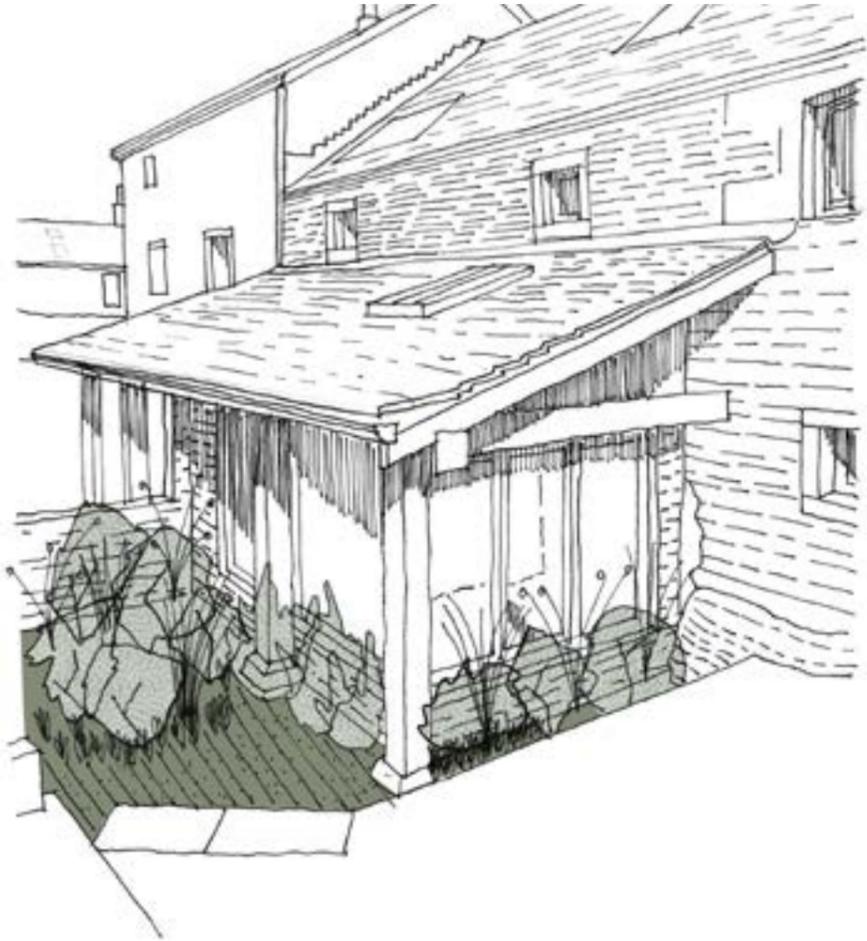


HERITAGE STATEMENT
The Farmhouse, Carr Farm

CHILES EVANS + CARE ARCHITECTS
with
CROWLEY ASSOCIATES



The Farmhouse, Carr Farm, Uppergate, Hepworth, West Yorkshire, HD9 1TG

Title: Heritage Statement
Job no: 19.02
Dwg: D+AS Rev:
Scale: Various
Size: A3
Date: October 2023
Drawn: HE/JF
Ckd by: HE

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REPORT CONTEXT

The following material has been prepared to explore options for alterations to The Farmhouse, Carr Farm.

The information in this report is based on measured survey data provided by Remap Surveys, commissioned by the client in January 2022. CE+CA assumes no responsibility for the accuracy of this information.

It is recommended that a full structural and conditions survey is undertaken prior to commencement of construction work. Other surveys that may be advisable or anticipated to be required are outlined on the final page of this document.

This document forms an ancillary Heritage Statement in support of the planning application clarifying justification for the proposed moves in the context of a converted Grade II listed farm house. It has been prepared in collaboration between Chiles Evans + Care Architects Ltd and Crowley Associates Ltd.

INTRODUCTION

The Farmhouse, part of Carr Farm, is an early 18th century Grade II listed barn situated in Hepworth village, 12km south of Huddersfield city centre. The Farm House sits within Hepworth Conservation Area.

Our proposal seeks to renovate and refurbish the existing Farm House through internal interventions that seek to provide spatial clarity. We are also proposing some smaller changes to the external including the reconstruction of the extension that sits under a single storey 'lean to' oak framed structure.

All the changes seek to be sympathetic to the existing building and its original features.

The Historic England listing reference is

'Barn, South Part of Carr Farm, Upper Gate'
List Entry: 1313634
First listed: 04 August 1983



Historic England Archive Image - 05 March 2006
Image source: Historic England



AERIAL VIEW OF CARR FARM AND THE SURROUNDING NEIGHBOURHOOD
Site approximately indicated by red outline
(Not to scale)
Image source: Google Maps



CONTEXT AND HERITAGE STATEMENT: HISTORY, HERITAGE & DEVELOPMENT

The history of major development of Carr Farm can be traced back to the early 1500's and since then the only considerable changes to the buildings took place in the late 1990s-early 2000s when the Farmyard was restored and converted into three dwellings.

The cruck framed building to the north part of Carr Farm is the earliest of the structures on site, with cruck framework dating back to the early 1500's and coursed rubble walls dating back to the 17th century. The building is reported as having the earliest cruck structure in the district. The Cruck building is Grade II listed. The Barn, which includes the Farm house in question, sits on the south west part of Carr Farm and dates back to the 18th century. The general structure is made up of coursed rubble walls, quoins and a stone slate roof which is supported by a king post truss framework. The Barn building is Grade II listed.

The late 1990s development by A+DP Architects split the existing farm structures into 3 separate dwellings. The alterations respected the character of the buildings by retaining internal timber frameworks, referencing the vernacular construction of the existing, by using local and traditional materials, and reclaiming material where possible from demolition.



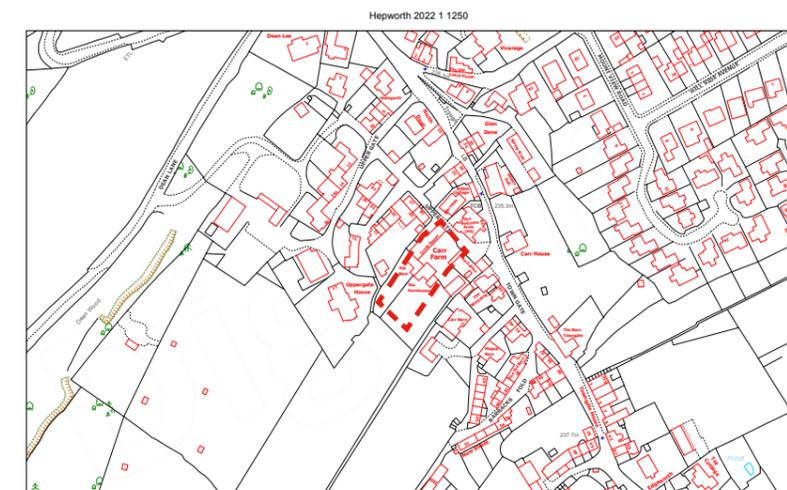
1890



1930



1970



PRESENT DAY

Listing information - Taken from: <https://historicengland.org.uk/>

Grade: II
List Entry Number: 1134761
Date first listed: 04-Aug-1983
Statutory Address 1:
CRUCK BUILDING TO NORTH PART OF CARR FARM, UPPER GATE

SE 1606 UPPER GATE 14/363 (Hepworth) - Cruck Building to north part of Carr Farm GV II

'Cruck framed building. C17 walling. The cruck framework has been ascribed to the C14 or earlier. Coursed rubble walls. Stone slate roof. Single storey. A long low structure, formerly with central stack, which has later fireplace. Later and altered openings. The north part contains 2 full cruck trusses, of an early type, which cross at the apex and contain the ridge piece. Cruck blades rest on stone footings and have lever holes. Large low tie-beam to each truss support later loft. Collar of southern truss has central arch cut out for doorway. There is also evidence of 'grooving' to take upright stakes. Reported as being the earliest cruck structure in the district. 'Early Timbered Buildings of the Huddersfield District', James Walton, 1955.'

Listing NGR: SE1626506771

Grade: II
List Entry Number: 1313634
Date first listed: 04-Aug-1983
Statutory Address 1:
BARN, SOUTH PART OF CARR FARM, UPPER GATE

SE 1606 UPPER GATE 14/364 (Hepworth) - Barn, south part of Carr Farm GV II

Barn, with possible former dwelling to left. Early C18 with later outshut to north-east. Coursed rubble. Quoins. Stone slate roof. Left part has 32-light double chamfered window and entrance with Tudor arch. Left gable and back wall each have 2 small double chamfered lights. Part to right has king post trusses with struts, one being supported at one side by single post. Wind bracing from ridge to king posts. Later outshut has various openings.

Listing NGR: SE1626606756



Early image of the Barn in its pre conversion condition
Image source: Client information

**CONTEXT AND HERITAGE STATEMENT:
PLANNING HISTORY**

Planning time-line for the Farm House

- 1994 Re-use of existing agricultural buildings and new extension to form 2 No dwellings (94/62/92415/W3)
- 1994 Listed building consent for re-use of existing agricultural buildings and new extension to form 2 No dwellings (94/65/92416/W3)
- 1997 Re-use of existing agricultural buildings and new extension to form 3 dwellings. Erection of detached double garage (listed building within a conservation area) (97/62/90295)
- 1997 Listed building consent for re-use of existing agricultural buildings and new extension to form 3 dwellings (within a conservation area) (97/65/90296/W3)
- 2007 Listed building consent for installation of roof light (within a conservation area)(2007/65/92034/W3)
- 2012 Listed building consent for installation of roof light windows (within a conservation area (2012/93074)

There have been multiple planning and listed building consent applications relating to The Farmhouse, including the installation of rooflight windows (2007/65/92034/W3)/(2012/93074) and the erection of timber loose box and tack room (98/62/91127/W3).

The most notable change to the property occurred under the restoration and renovation of the agricultural buildings to form 3 new dwellings (97/65/90296/W3).

It is noted that Carr Farm sits within Hepworth Conservation Area, but that no Conservation Area Appraisal exists.

The adjacent map on this page highlights neighbouring properties for which planning applications have been lodged in the past five years or are of particular interest. These developments include the following:

1. **The Cruck House, Carr Farm** - Refused. 2003. Erection of garage extension and conversion of existing garage/utility to bedroom (within curtilage of a listed building within a conservation area) (2003/62/94950/W3 / 2003/65/94999/W3).

2. **The Cruck House, Carr Farm** - Consent granted. 2004. Listed building consent for formation of study in garage roof space and alteration to patio window to form full opening door (within a conservation area) (2004/65/92229/W3).

3. **The Gables, Town Gate** - Conditional full permission. 2021. Erection of a single storey rear extension and formation of first floor (within a Conservation Area) (2021/62/94277/W).

4. **The Butchers Arms** - Consent Granted. 2020. Listed building consent for erection of single storey rear extension and exterior alterations (Within a Conservation Area) (2020/65/90381/W).

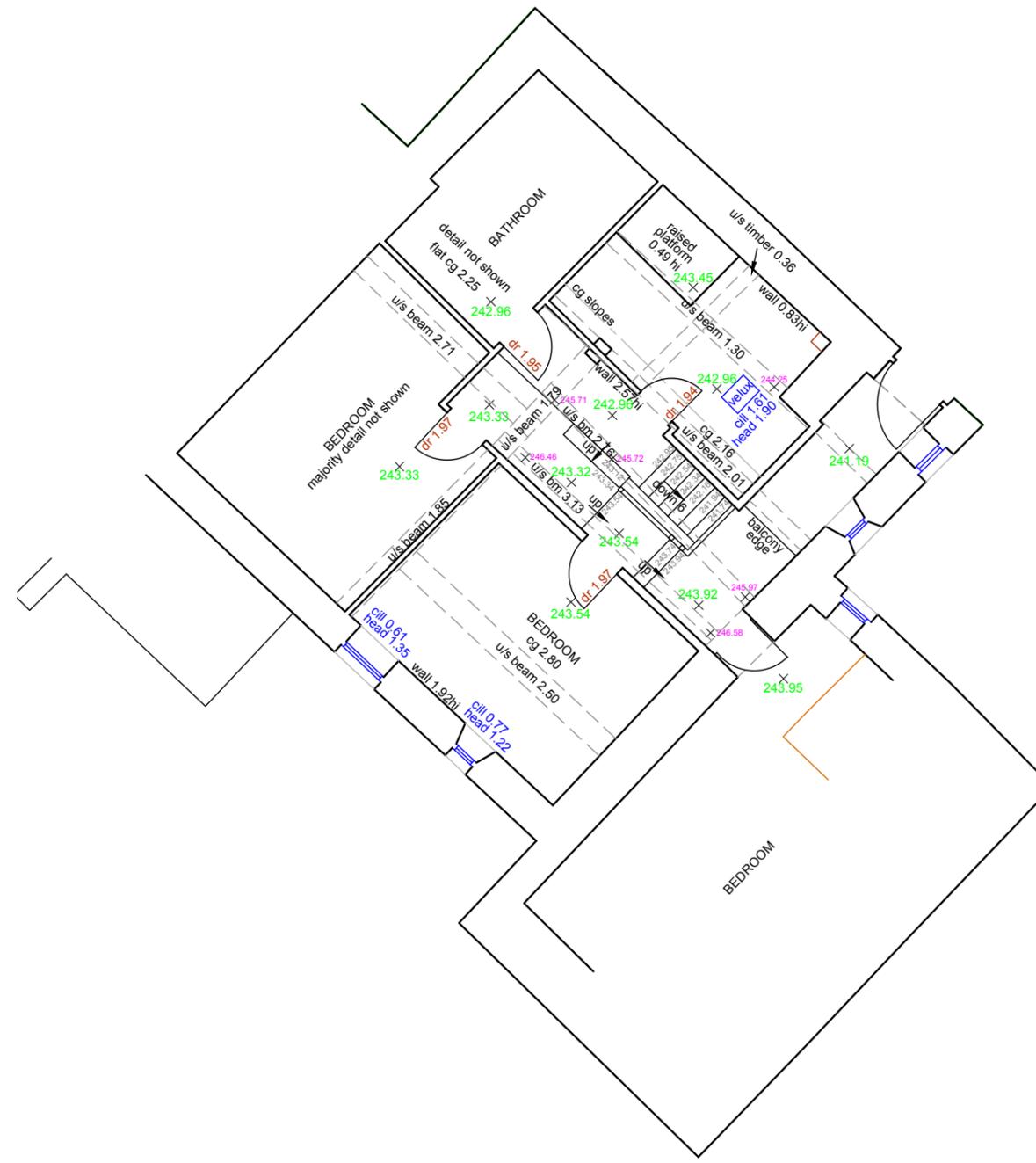
Whilst these properties vary in scale and interest, they set clear precedent in the local area for alterations and extensions of existing properties to adapt to different ways of domestic living and use.



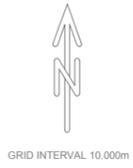
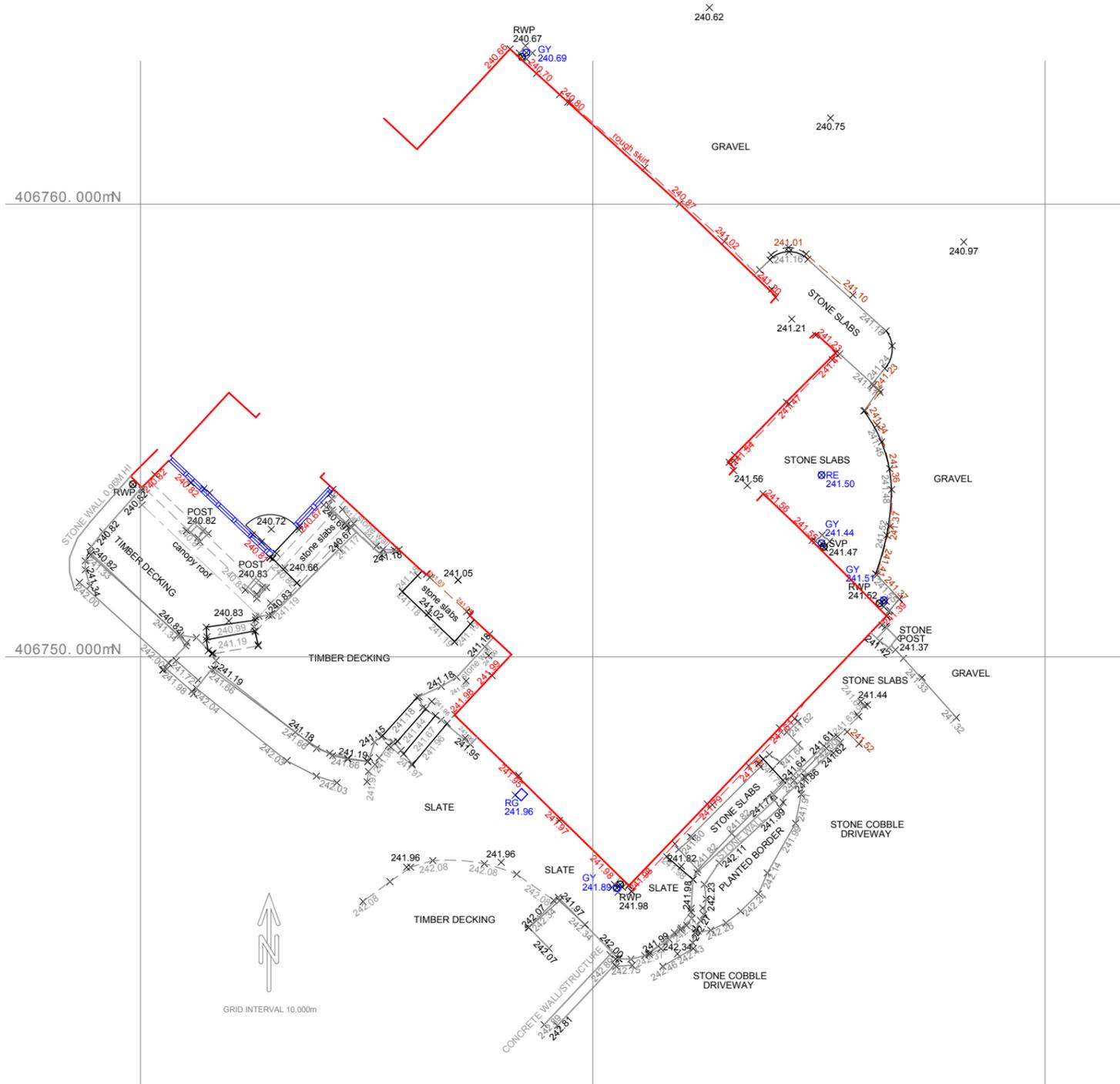
MAP OF THE FARMHOUSE AND THE SURROUNDING NEIGHBOURHOOD
(Not to scale)
Image source: Digimaps
Information: Kirklees Council

**EXISTING BUILDING APPRAISAL:
MEASURED SURVEY**

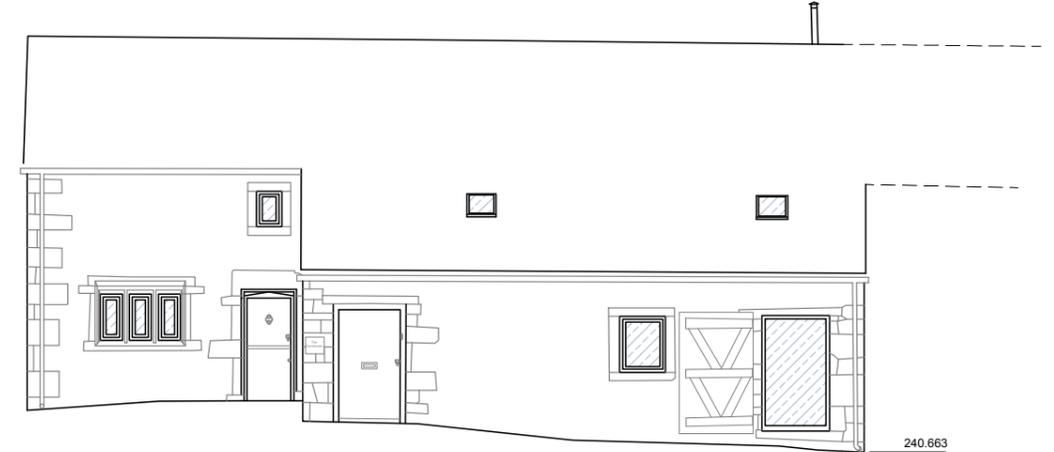
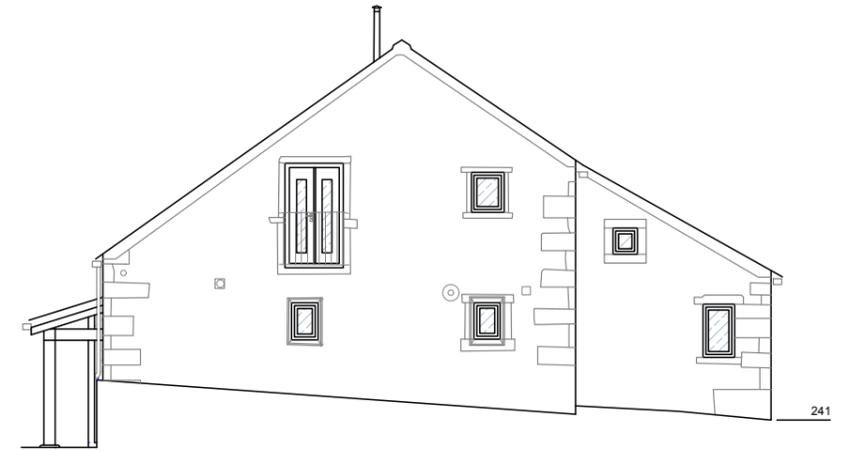
The survey drawings of the building and site as existing undertaken by Remap Surveys are presented on the following pages. These are from Remap's full drawings which are available in PDF or .dwg format.



**EXISTING BUILDING APPRAISAL:
MEASURED SURVEY**



1 SITE MAP [NOT TO SCALE]



ELEVATIONS [NOT TO SCALE]

DESIGN PRINCIPLES + CONCEPTS: OVERVIEW

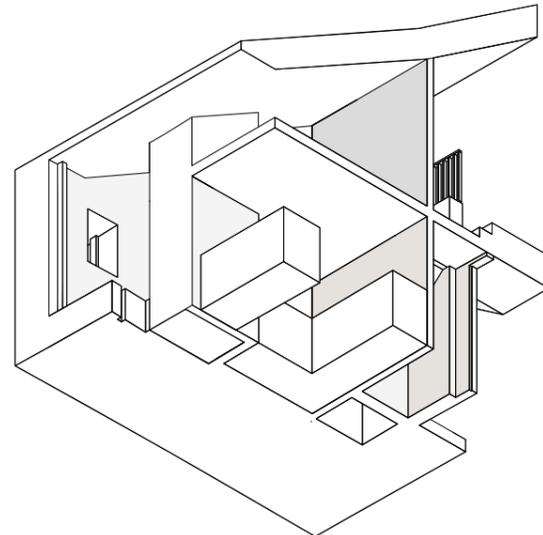
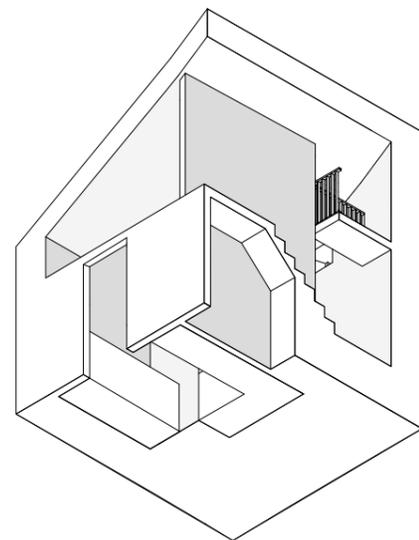
The proposed work is primarily focused on the renovation and refurbishment of the ground floor. The three key objectives for the design are as such:

1- **Spatial clarity.** The key aim of the work is to retain a clear sense of the original building elements such as level changes and timber beams whilst adding clarity to the spatial separation of each key living space.

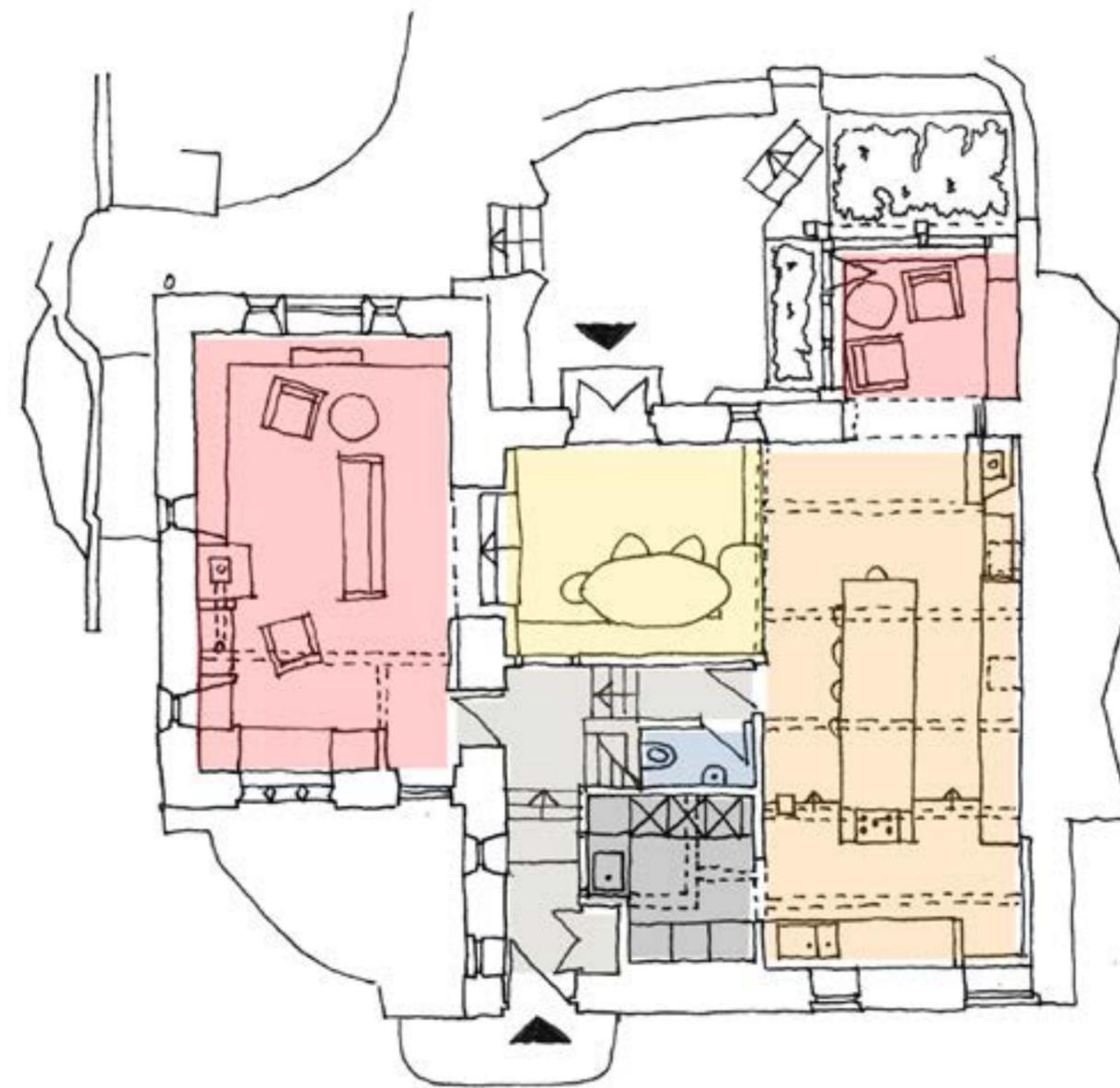
2- **Simplifying circulation and access through the dwelling.** The property currently has two 'front' doors. This is a result of the original configuration of the farm buildings, however it adds a sense of confusion when approaching the house. The proposed works retain the door openings but replace the door to the kitchen with a fixed window. Internally, the circulation will be simplified through the removal of an internal door and reconfiguration of the service and ancillary spaces.

3- **Light.** The entrance hallway and associated spaces at the heart of the house are relatively dark. Much of the work aims to improve the quality of natural light into the heart of the house through internal changes that make the most of the existing window and door openings.

4- **Services.** The services are currently split across the house. In relocating the kitchen we are able to take advantage of the lower ground windowless spaces to consolidate services at the centre of the house. This strategy makes the most of the existing conversion period service connections, thus minimising any further alteration of the existing building fabric.



LOWER ISOMETRIC OF THE
ANCILLARY SPACES



CONCEPT SKETCH RESPONDING TO CLIENT FEEDBACK

GROUND FLOOR

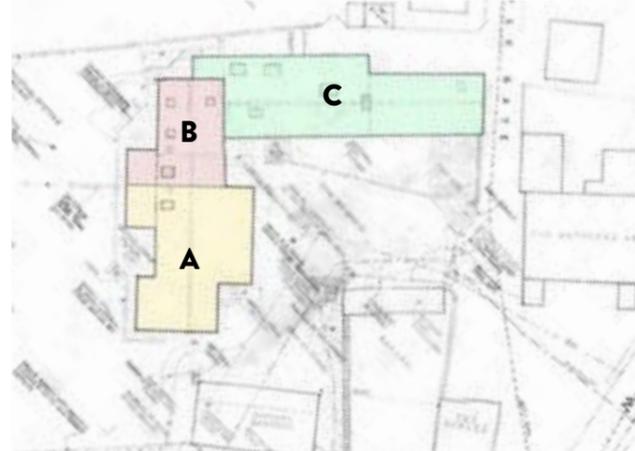
DRAWINGS
[NOT TO SCALE]

EVOLUTION OF BUILDING PLAN:

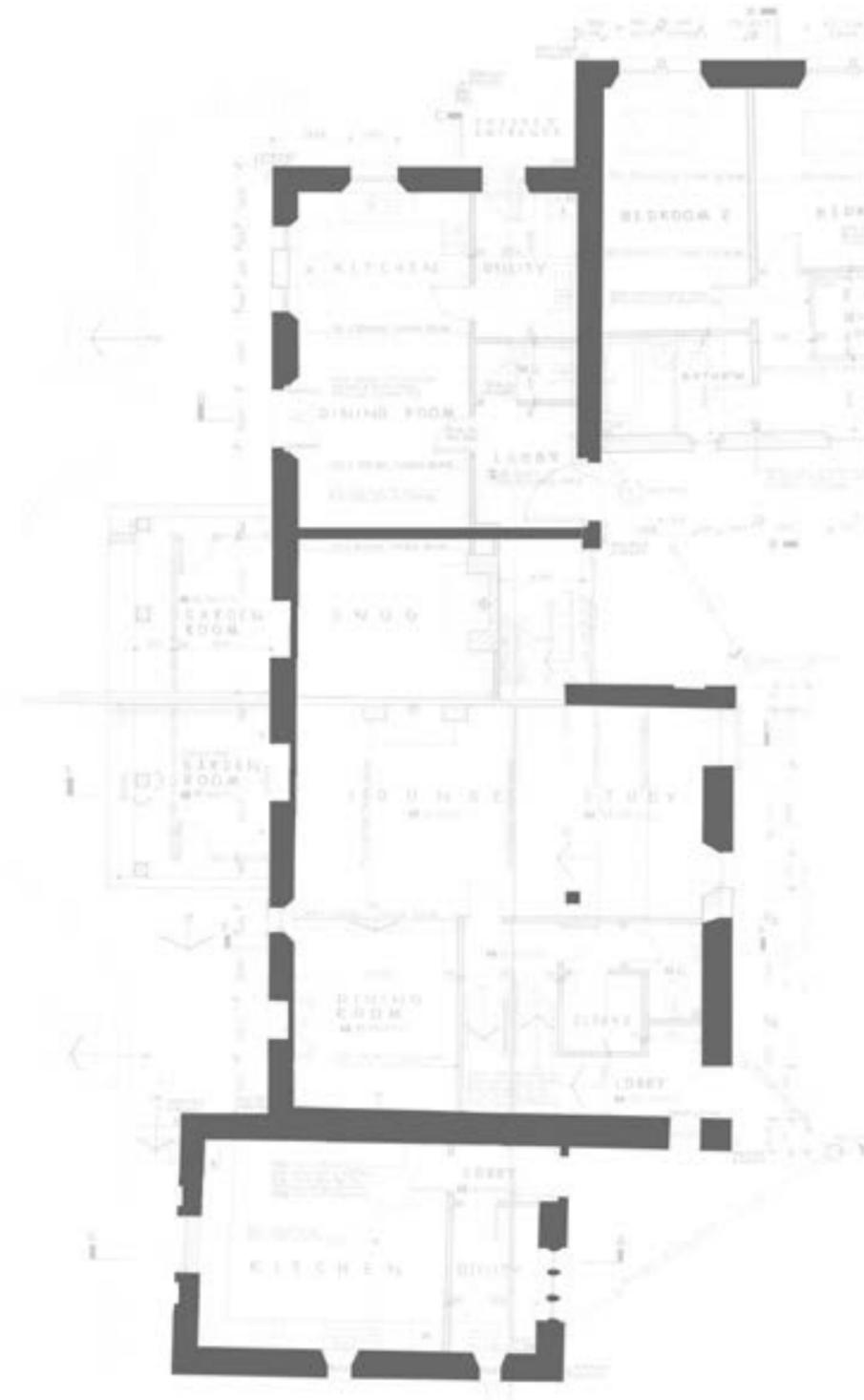
The original collection of farm buildings has remained little changed over the last 100 years. A house was attached to a two storey barn element with catslide roof to a single storey cattle shed [A]. An attached two storey barn with double height threshing door gave access to the unit in the rear corner [B] whilst the forward facing range developed from a single story open fronted machinery store and second barn range with listed cruck frame towards the street frontage [C].

During the conversion phase into three dwelling units in the late 1990's, the form was retained and the farmhouse knocked through to the first two storey barn element [D]. The rear corner unit retained a timber screen inserted into the threshing door [E] and new floor to create a second floor. An interstitial wall was removed. The frontage to the machine store was infilled at this point in time in order to form the third unit [F].

Within the unit known as 'the farmhouse', two openings were made in the late 1990's between the farmhouse and the former barn. Original timber columns [G] have been retained as have the roof trusses at first floor level. A number of new openings were made to the rear facade, mostly by adapting the size of existing openings. Internal walls have been inserted to make the new domestic spaces within the volume of the barn and are a mixture of block and timber stud.



Conversion site plan indicating notional unit splits
Image source: ADP-Architects



Building plans pre conversion

IMPACT OF PROPOSED CHANGES: ELEVATIONAL COMPARISON 2

The proposed works make no physical changes to the external structural facade to the courtyard side of the building. A single external opening is enlarged to the rear of the property through lowering an existing cill [G], already altered in the conversion phase or works. Internally, the opening to the conservatory is enlarged [H], further altering an existing opening.

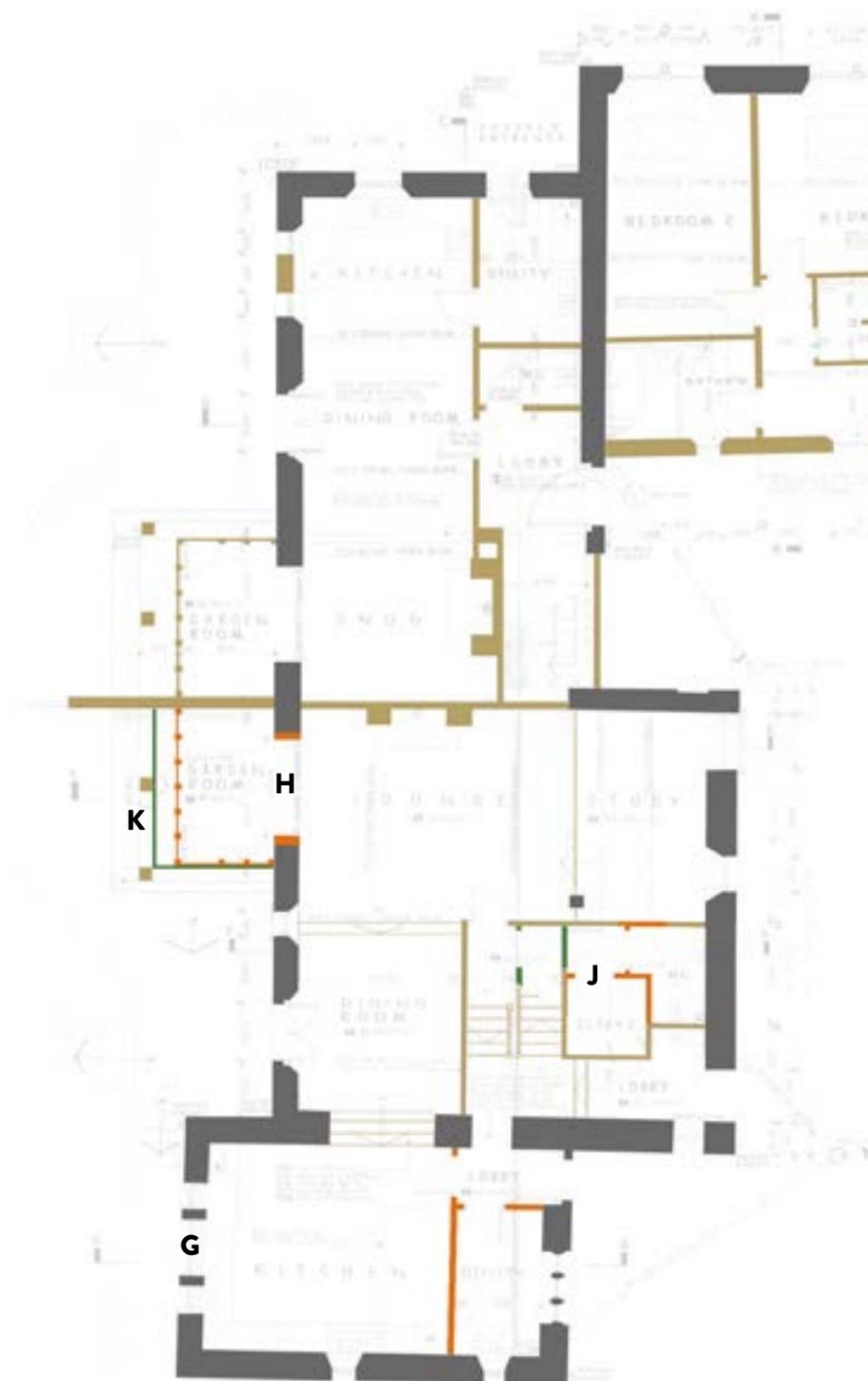
Elsewhere, walls around the service core are altered to form an enlarged utility space and a new understair WC [J]. These alterations are made to new fabric inserted as part of the 1990's conversion and do not impact the original fabric.

The final change is to the line of the conservatory glazing. This does step beyond the roofing of the original 1990's conservatory and has little impact on the original building fabric [K].

It is clear that the original conversion of the buildings sought to retain the legibility of the historic fabric of the building and the proposed works continue the evolution of the property in the same vein. The proposed works make no changes to the historic fabric of the building and only minor changes in areas already altered as part of the conversion. The impact on the elevations and services are charted over the following pages.



Conversion plans indicating altered walls [pink] and new walls [brown]. Original fabric in grey. 1997-2000



Proposed plans showing retained conversion walls [brown], new walls, [green] and removed structure [orange]. Original fabric in grey.

**IMPACT OF PROPOSED CHANGES:
ELEVATIONAL COMPARISON 1**

Careful consideration has been given to the impact of the proposed changes on the exterior of the building in order to minimise any external change to the listed building.

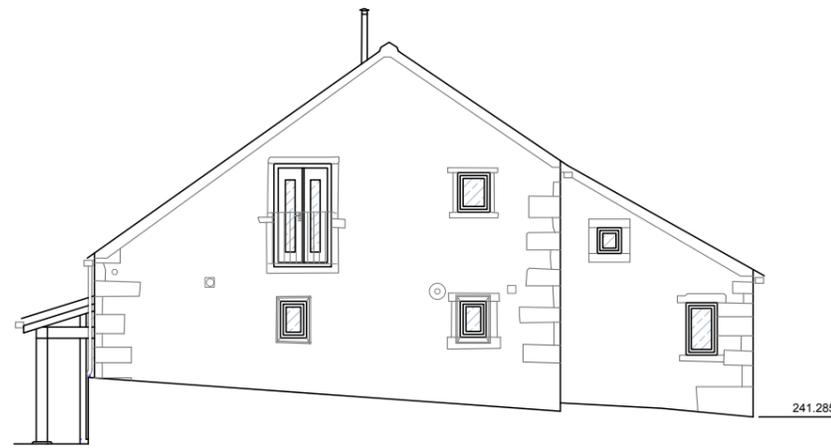
Change 1: Alteration of external glazed space to rear of the property.

As part of the 1990's conversion of the building, a small glazed area was put on to the rear of the property under a 'catslide' roof. This is repeated on the adjacent property and presents a unified element that continues the main stone roof down to low level. A conservation rooflight has been added to 'The Farmhouse'. Despite the overhang of the roof, the space oscillates in temperature throughout the year due to its southerly aspect.

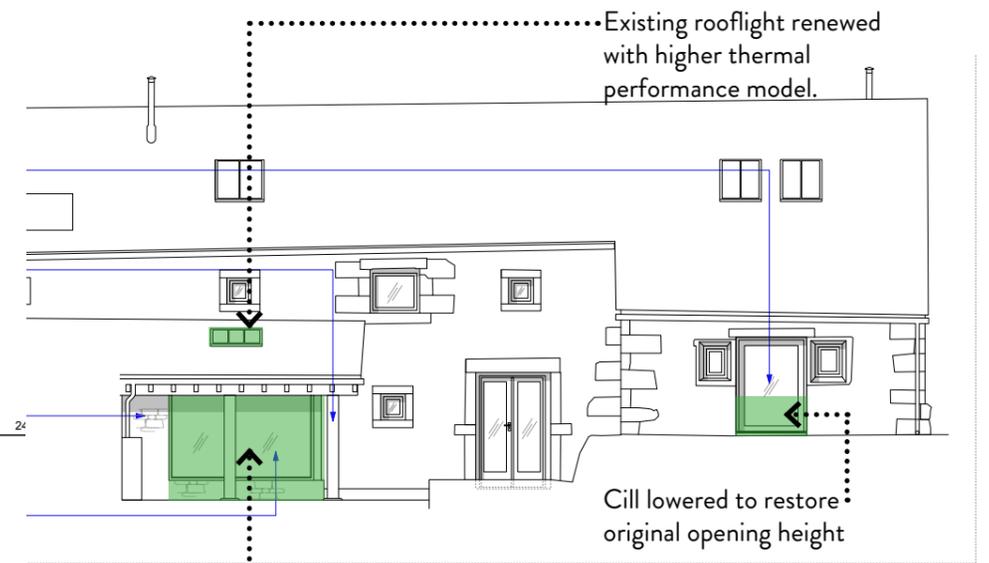
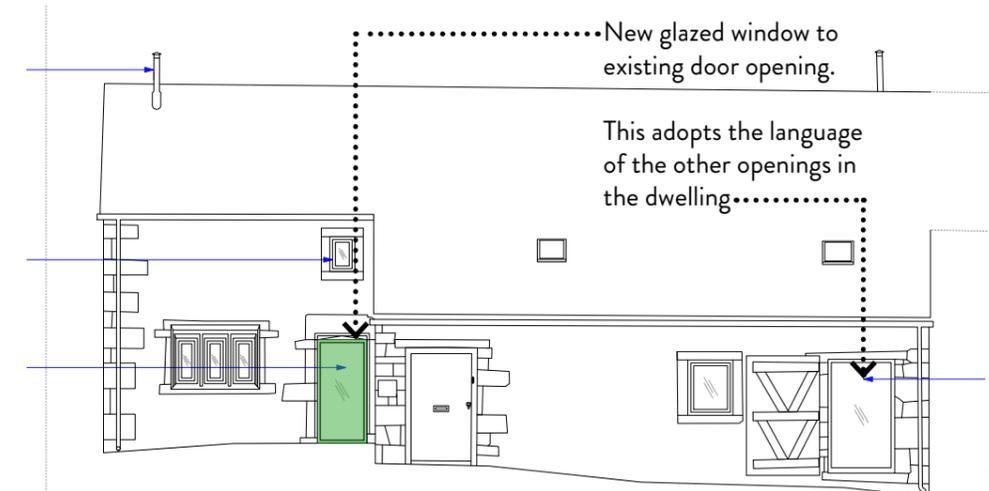
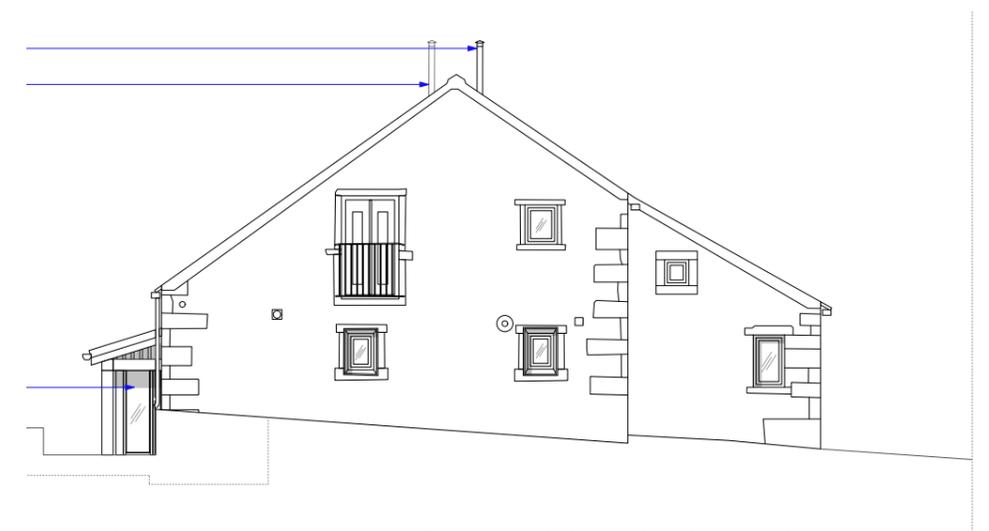
Our proposed move is to renew the rooflight with a more thermally efficient model. The glazing is also replaced and the configuration altered to remove the door leading to the outside. We have moved the glazing line over fractionally to increase the available internal space but kept all changes within the catslide roof so as not to disrupt the symmetry and material quality of the existing conversion.

The opening from the former kitchen space is enlarged, restoring the proportion of the original doorway.

To the front of the house one of the two entrance doors is replaced to match the other former door opening. This will keep the language of the conversion whilst removing the confusion over which is the principle entrance door. All stonework remains intact, in particular the 'tudor arch' noted in the listing.



ELEVATIONS - EXISTING
[NOT TO SCALE]



ELEVATIONS - PROPOSED
[NOT TO SCALE]

**IMPACT OF PROPOSED CHANGES:
ELEVATIONAL COMPARISON 2**

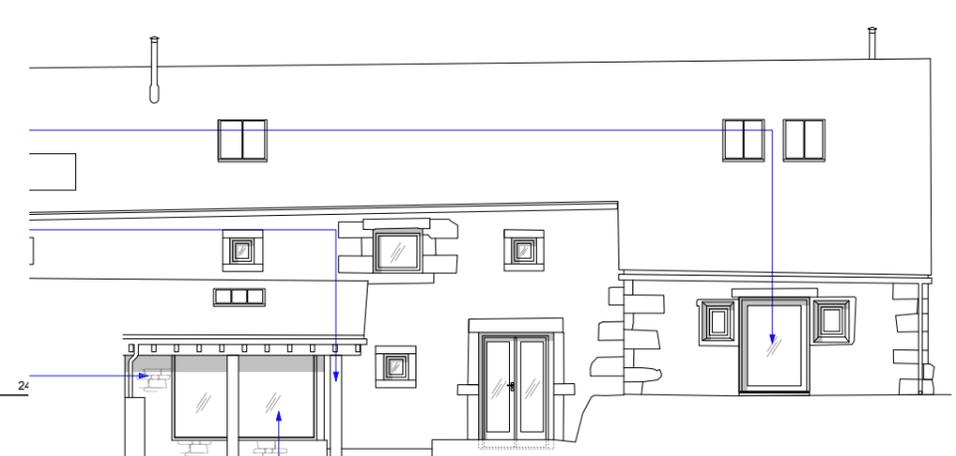
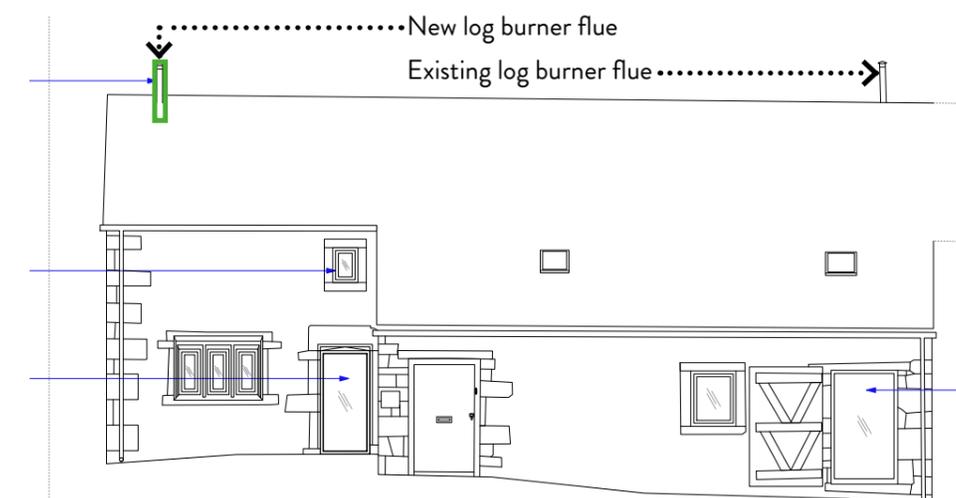
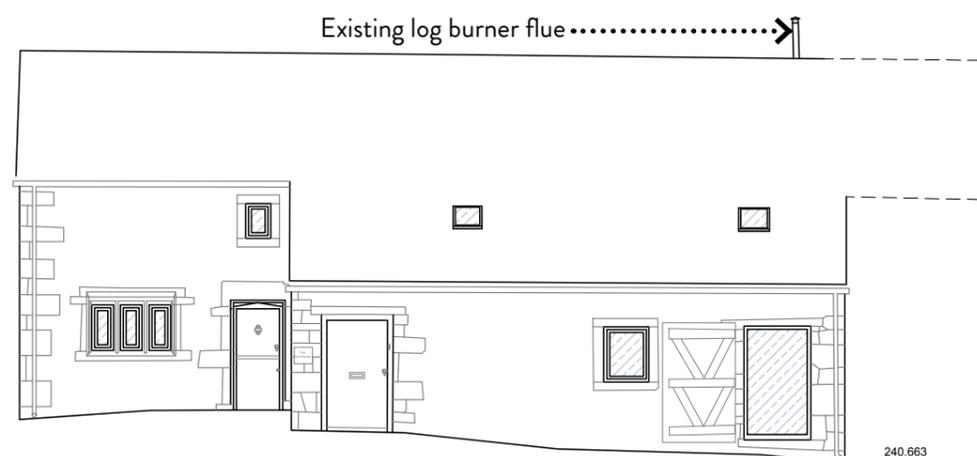
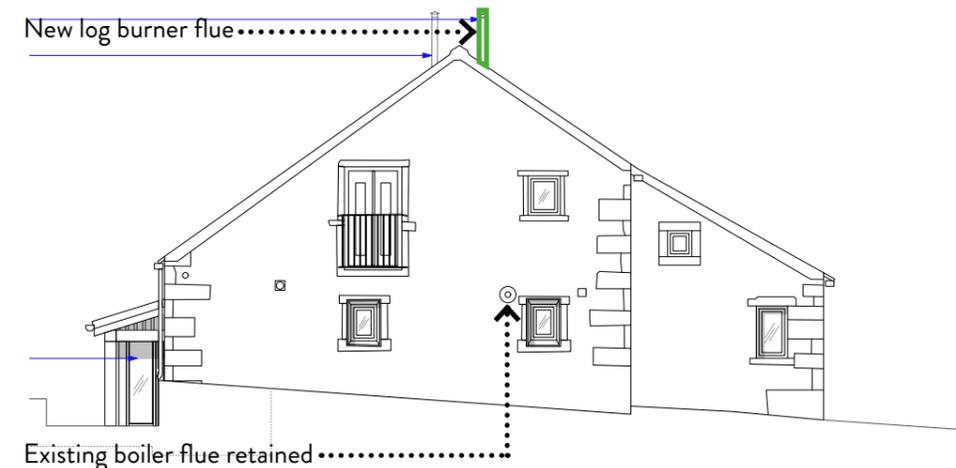
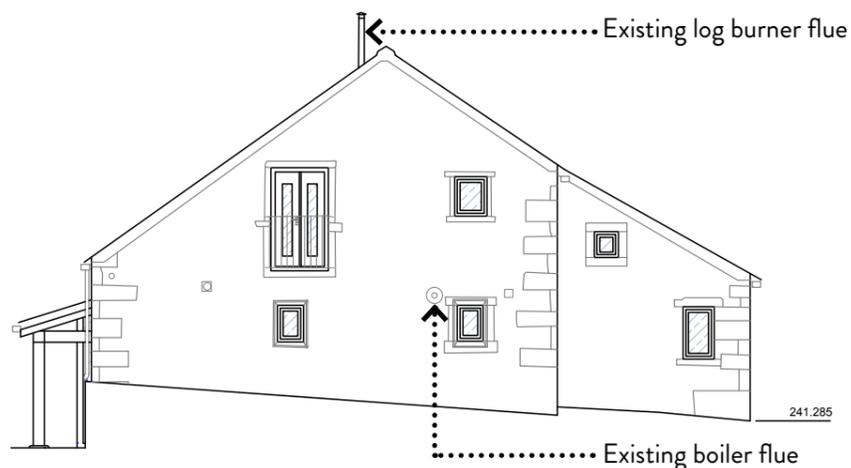
The impact of changes to building services have also been considered in detail to avoid any change to the historic fabric of the building. Areas that are altered have already been adapted through the conversion process.

Change 2: Alteration to external services and flues.

The original 1990's conversion was high quality and respectful of the listed status, bringing a derelict building back into use. It won a Civic Trust Award in 2000 in recognition of the conservation approach.

It is our intention with the proposed works to change as little as possible. The boiler position is retained in its current location so that no new flue is required.

Internally, the kitchen and living spaces are moved. The existing log burning stove is relocated to new living space. A new flue is proposed to match those of the original barn conversion scheme. It is noted that there are multiple other flues as part of this conversion and the impact of a new flue is not considered to be detrimental to the language of a converted set of barns. Given its distance from other flue positions it will not appear as a cluster of service elements, more an isolated element contiguous with other aspects of the existing setting.



ELEVATIONS - EXISTING
[NOT TO SCALE]

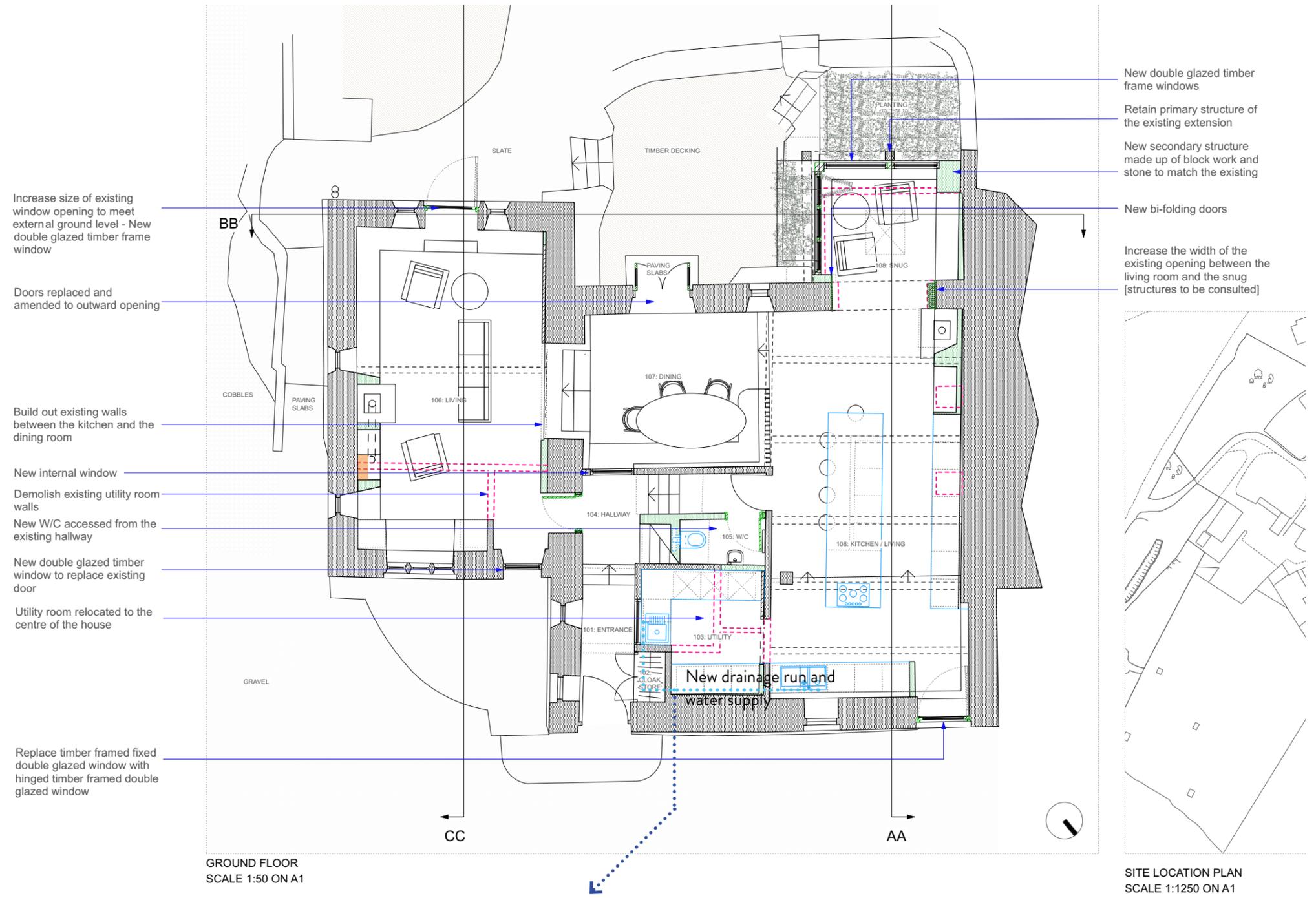
ELEVATIONS - PROPOSED
[NOT TO SCALE]

**IMPACT OF PROPOSED CHANGES:
INTERNAL RECONFIGURATION**

The proposed plan alters very little of either the original building fabric or conversion work. The work seeks to rationalise how the house currently works, bringing service elements to a consolidated core allowing other spaces to remain open, making the most of the existing space without need to extend.

New service elements are minimal and make the most of existing connection points.

A faux chimney is removed from the former living room space. The 'conservatory' element is marginally increased in size within the existing roof area.



Increase size of existing window opening to meet external ground level - New double glazed timber frame window

Doors replaced and amended to outward opening

Build out existing walls between the kitchen and the dining room

New internal window

Demolish existing utility room walls

New W/C accessed from the existing hallway

New double glazed timber window to replace existing door

Utility room relocated to the centre of the house

Replace timber framed fixed double glazed window with hinged timber framed double glazed window

New double glazed timber frame windows

Retain primary structure of the existing extension

New secondary structure made up of block work and stone to match the existing

New bi-folding doors

Increase the width of the existing opening between the living room and the snug [structures to be consulted]

Existing foul drain connection

New drainage run and water supply

DESIGN PRINCIPLES + CONCEPTS: AMOUNT

Overview:

GIA m2 Existing extension: 5.84sqm [approx.]

GIA m2 Proposed extension: 6.86sqm [approx.]

A small additional space is formed at the rear of the dwelling through the reconfiguration of an existing glazed room which was constructed in the late 1990s. The room sits under a single storey 'lean to' oak framed structure.

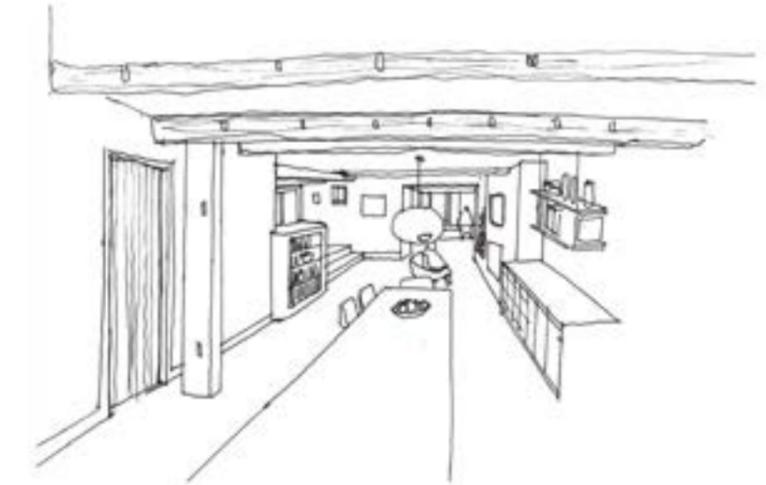
The room is currently cold due to the high levels of timber framed glazing. The line of the glazing sits back from the oak frame. The proposed works seek to push out to the inside face of the oak frame and reduce the amount of glazing. This small change will effectively add 1sqm within the existing footprint of the building.

The existing roof structure will be retained, with a new more thermally efficient roof light. This ensures a continuity with the adjacent linked property and minimises the visual impact of the proposed changes on the building setting. The changes adapt areas of the build that have already been altered as part of the conversion process, thus protecting the historic fabric of the building.

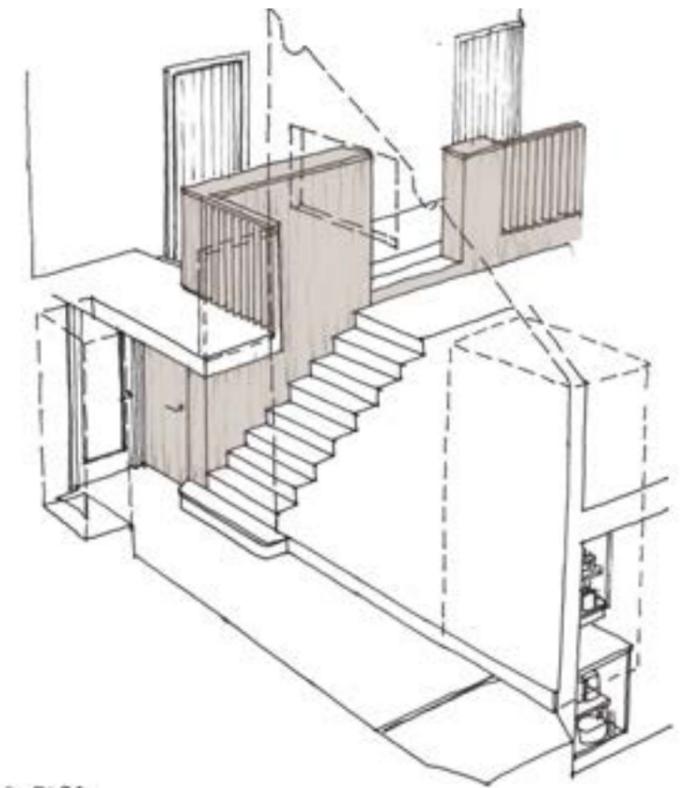
The overall work will create a warmer space that is more connected and usable with the existing living spaces.



EXTERNAL SKETCH OF THE
PROPOSED EXTENSION



INTERNAL SKETCH OF THE PROPOSED KITCHEN

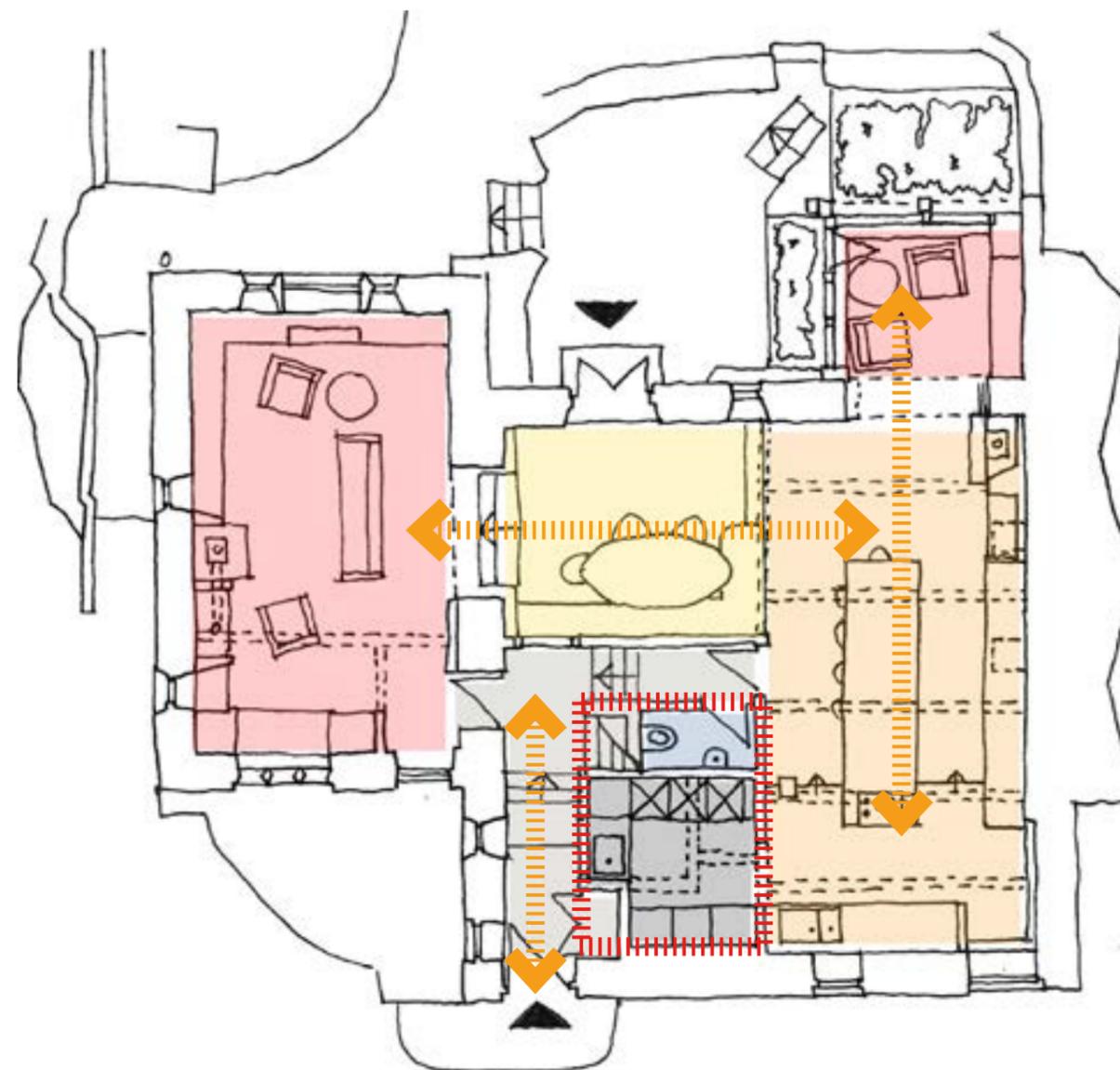


SECTIONAL SKETCH THROUGH
THE STAIR WELL

DESIGN PRINCIPLES + CONCEPTS: LAYOUT

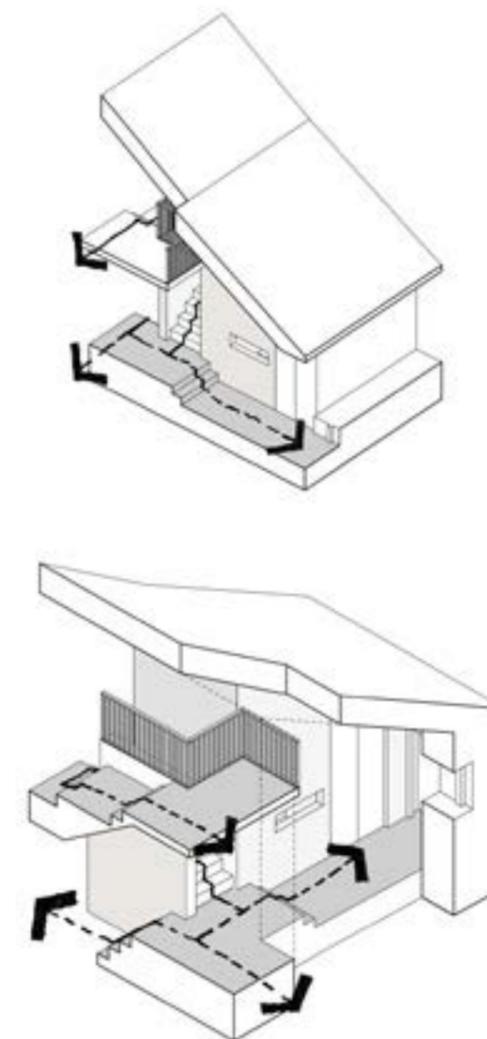
Key changes within the proposal:

- Improved routes through the ground floor - strengthening relationships between rooms and using the internal floor area more efficiently.
- Reconfiguration of the spaces in the centre of the plan to relocate the utility room and W/C - this in turn allows for habitable spaces to become larger without needing to extend the existing dwelling.
- Larger kitchen which now has a better relationship with the rear garden and can be closed off to the dining room.
- Dining room remains in the same location and still acts as a transitional space, however, making the level changes more subtle and adding bespoke furniture allows this space to have more of a fixed purpose.
- Widening the structural opening between the snug and living room, and fitting custom cabinetry that runs through establishes a material relationship that aims to unite the two spaces.



GROUND FLOOR

DRAWINGS
[NOT TO SCALE]



ISOMETRIC DIAGRAMS SHOWING MOVEMENT
THROUGH THE CENTRE OF THE GROUND
FLOOR



INTERNAL MATERIAL AND
JOINERY PRECEDENTS



**DESIGN PRINCIPLES + CONCEPTS:
MATERIAL QUALITY**

The design of the extension retains the existing primary timber structure and stone slate roof. This will shelter the new secondary structure made up of insulated cavity walls with block work on the inner leaf and stone to match the main house on the outer leaf. The under eaves wall will be timber clad with lapped timber board.

All new windows will be timber framed and double glazed.



EXISTING HOUSE + CONTEXT



- Stone slate roof tiles the presence of protected flora and fauna (e.g. bats).



- Coursed square rubble stone masonry
- Stone cills and lintels
- Timber framed double glazed windows
- Exposed timber frame



- The Farmhouse sits within a local vernacular of materials and construction techniques
- The proposed work aims to be sympathetic to this

MATERIAL PRECEDENTS



- Extension project designed by CE+CA, using stone to match the colour, shape and coursing of the existing house.



- Example of the timber cladding proposed on the new extension



- Barn renovation designed by CE+CA using double glazed timber framed windows

**DESIGN PRINCIPLES + CONCEPTS:
LANDSCAPE**

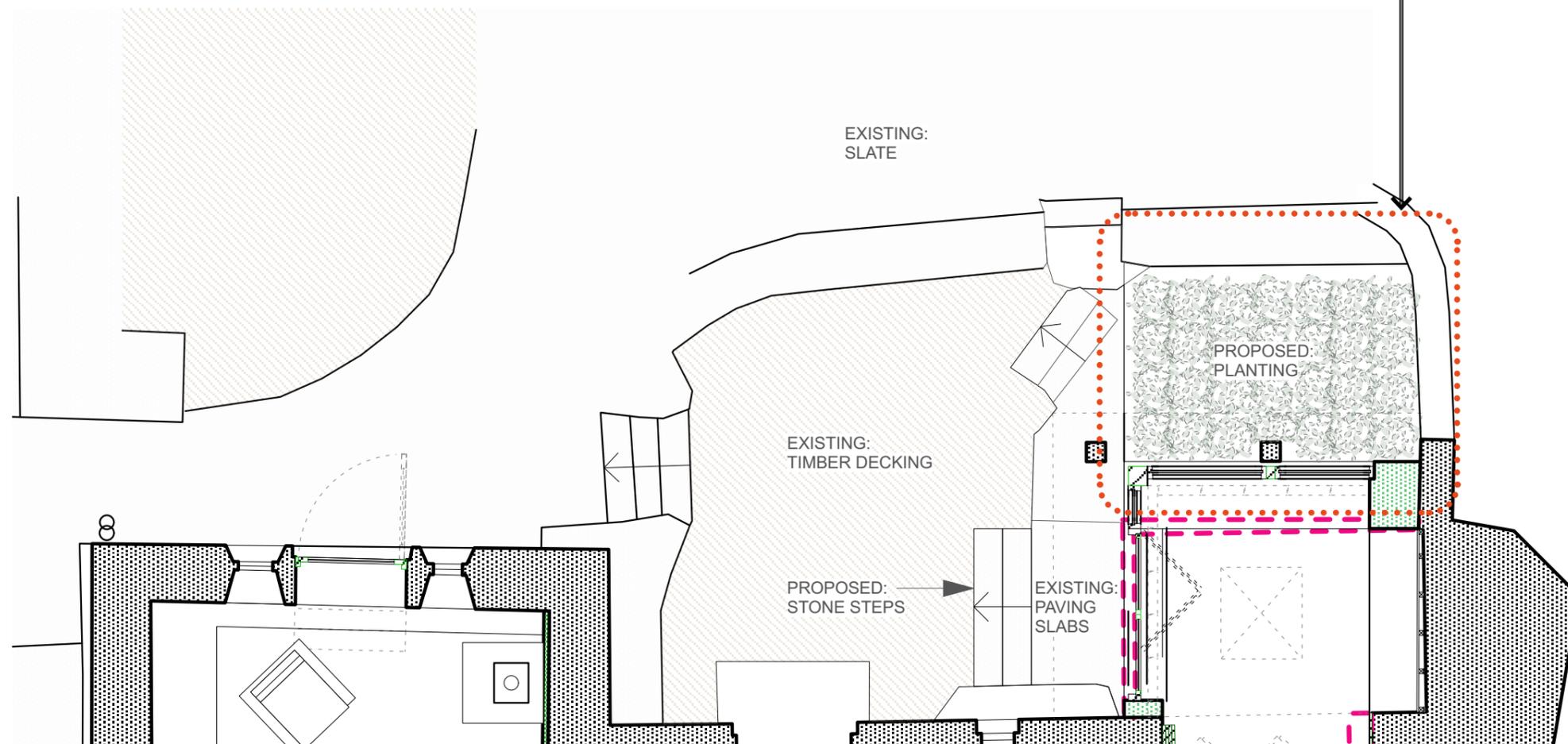
The proposed landscape is minimal. New planting and shrubbery is proposed in front of the new extension in place of the existing timber decking. Stone steps are proposed that lead out and up onto the existing timber decking from the extension.



EXAMPLES OF PLANTING BEDS



EXISTING UPPER GARDEN AREA



DRAWINGS
[NOT TO SCALE]

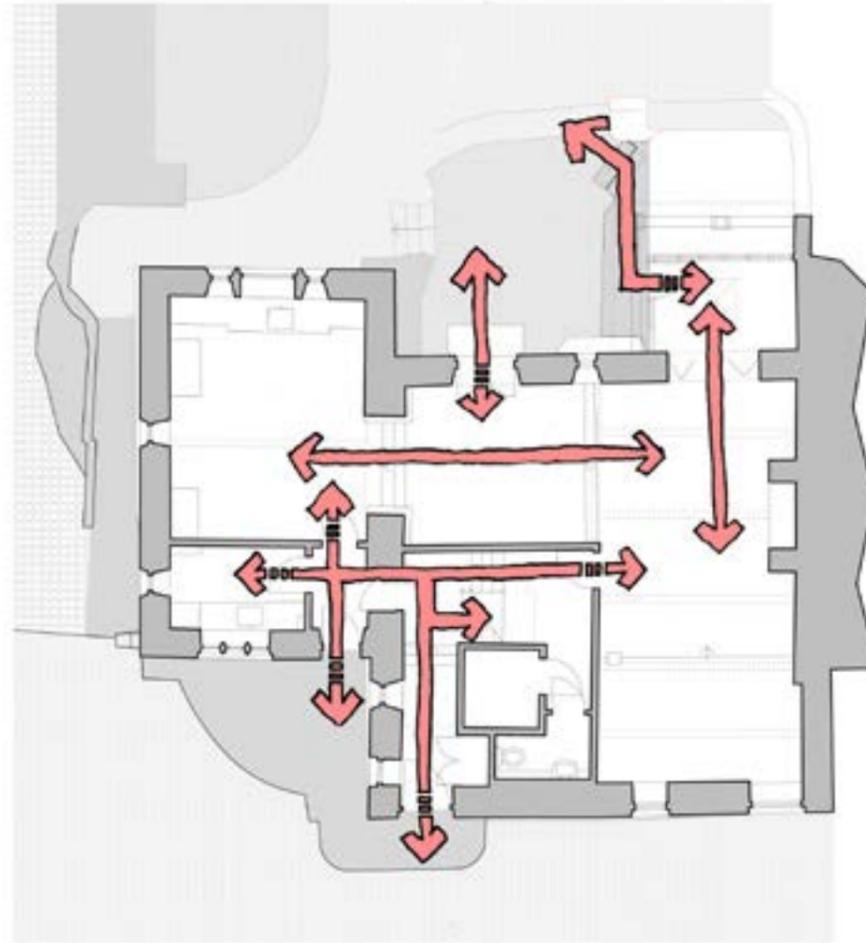
DESIGN PRINCIPLES + CONCEPTS: ACCESS

External to internal access remains largely unchanged with the exception of replacing the existing front door next to the utility room with a double glazed timber framed window. Internal level changes remain unaltered.

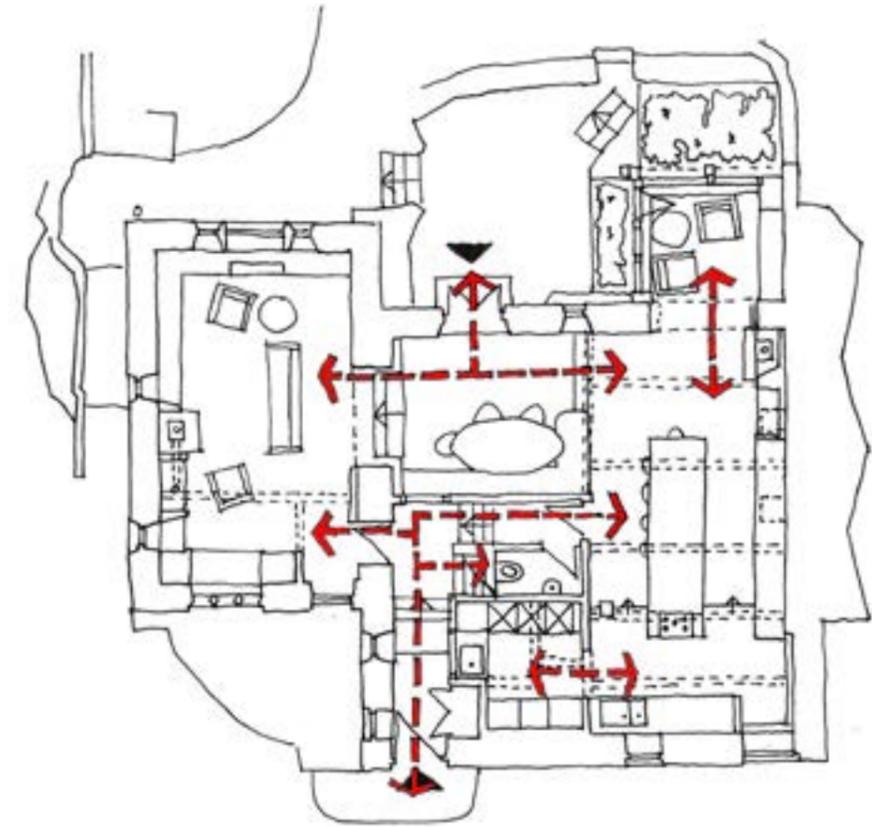
New external stairs are also proposed leading out from extension, providing more direct access to the garden.

Daylighting has been carefully considered ensuring spaces receive adequate natural lighting. This is achieved through replacing solid timber doors with large full height windows, making window openings bigger and adding internal windows throughout the ground floor space.

The proposals mitigate any additional change to the historic fabric of the building and focus on the adaptation of new material from the barn's initial conversion process.



EXISTING ACCESS DIAGRAM
[NOT TO SCALE]



PROPOSED ACCESS DIAGRAM
[NOT TO SCALE]