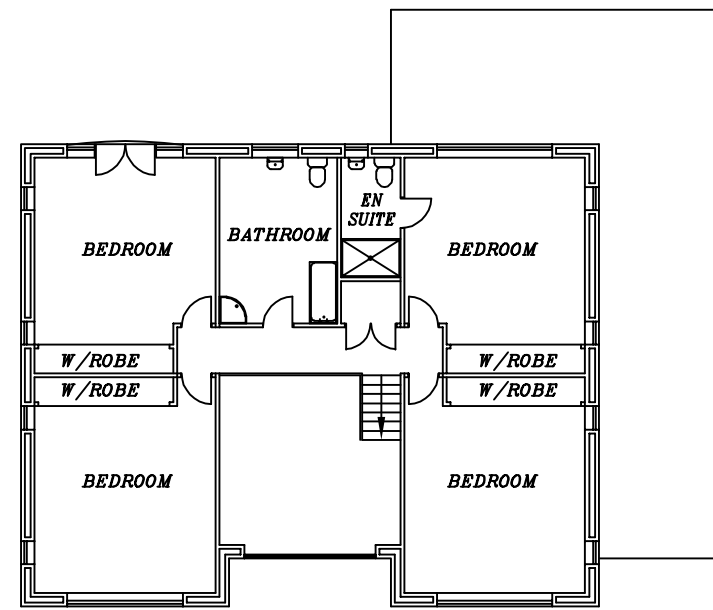


**PROPOSED GROUND FLOOR PLAN  
(22 PROSPECT TERR)**



**PROPOSED FIRST FLOOR PLAN  
(22 PROSPECT TERR)**

**12.1. DAMP PROOFING:**  
DPC TO BE MIN. 150mm ABOVE FINISHED GROUND LEVEL TO BOTH LEAVES OF CAVITY & INTERNAL WALLS & BE WELL LAPPED WITH DPM WHERE APPLICABLE. VERTICAL DPC TO ALL NEW WINDOW & DOOR OPENINGS

**12.2. STAIRS:**  
240(GOING)x180(RISE)mm TIMBER STAIRS WITH HANDRAIL HEIGHT 900mm. BALUSTER HEIGHT 1100mm. MAX. GAP B/W BALUSTERS 100mm. 200x50mm TRIMMERS TO BE DOUBLED UP AROUND PERIMTER OF STAIRS OPENING. PARTITIONS AROUND STAIRS TO BE 100x50mm STUD WITH 12.5mm KNAUF PLASTERBOARD & SKIM.

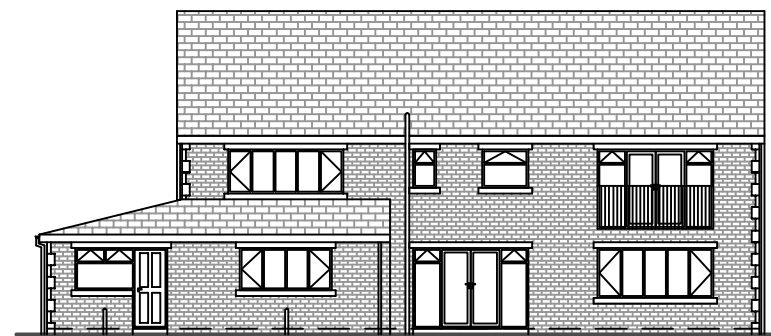
**13. GENERAL:**  
EXISTING FOUNDATIONS, LINTELS AND WALLS TO BE CHECKED ON SITE FOR ADDITIONAL LOADINGS.

ALL WORK TO BE IN STRICT ACCORDANCE WITH THE CURRENT BUILDING REGULATIONS & TO COMPLY WITH ALL RELEVANT BRITISH STANDARDS & BUILDING CODES OF PRACTICE.

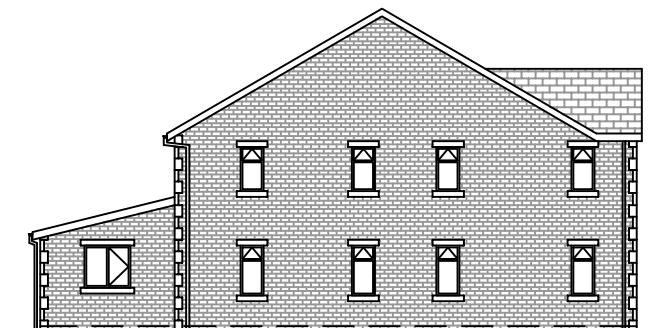
THIS IS NOT A WORKING DRAWING. ALL DIMENSIONS & LEVELS MUST BE CONFIRMED ON SITE BY THE CONTRACTOR PRIOR TO COMMENCEMENT OF WORK. DO NOT SCALE. USE WRITTEN DIMENSIONS ONLY.



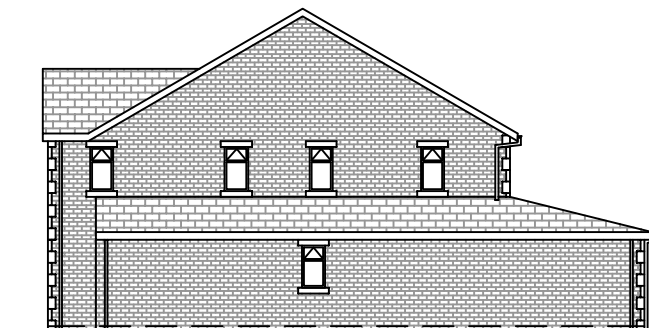
**PROPOSED FRONT ELEVATION  
(22 PROSPECT TERR)**



**PROPOSED REAR ELEVATION  
(22 PROSPECT TERR)**



**PROPOSED SIDE ELEVATION  
(22 PROSPECT TERR)**



**PROPOSED SIDE ELEVATION  
(22 PROSPECT TERR)**

**PROPOSED DEMOLITION OF 2 BUNGALOWS AND CONSTRUCTION OF 2 2-STOREY HOUSES WITH 2 DETACHED GARAGES AT 22-24 PROSPECT TERRACE, LIVERSEDEGE, WF15 6PW, FOR MR NAIEM RAHIM**

SCALE: 1:200(A3)	DATE: JAN 2023	DRAWN BY: ZESHAN KHAWAJA
PLANNING		DRAWING NUMBER: 23/2918/NR4

**Khawaja**  
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