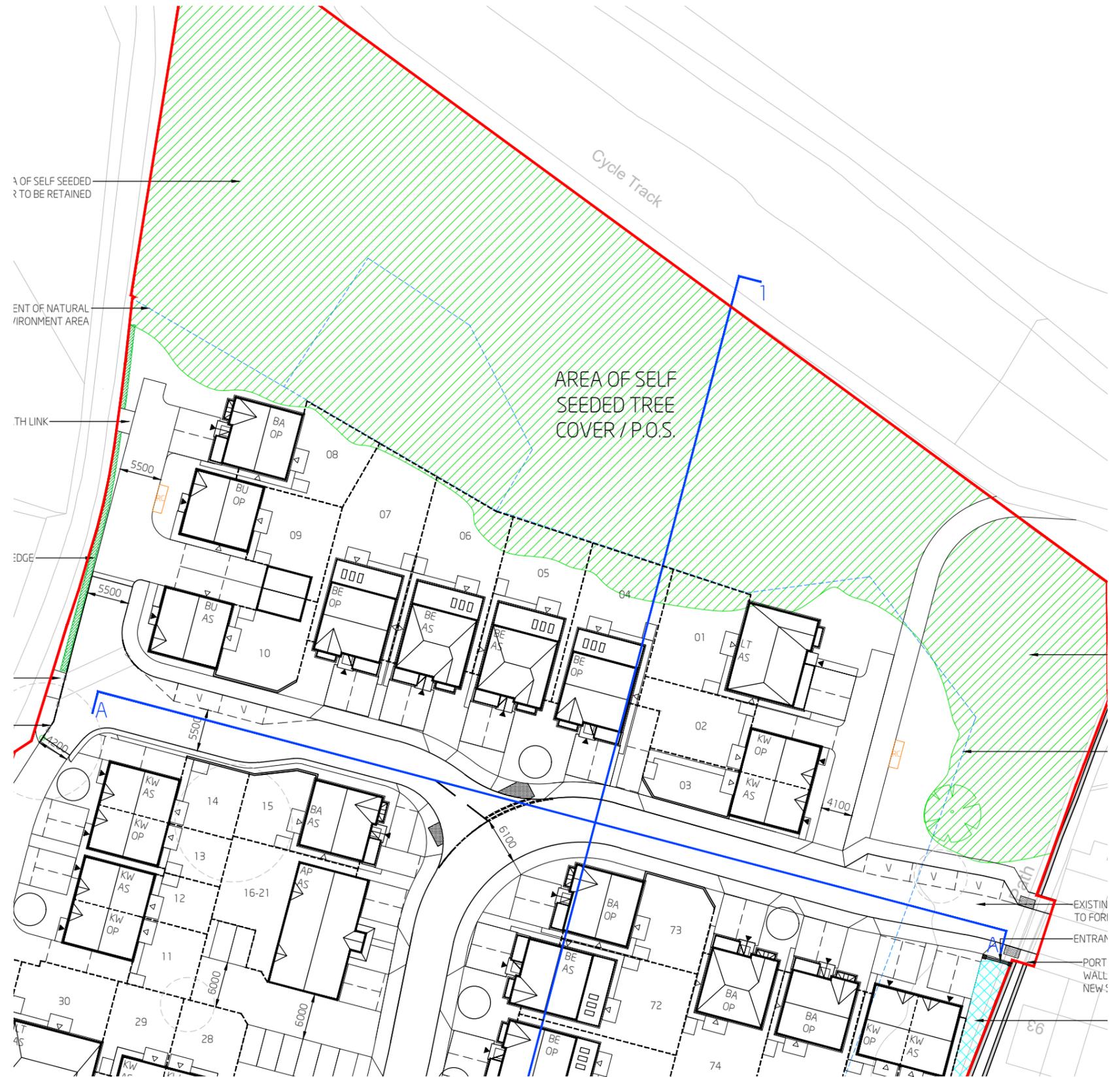
4.14 PROPOSED LANDSCAPING

The scheme proposes the retention of the majority of the existing tree cover to the North of the site, of which a tree constraints plan was carried out. A number of other trees are proposed to be retained around the periphery of the scheme.

Tree planting is proposed as part of the street scene.

PROTECTION DURING CONSTRUCTION

Any existing trees to be retained will be appropriately protected during construction with all necessary precautions taken.



Detail of Proposed Tree Cover Retention

5.0 APPENDICES

// SITE LOCATION PLAN



Primrose Lane, HIGHTOWN
DO NOT SCALE - ALL DIMENSIONS & LEVELS TO BE CHECKED ON SITE - THIS DRAWING IS COPYRIGHT

SKETCH
subject to structural review
subject to accurate measured survey

| | | | |
|---|------------|--|-------|
| Revision | Date | Comments | Drawn |
| B | 05/09/2023 | RED LINE BOUNDARY AMENDED IN LINE WITH 3415-1-001-AA | SM |
| A | 25/07/2022 | RED LINE BOUNDARY AMENDED TO SOUTH OF SITE | SM |
| <p>Project: PROPOSED RESIDENTIAL PRIMROSE LANE HIGHTOWN</p> <p>Client: JONES HOMES</p> <p>Site: SITE LOCATION PLAN</p> <p>Drawn: 10/06/2022 Scale: 1:100@AZ Drawn: SM</p> <p>Drawing number: 3415-1-000 B Checked: ED</p> <p>Niemen Architects Deck 2 - The Waterscape 42 Leeds St Bradford Road Kirkstall Leeds LS5 3EG Tel: 0113 239 5400 Fax: 0113 239 5401 office@niemen.co.uk www.niemen.co.uk</p> | | | |

Site Location Plan N.T.S.

PROPOSED SITE LAYOUT



NIEMEN ARCHITECTS

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DATE: 04.04.23

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