



Field House, 15 Wellington Road, Dewsbury, WF13 1BQ

Our ref: 2018-051

Report in support of the discharge of planning condition 3 of Conditional Planning Consent 2019/92962



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1.0 Introduction

This report is a submission to Kirklees Planning Department following a meeting on site at Field House on 17th January 2024. The meeting was attended by Kirklees Planning Officers, members of the DLA Architecture project team and representatives of the Main Contractor, YMG Construction.

The meeting was convened to assess the current building condition and to discuss the relevant information required to discharge condition 3 and to allow DLA to provide material samples for review by Kirklees Planning Officers.

1.1 Field House listing

Field House is listed at Grade II under the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended for its special architectural or historic interest. It lies within the Dewsbury Conservation Area.

The listing description is as follows:

Large Italianate commercial building curving round a corner site. Late C19. Ashlar with rusticated quoins and ground floor with some vermiculation. 4 storeys with sill bands and deep bracketed eaves cornice and blocking course. 14 bays divided by quoins, into 4, 1, 2 and 3 bays with a 4-bay return into Bond Street to the left. The single bay has the entrance in a broad concave surround. Ground floor windows are round-arched with voussoirs and vermiculated keystones. 1st floor windows all have architrave, pulvinated frieze and triangular pediment. The pediments to centre are supported on consoles. 2nd floor windows are square headed with frieze and small cornice. 3rd floor windows have cambered head and small cornice, and architrave with chambranles.

The main building façade remains largely intact although there have been various unsympathetic installations over the years. These include a canopy and alteration to the south-west building entrance and an external fire escape stair to the eastern façade, together with various mechanical plant installations.

The building windows are generally timber sliding sash windows (with the exception of the east elevation), of varying dates and details and a number have been altered to form top hung casements.

Adjacent to the south-west building entrance, a modern concrete stair has been inserted on all floors. Several walls to the stair have been drylined.

1.2 The Dewsbury Heritage Action Zone

The Dewsbury Heritage Action Zone (HAZ) is a partnership between Kirklees Council and Historic England intended to “unleash the power in England’s historic environment to create economic growth and improve the quality of life in villages, towns and cities”.

This initiative recognises that Dewsbury's Town Centre Conservation Area is at risk due to lack of investment, maintenance and neglect. The Dewsbury HAZ covers part of the whole Dewsbury Town Centre Conservation Area.

The aims of the programme are:

- Improve the condition, appearance and sustainability of key buildings and sites within the Dewsbury Town Conservation Area,
- Support the living town concept by introducing new activity through reuse of vacant buildings and sites within the zone,
- Develop a new heritage home ownership model with Historic England,
- Improve public spaces within the town centre and connectivity between them,
- Deliver a programme of engagement with participation from all communities to recognise and celebrate the area's heritage'.

1.3 Planning Applications

Field House offers the investment opportunity to revitalise and bring back into sustainable use a vacant and neglected grade II listed building, as a catalyst to encourage the further regeneration of Dewsbury town centre.

To unlock the potential of Field House a Detailed Planning application (2019/92962) and a Listed Building application (2019/92963) were submitted in September 2019 and a conditional full permission was granted in December 2019 for Detailed Planning and consent granted for the Listed Building application at the same time.

The planning applications were carefully developed to balance the sensitivities of working with a prominent heritage asset with the ambition to create an emblematic symbol of regeneration and the arrest of decline. The residential mix of generously proportioned one, two and three bedroom dwellings were designed to cater for a wide variety of households, including families, to encourage the development of a stable and sustainable community.

A proposed restaurant/café use at basement and ground floor level will create a new vibrant, active frontage opposite the new railway station plaza, and the 23 dwellings above will promote the living town concept and encourage heritage house ownership.

The refurbishment and re-use of Field House will help reinforce the main objectives of the Dewsbury Heritage Action Zone.

1.4 Consultation

A series of informal consultation meetings with Local Authority Officers and Historic England (although the latter are not a statutory consultee) took place prior to the planning submissions.

A formal pre-application process was also followed commencing in February 2019 and continuing through to submission.

The refurbishment and re-use of Field House has been welcomed by Officers and the potential for the proposed development to act as a significant catalyst in the regeneration of Dewsbury Town Centre has been recognised by them from the outset.

During subsequent correspondence with Trevor Mitchell of Historic England he said of these proposals:

“it recognises the key components of significance (the weighty stone façade with its well-proportioned detail, and the overall harmony of the group of warehouse/offices facing the station) and respects and emphasises them. The proportions of the rooftop extension work well and the mansard helps it gel with the building.

We would be pleased to see this approach developed as a solution to bring the block into full use and to mark the stirrings of regeneration in the town”.

2.0 Field House, Dewsbury Heritage Statement (August 2019) by Woodhall Planning & Conservation

A Heritage Impact Assessment (1) accompanied the planning application. This assessment identified that the building has been fire damaged, resulting in the loss of sections of floors and ceilings and their replacement with modern materials and structure.

Although little remains of the original interior features, we have worked closely with the Heritage Consultant, Woodhall Planning and Conservation, to identify what remains. These features have been retained wherever practical to do so and are detailed on drawing number 2018-051 Schedule of Retained Items. This is a “for tender” drawing and is included at **appendix I**.

The assessment identifies that the building was constructed in two distinct phases either side of a straight joint with quoins to either side. Although the stone detailing to each phase is very similar, there is a distinct colour difference in the stonework, and the stone to the eastern half appears to be more durable, as it is in better condition than the western half of the building.

In Historic England’s February 2017 publication “*Traditional Windows - Their Care, Repair and Upgrading*” it states:

An assessment of the significance of a window or windows and the contribution they make to the overall significance of a building is the key first step in deciding the right course of action.

In section 3.00 Significance of the Heritage Statement - Architectural 3.10 states:

The architectural interest of the building primarily relates to its external appearance and in particular the stone detailing. The timber windows vary in design and age and the opening mechanism of several windows has been altered. In view of the degree of alteration and replacement, whilst their overall design and appearance contributes to the appearance of the building, **the actual windows are of limited interest.**

(1) [filedownload.aspx\(kirklees.gov.uk\)](filedownload.aspx(kirklees.gov.uk))

In section 4.00 Impact of the Proposed Development 4.15 states:

A variety of different styles and dates of windows are present in the building. At third floor level the windows have been adapted from vertical sliding sashes to casements. In view of the low cill height and the alterations to these windows, the proposal is to replace them with new double glazed, timber framed casement windows. A condition survey of the remaining windows on the north, west and south elevations will be undertaken to assess whether they can be repaired and upgraded or if new timber framed, double glazed, sliding sash windows are required.

Informed by the Heritage Statements assessment a drawing was produced - 2018-051 0241 – Proposed Demolition Elevations and is included at **appendix II**. The drawing illustrated the existing windows and doors to be demolished and replaced as well as the roof demolition and the removal of an external fire escape and air handling units to elevation 4. This was submitted with the planning applications.

Condition 3 of the Detailed Planning Consent recognised the requirement for a Condition Survey as follows:

Prior to the commencement of development (including demolition works, but excluding soft strip-out works), a schedule of all windows of the existing building (including details of the type, materials, age and condition of each window), and detailed drawings including plans, elevations and sections of all external windows and doors of the development hereby approved (including details of retention, refurbishment, replacement and any measures related to air quality and noise mitigation) shall be submitted to and approved in writing by the Local Planning Authority. The details so approved shall be implemented in full to the satisfaction of the Local Planning Authority prior to the first occupation of the development hereby approved, and shall be so retained thereafter unless otherwise agreed in writing by the Local Planning Authority.

Reason: In the interests of visual amenity, to maintain the character and appearance of the Dewsbury Town Centre Conservation Area, and to accord with policies LP24 and LP35 of the Kirklees Local Plan.

This pre-commencement condition is necessary to ensure adequate information regarding existing historic fabric (and works to it) is provided at an appropriate stage of the development process.

A detailed Building Condition Survey was carried out in late October and November 2020 by Woodhall Planning & Conservation to inform RIBA work stage 4; construction information for tender. The survey was formally submitted in December 2020 (**appendix IV**).

30 Field House, Dewsbury Condition Survey (December 2020) by Woodhall Planning & Conservation (2)

The survey identified that:

Windows

The second and third floor windows are in very poor condition, and the majority of those at third floor level have been altered or are later replacements. It is therefore recommended that all the windows to those two floors – with the exception of the curved windows to elevation 2B – are replaced with new double-glazed windows.

The survey also identified significant water ingress to the building.

Timber decay

There is evidence of water ingress from failure of gutters and the internal downpipes. This has resulted in timber decay and there is evidence of fruiting bodies extending across some internal plastered surfaces (particularly on inner face of elevation 3).

Rainwater goods

The existing downpipes are internal and set within the masonry walls. The failure of these downpipes and the box gutters above has resulted in damage to both the interior and exterior of the building. The roof drainage will be improved in association with the new roof structure, but the design of the downpipes should be reviewed, to ensure that: they have sufficient capacity; access for maintenance; and provision of overflows to avoid internal damage in the event of a blockage.

In addition to condemning all second and third floor windows due to their very poor condition, the survey also identified that only five out of the twenty-three windows at first floor level did not suffer from window frame or cill rot.

(2) [filedownload.aspx \(kirklees.gov.uk\)](filedownload.aspx(kirklees.gov.uk))

4.0 Replacement of existing windows

4.1 Current building condition

The Condition Survey was carried out in late 2020 and the building has now been vacant for over three years since the survey visit. During this time the building has suffered all the inherent problems of vacancy and water ingress exacerbating many existing problems.

The building owner, Mood Developments, have also identified several unfortunate incidents within Field House over the last 6 months.

They comment that “unusually, in recent months here have been repeated break-ins to the building, often by juveniles or rough sleepers. One of the groups entered the building and had a sort of game, which involved smashing out the upright spindles supporting the banister rail on the central staircase.

Two adolescents broke in and started setting off fireworks in the lift on the 5th November 2023 causing a fire. We were very lucky that they then rang the fire brigade who came and put it out very rapidly but at the expense of considerable damage to the side door, several ground floor windows and the skylight to clear the building of smoke. The two were charged with arson but this was later dropped for lack of forensic evidence”.

A main contractor, YMG Construction are now carrying out enabling works to the building under a letter of intent with the intension to enter into a contract in March 2024 as the main works commence.

YMG Constructions preferred window and door supplier, Collins & Hall have carried out a further building survey examining the condition of the windows in late January 2024. This was for the purpose of recommending either restoration or replacement and their report is included at **appendix III**.

Collins and Hall found the condition of the existing timber windows to be very poor due to the neglect of regular maintenance. They also comment on the technical difficulties and time-consuming aspects of restoration recommending replacement over restoration.

The report states:

“I (Tom Collins) do not believe restoration to be a viable option, the cost alone would be far more than a full replacement. On top of that the old timber has been open to the elements for some time so we cannot guarantee the window against decay”.

“Collins and Hall can replicate the existing windows, matching the sash horns, including hidden gaskets and double-glazed units we can guarantee a fully functional window that replicates the old and is low maintenance for many years”.

4.2 Project costs and viability

Mood Developments Ltd have considerable experience of historic building regeneration work and their recognition of the potential for the redevelopment of Field House led to them purchasing the property in March 2018.

At this time, they were engaged in the redevelopment of the Black Bull public house in Dewsbury. with the support of the Heritage Lottery Fund and in Partnership with Kirklees Council. The project was successfully completed in December 2019.

The Field House project has never been commercially viable and was conceived from the outset as a grant assisted refurbishment of a prominent building to reinforce the main objectives of the Dewsbury Heritage Action Zone and the Dewsbury Blueprint.

Several funding and delivery structures have been investigated over the past 3 years. Whilst the findings from the research of property data on Rightmove indicates there are a high number of low value properties within Dewsbury Town Centre, this particular development proposal is acknowledged as a “flagship” by Kirklees Council and is seen as a catalyst for further regeneration. The Council of the Borough of Kirklees Council have provided the conservation deficit finance in the form of a grant to allow for the design development of the project and to bridge the gap between the sales values and costs of refurbishment.

The main contractor YMG Construction have provided the client with a guaranteed maximum price under a Design and Build contract that makes the project viable with the grant assistance. Despite recent world events and inflationary pressures, YMG are prepared to stand by their guaranteed maximum price.

In terms of the refurbishment this price assumed the costs of new windows throughout on the basis of providing:

- historically like for like windows where appropriate (i.e. excluding later window alterations identified in the Historic England listing and by Woodhall Planning and Conservation),
- improve the condition, appearance and sustainability of the building,
- providing the highest level of factory finish quality,
- fully complying with technical requirements including acoustics, u values, g values, health and safety requirements and a specified design life of 25 years,
- substantial cost savings as compared with a repair strategy (see appendix III) and
- programme time savings which would also impact on costs through extended prelims.

Throughout the development of the Field House project Richard Boothroyd & Associates Ltd (RBA) have provided the role of Chartered Quantity Surveyors and now act as the Employers Agent.

RBA have issued the following statement in respect of the project’s current viability:

Following a recent exercise by the project team to assess the feasibility of restoring the windows in comparison to replacing at Field House, Dewsbury, it has become clear that there are several factors that need to be considered, which combined, could potentially add considerable cost the project.

Due to the current condition of the windows, it has been advised that restoration works would be very labour intensive, more so than replacing, this would impact the upfront costs and increase the duration of works and overall project programme. Additionally, there needs to be consideration of associated works which may be needed to ensure thermal, acoustic and security requirements are met, all of which will attract additional cost.

Following review by the main contractor and a specialist sub-contractor, an estimate of just over half a million pounds has been put forward for these works. We would further note that this value does not include any additional maintenance costs which would be required for restored windows, with it being suggested that maintenance could be required up to 10 times more frequently than new windows which would need to be accounted for.

In summary, restoration works are notoriously difficult to quantify but we would suggest that the values put forward by the main contractor and specialist are reflective of the additional works required. The project does not currently have arrangements in place for these works, and if required, due to the costs noted above we would suggest the project would no longer be viable.

Appendix VI is the main contractors cost report of additional costs for restoration of existing windows.

Appendix VII is RBA's statement on the project's viability.

4.1 Typical details

Collins and Hall have provided typical window details included mullion and transom dimensions included at **appendix IV**.

4.2 Specification

DLA have written an NBS included at **appendix V**.

5.0 Aesthetic strategy - windows

5.1 Design development

The proposals design development is described in detail in the Design and Access Statement of August 2019 as submitted in support of the planning applications. Within this document and in all illustrations of the proposals the window frames are shown in a very dark grey colour to help emphasise the quality of the Italianate ashlar façade.

Section 3.6 of the Design and Access Statement | Appearance states:

Although it is agreed that the windows are not original, what exists on site are of historic interest. The planning submission drawings and illustrations therefore propose sash windows as existing, although the frames are finished in a dark grey to emphasise the solid quality of the ashlar façade by appearing to recess the window openings.

Some concern has been expressed by Conservation and Design in respect of the window colour in a consultee response of 26.06.2023 as follows:

The proposed paint colour for all windows is RAL7021 black grey. The surrounding buildings within the context and setting of Field House and within the conservation area have white or cream painted window frames. Painting these frames black will change the emphasis of the windows and they will appear more recessed. We would recommend that these are painted white or off white to complement the surrounding character.

In Historic England's February 2017 publication "Traditional Windows - Their Care, Repair and Upgrading" it states:

Window colour

During the early 18th century white or stone-coloured (white broken with yellow ochre and a little black) oil paint appears to have been the popular finish for sash windows. Only the wealthiest homes could afford more ostentatious finishes; by 1740 the internal window joinery at Chatsworth, Thoresby Hall, Holkham Hall, and Wentworth Woodhouse was gilded with gold leaf. **By 1770 more modest homes were beginning to experiment with alternative paint finishes: green, grey, brown, black, and grained. These dark colours were particularly popular against light-coloured stucco or stone facades.** During the 1820s John Nash stipulated that the sashes of his stuccoed Regent's Park development were to be repainted every four years with oak graining, and analysis has recently confirmed the **use of black for sashes at Sir John Soane's London home in the 1820s.** By the end of the Georgian period, green was very commonly used for more rustic homes, but white was still held to be the most appropriate colour for grander dwellings. However, by the middle of the 19th century purple-brown paint (first recorded as early as 1803) was popular for window joinery. Brunswick green was also widely used for external window frames and doors, while graining, usually to resemble oak, remained a popular internal and external finish.

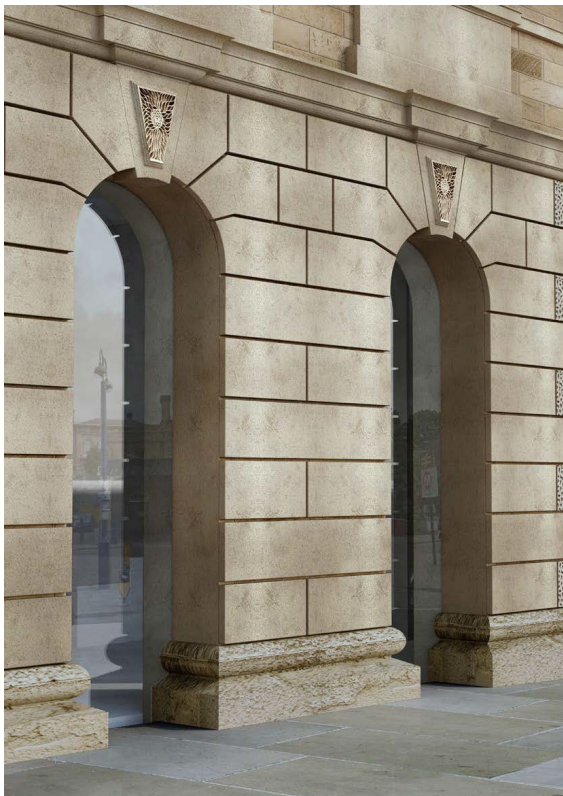
The proposal for a dark grey finish to the window frames has been put forward for a number of reasons.

Firstly, as acknowledged, the proposal would make the windows appear more recessed from the overall façade and this is a deliberate tactic to promote the primary significance of the stone façade. As Trevor Mitchell of Historic England has commented about the proposal; *"it recognises the key components of significance (the weighty stone façade with its well-proportioned detail, and the overall harmony of the group of warehouse/offices facing the station) and respects and emphasises them. The proportions of the rooftop extension work well, and the mansard helps it gel with the building.*



Proposed view of Field House in context from the railway station (extract from D&A)

Secondly, in developing the proposals the primary intervention is the new mansard roof, the scale and mass of which is designed to allow Field House to gel with its immediate neighbours. Field House is the centre piece to a grouping of buildings with common characteristics of form and materiality, which collectively form an important town gateway from the railway station. These buildings have a common classical language, of regular, repeated motifs within a containing grid. To emphasise these common characteristics a dark zinc finish is proposed with dark grey windows to the mansard so that the overall mass aligns with the grouping of buildings.



Detailed images from the architectural model of Field House (extract from D&A)

Combined with this, a less intrusive intervention is the use of structural glazing to four of the ground floor windows to emphasise the new café/restaurant use. The window colour proposal therefore seeks to create a coherent overall aesthetic to the building as this will unite both existing and proposed elements of the overall scheme.

Finally, the client is very keen for the redevelopment of Field House to actively promote the key objectives of the Dewsbury Heritage Action Zone marking the advent of regeneration in the town. To achieve this, they believe that a subtle differentiator between Field House and its immediate neighbours would be of tremendous benefit.

The Dewsbury Design Guide promotes high standards of design, high quality public spaces and a sustainable town centre as follows:

- Add variety in style and age to the built environment by retaining and reusing existing buildings and features.
- Individual expression and variety in architectural style is encouraged to create a distinctive town centre.
- Allow for personalisation through inclusion of balconies, roof terraces and opportunities for window boxes in new and refurbished development

This was further discussed at the site meeting of 17th January 2024 where it was agreed that further precedent studies of projects should be submitted for consideration.

5.2 Precedent studies

We have successfully used the aesthetic strategy of “recessed windows” in several recent projects.

Firstly, the Majestic in Leeds which opened as a 2,400-seat super-cinema in 1922. It was badly damaged by a fire in 2014 leaving a redundant shell and fragments of the Beaux-Arts style interior. The iconic Grade II listed building has now been re-imagined, reinterpreted and repurposed as office space and is occupied by Channel 4.



The Majestic, Leeds.

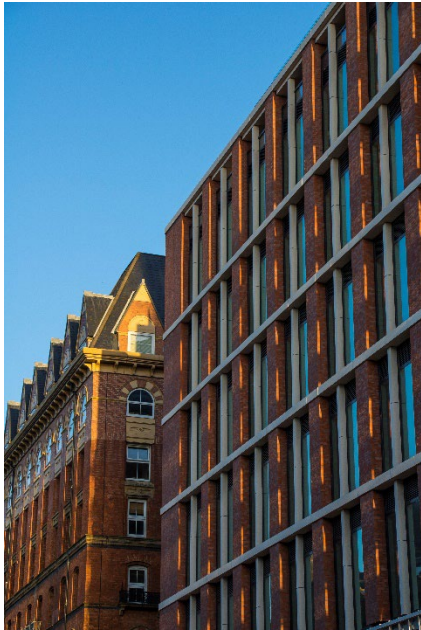


The design strategy for the Majestic saw the introduction of a series of new architectural layers including a new faience colonnade and anodised aluminium brie soleil fins to the upper levels.

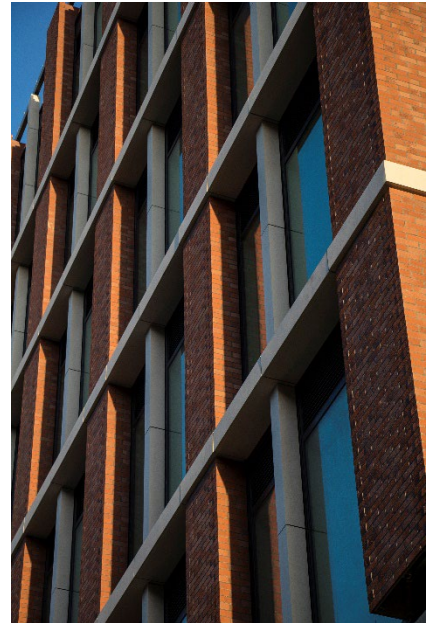
The window frames were also specified in the anodised aluminium to help recess the windows to promote the fine faience façade.



The Majestic, Leeds



Central Square, Leeds City Centre Conservation Area.



Also in Leeds a new development, Central Square, just to the west of the Majestic along Wellington Street, used a very dark grey window and curtain walling frame to emphasis the solid and void of the architectural structure in direct response to the Leeds City Centre Conservation Area.



Eden Square student residences, Coventry.

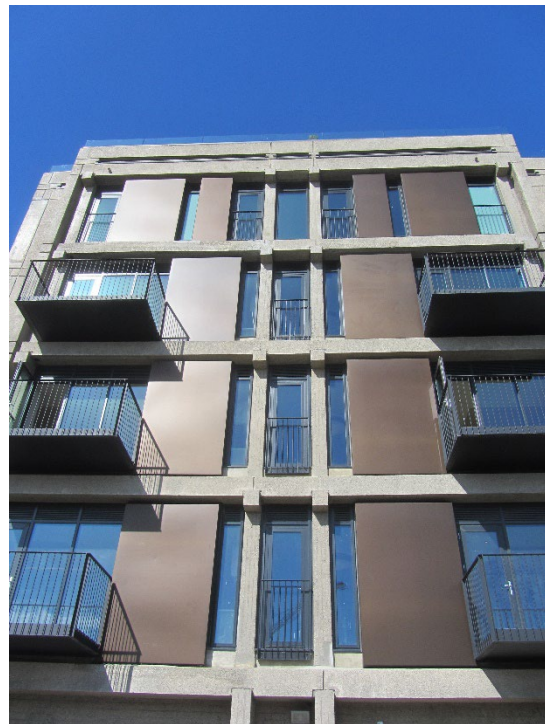
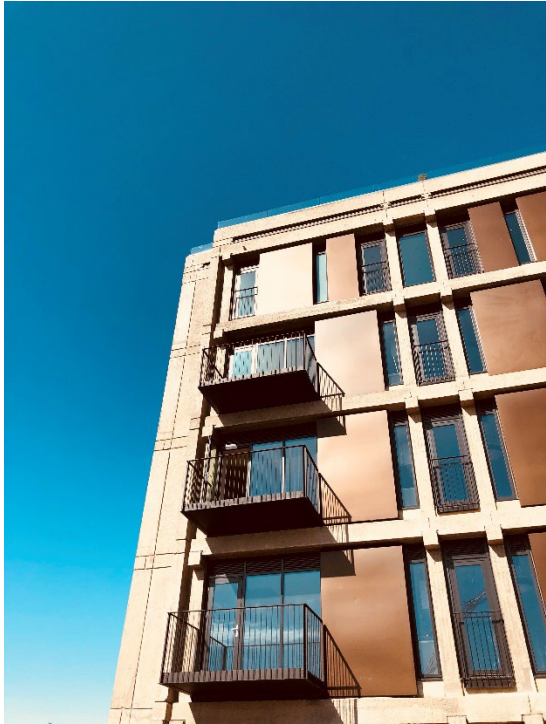
At Eden Square in Coventry, we developed proposals for the restoration of the two grade II listed buildings.

The site includes a former outpatients' clinic (1909) and nurses' home (1906) for Coventry and Warwickshire Hospital built to a design by Alfred Hessel Tiltman (1854-1910) and Herbert William Chattaway (1855-1940).

Again, the windows appear recessed against the stone and brickwork façade.

Here the window colour also tied the overall building aesthetic together with the upper storey architecture.

Finally, Stonebow House lies within the Aldwark Conservation Area at a key gateway into the city of York and was originally built in 1965. The overriding objective of the design approach was to work sympathetically with the existing building to emphasise the original solid and dependable structural aesthetic and restrained materials palette. The tower has been transformed for residential use and lower levels refurbished to incorporate a gym, shops and cafes.



Stonebow House, York.

The recessed dark grey windows and ventilation grills help emphasise a very elegant “brutalist” precast and insitu concrete frame.

6.0 Conclusion

The overriding objective of the Field House project is to promote and support the Dewsbury Heritage Action Zone (HAZ) intention to “unleash the power in England’s historic environment to create economic growth and improve the quality of life in villages, towns and cities”.

The project recognises that Dewsbury’s Town Centre Conservation Area is at risk due to lack of investment, maintenance and neglect and aims to:

- improve the condition, appearance and sustainability of a key building within the Dewsbury Town Conservation Area,
- support the living town concept and the introduction of new activity,
- support the development of a new heritage home ownership model with Historic England and
- improve public spaces within the town centre and connectivity between them.

To achieve these objectives considerable effort has gone into the design development of Field House leading to planning consents and a successful tender process with a main contractor now appointed.

The viability of the project has always been reliant on grant assistance to bridge the gap between the sales values and costs of refurbishment.

Woodhall Planning and Conservation consider “the architectural interest of the building primarily relates to its external appearance and in particular the stone detailing. The timber windows vary in design and age and the opening mechanism of several windows has been altered. In view of the degree of alteration and replacement, whilst their overall design and appearance contributes to the appearance of the building, the actual windows are of limited interest.

Trevor Mitchell of Historic England comments on the proposals as follows: *“it recognises the key components of significance (the weighty stone façade with its well-proportioned detail, and the overall harmony of the group of warehouse/offices facing the station) and respects and emphasises them. The proportions of the rooftop extension work well and the mansard helps it gel with the building.*

We would be pleased to see this approach developed as a solution to bring the block into full use and to mark the stirrings of regeneration in the town”.

The main contractor, YMG Contracting, and their chosen specialist window suppliers, Collins and Hall are both of the opinion that “they do not believe restoration to be a viable option, the cost alone would be far more than a full replacement. On top of that the old timber has been open to the elements for some time so we cannot guarantee the window against decay”.

Therefore, the proposal is to replicate and replace the existing windows and this report is intended to support this refurbishment strategy and allow the Council to discharge the relevant planning conditions.



Appendix I

DLA Architecture Drawing 2018-051/0209 A – Schedule of Retained Items

General Notes:

This drawing is to be read for 'Thermal Extents Plans' purposes only.
 This drawing is to be read in conjunction with the following DLA Architecture drawings:
 2018-051 / 0201 - 0207 inclusive for 'Existing Floor Plans'
 2018-051 / 0211 - 0217 inclusive for 'Demolition Floor Plans'
 2018-051 / 0221 - 0227 inclusive for 'Proposed Floor Plans'
 2018-051 / 0230 for 'Existing GA Sections'
 2018-051 / 0231 for 'Proposed GA Sections'
 2018-051 / 0240 for 'Existing Elevations'
 2018-051 / 0241 for 'Demolition Elevations'
 2018-051 / 0242 for 'Proposed Elevations'
 2018-051 / 0321 - 0327 for 'Internal Wall Type Plans'
 2018-051 / 0328 for 'Internal Wall Type Details'

This drawing is to be read in conjunction with all relevant Fire Strategy information.

This drawing is to be read in conjunction with all relevant Structural Engineers detail drawings and specifications.

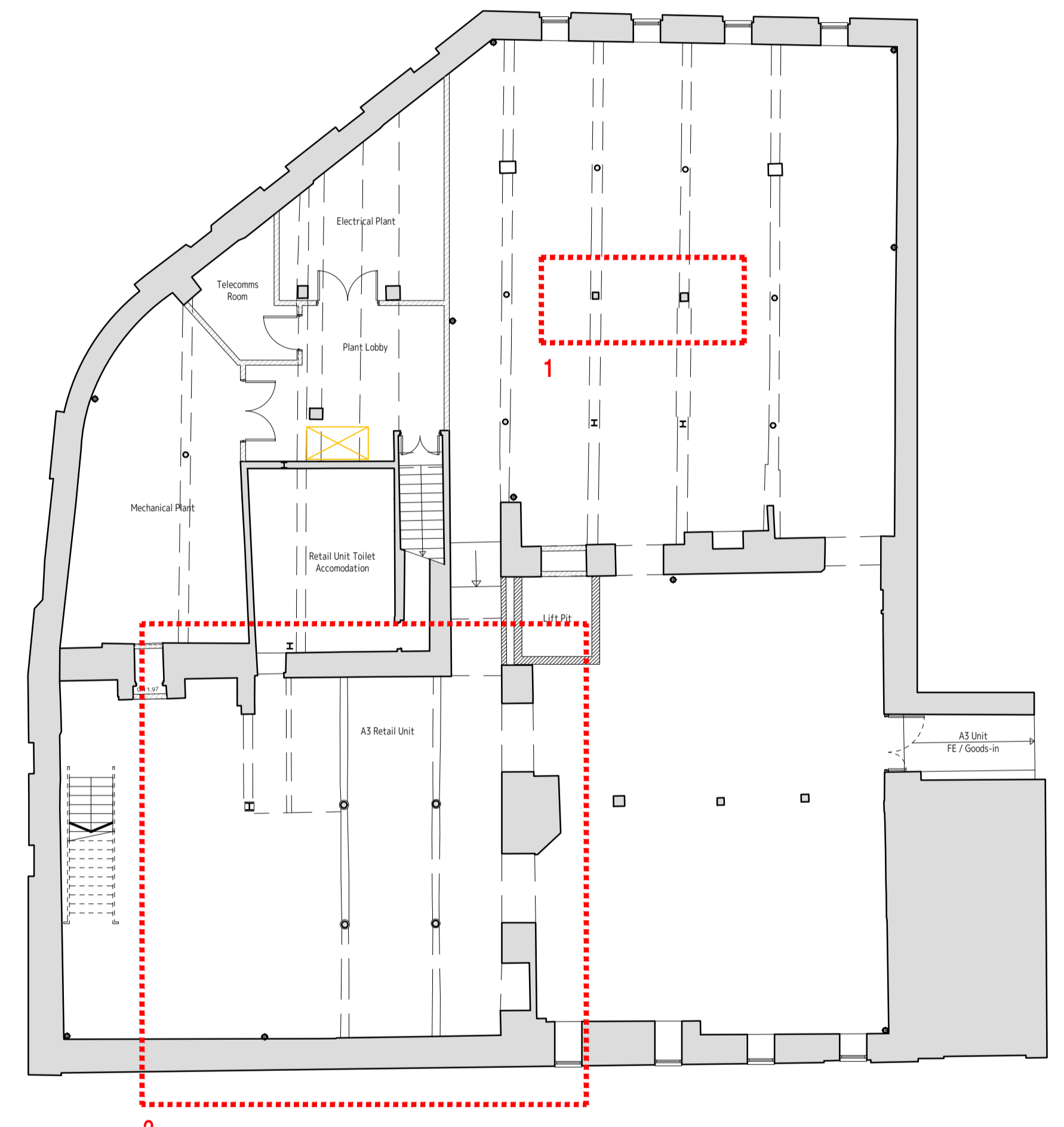
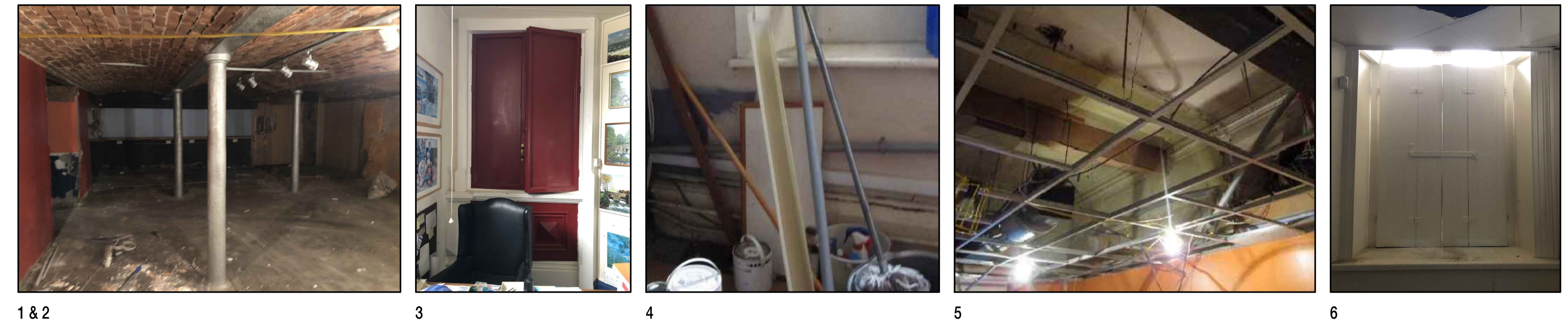
This drawing is to be read in conjunction with all relevant Mechanical & Electrical Engineers detail design drawings and specifications.

All dimensions, levels and details relating to existing construction to be verified on site and any discrepancies reported to the Architect.

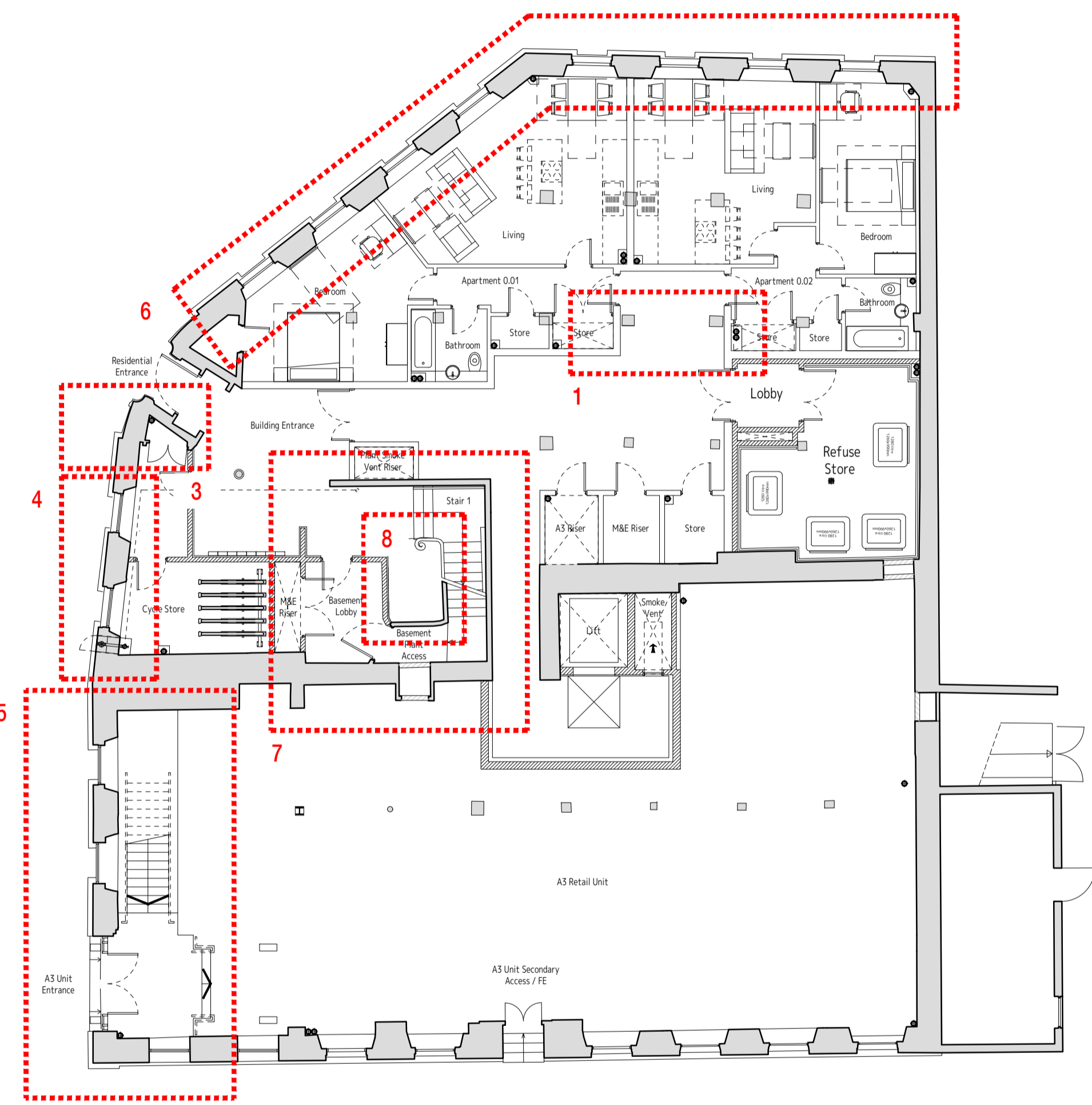
Notes:

This drawing shows items identified in the Woodhall Heritage statement 4013/1 August as being architectural significant and contribution towards the grade 2 listed building status of Field House. It should be noted that the above Heritage Statement was included in the submitted documents pertaining to the planning / listed building approval. The items identified are therefore noted under the approval, nor as conditions.

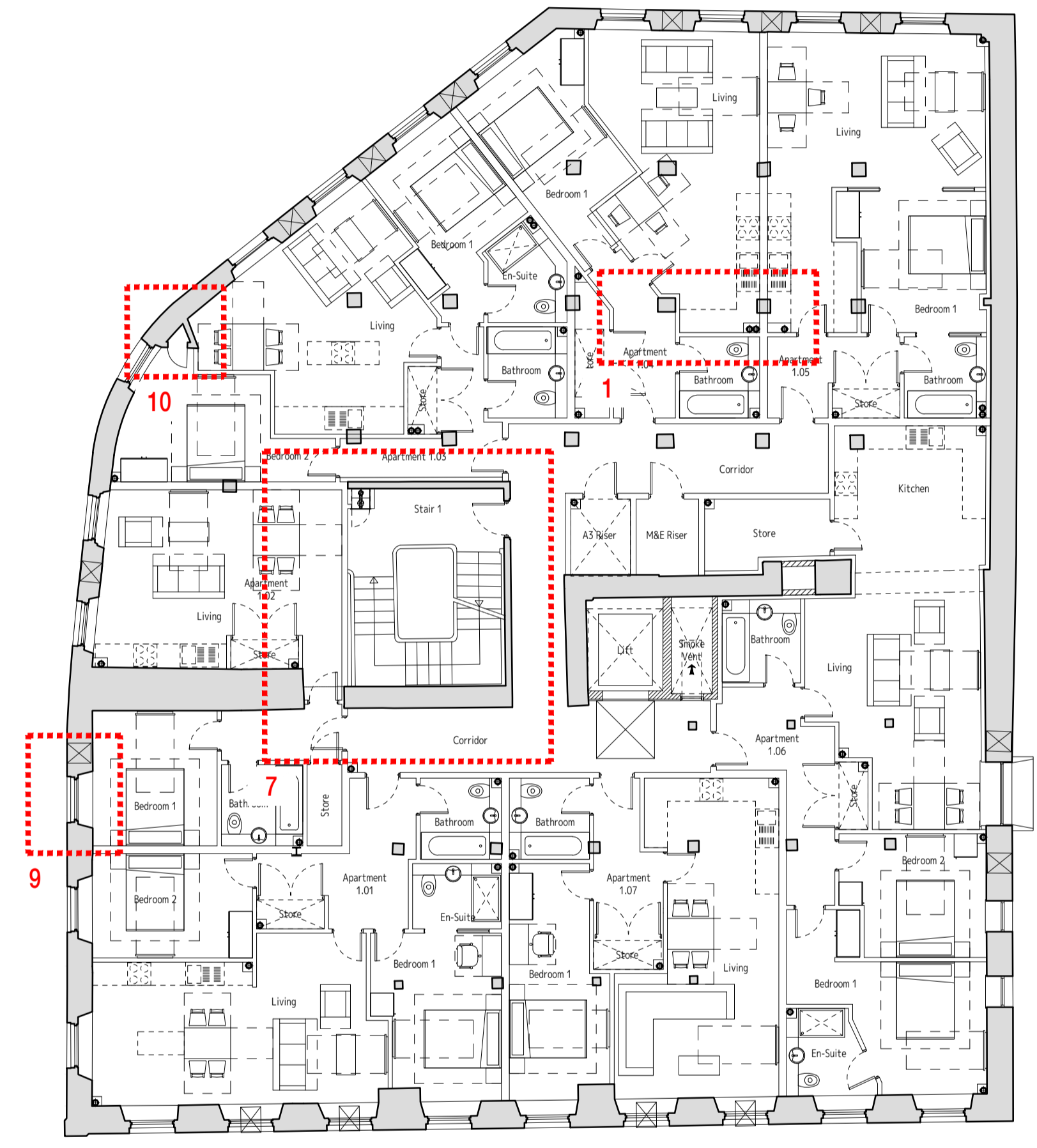
- List of features below, refer to the photos contained on the drawing.
- Existing cast iron columns to have linings removed. Repair as required and treat with an on site intumescent spray applied coating to provide the required fire resistance. Please note that not all columns have been identified on this drawing.
 - Brick Jack arches within the basement in number of which have been reconstructed are to be retained and repaired to specialist advice as required.
 - Existing cupboard within the caretakers office at Ground Floor has an ornate surround which is to be repaired and redecorated as required.
 - Deep timber skirting within the caretakers office is to be retained, repaired and re-decorated as required.
 - Moulded plaster cornice to the underside of existing floor is to be carefully removed, stored, repaired and re-instated after the installation of the new floors.
 - Shutters and window linings to the Ground Floor windows onto Wellington Street & Bond Street. Retain in place where possible, or remove and safely store as required, prior to the repair, reinstatement and decoration as required.
 - The timber handrails and balustrades to the central stair are to be removed and replaced for health and safety reasons, all to match the existing profile / design.
 - Existing timber panelling to the well side of the existing central staircase is to be repaired and decorated as required.
 - Moulded Architrave to First Floor window onto Wellington Street. Retain in place where possible, or remove and safely store as required, prior to the repair, reinstatement and decoration as required.
 - Moulded Architrave and plinth block to First Floor cupboard, to be retained, repaired and re-decorated necessary.



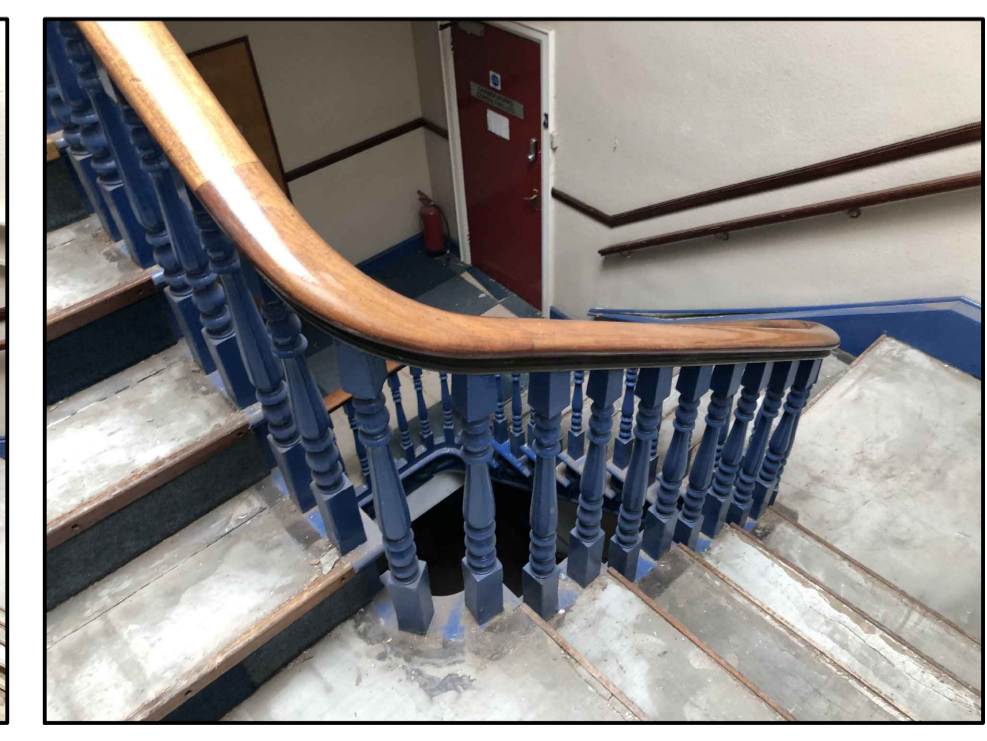
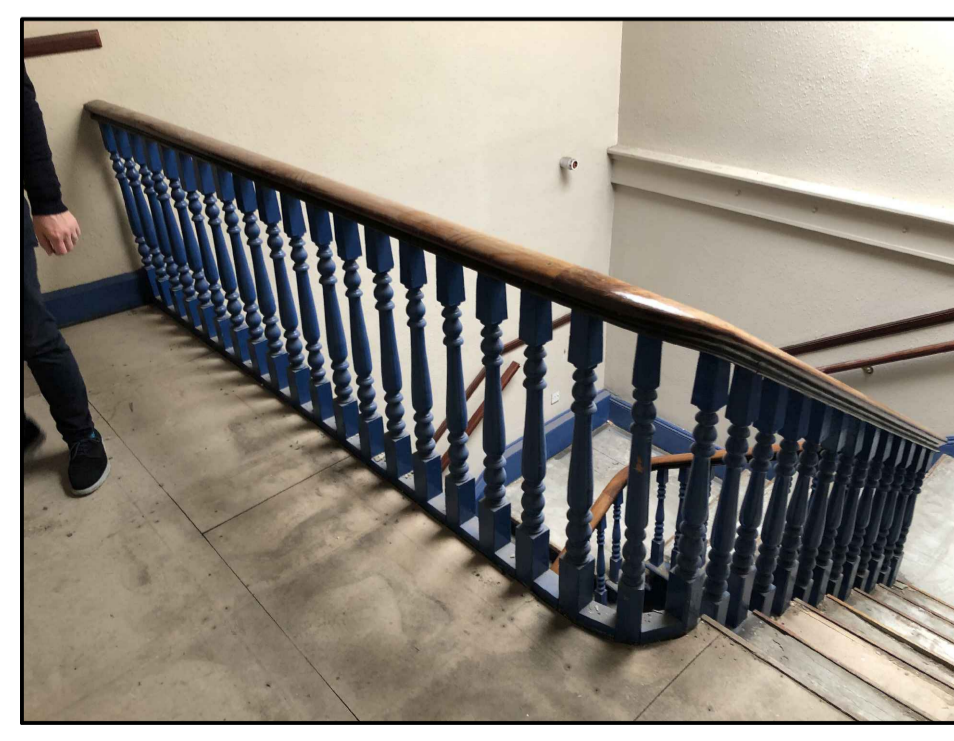
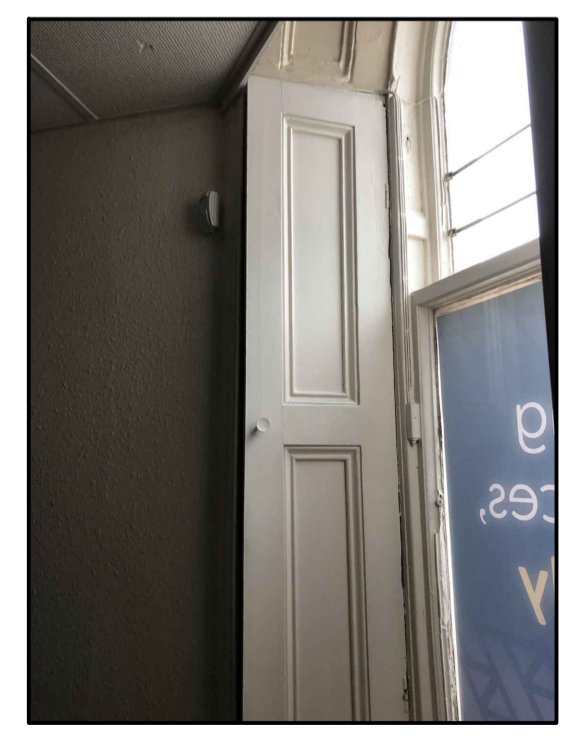
B1 Proposed Basement Floor Plan
Scale: 1:100



00 Proposed Ground Floor Plan
Scale: 1:100



01 Proposed First Floor Plan
Scale: 1:100



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Note: Information shown on this drawing is taken from Tower Geomatics Survey data TG-190114/201 to 208, June 2019. Refer to their original information for description of items.

Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour



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PROJECT
FIELD HOUSE
 15 WELLINGTON ROAD, DEWSBURY

TITLE
SCHEDULE OF RETAINED ITEMS

SCALE	DATE
1:125 @A1	10/09/21

DRAWN	REVIEWED
IJ	ML

DLA REF	NUMBER	REVISION
2018-051	0209	A

STATUS
TENDER
 T:\2018\2018-051\CAD\05-AUTOCAD\DWGS\0209



Appendix II

DLA Architecture Drawing 2018-051/0241 C – Demolition Elevations

General Notes:

This drawing is to be read for 'Demolition Elevations' purposes only.
 This drawing is to be read in conjunction with the following DLA Architecture drawings:
 2018-051 / 0201 - 0207 inclusive for 'Existing Floor Plans'
 2018-051 / 0211 - 0217 inclusive for 'Demolition Floor Plans'
 2018-051 / 0221 - 0227 inclusive for 'Proposed Floor Plans'
 2018-051 / 0250 for 'Existing GA Sections'
 2018-051 / 0251 for 'Proposed GA Sections'
 2018-051 / 0240 for 'Existing Elevations'
 2018-051 / 0242 for 'Proposed Elevations'
 This drawing is to be read in conjunction with all relevant Fire Strategy information.
 This drawing is to be read in conjunction with all relevant Structural Engineers detail design drawings and specifications.
 This drawing is to be read in conjunction with all relevant Mechanical & Electrical Engineers detail design drawings and specifications.
 All dimensions, levels and details relating to existing construction to be verified on site and any discrepancies reported to the Architect.

Carefully remove all existing windows and make good openings where necessary (UNO). Provide and install new double-glazed timber windows, refer to DLA Architecture drawing 2018-051 / 0700 for details / spec.



1 Elevation 1
Scale: 1:100

Form openings in external wall for new ppc aluminium louvers, complete with associated structural support, closers, flashings, etc.



2 Elevation 2
Scale: 1:100

Carefully remove existing doorsets and make good openings where necessary. Provide and install new glazed entrance (with copper-clad canopy feature), refer to DLA Architecture drawing 2018-051 / 0303 for details / spec.

Carefully remove existing windows, break out stone panels below and make good openings where necessary. Provide and install new structural glazing system, refer to DLA Architecture drawing 2018-051 / 0700 for details / spec.

Carefully remove existing windows, break out stone panels below and make good openings where necessary. Provide and install new structural glazing system, refer to DLA Architecture drawing 2018-051 / 0700 for details / spec.

Carefully remove existing doorsets / canopy and make good openings where necessary. Provide and install new glazed entrance (with copper-clad canopy feature), refer to DLA Architecture drawing 2018-051 / 0304 for details / spec.

INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE COPYRIGHT OF DLA ARCHITECTURE LTD AND IS NOT TO BE REPRODUCED WITHOUT PERMISSION

DO NOT SCALE, REFER TO FIGURED DIMENSIONS ONLY

REVISIONS

REVISIONS	DATE	BY	CHKD
A	27/08/21	JH	ML
B	10/09/21	JH	ML
C	14/07/22	IJ	ML

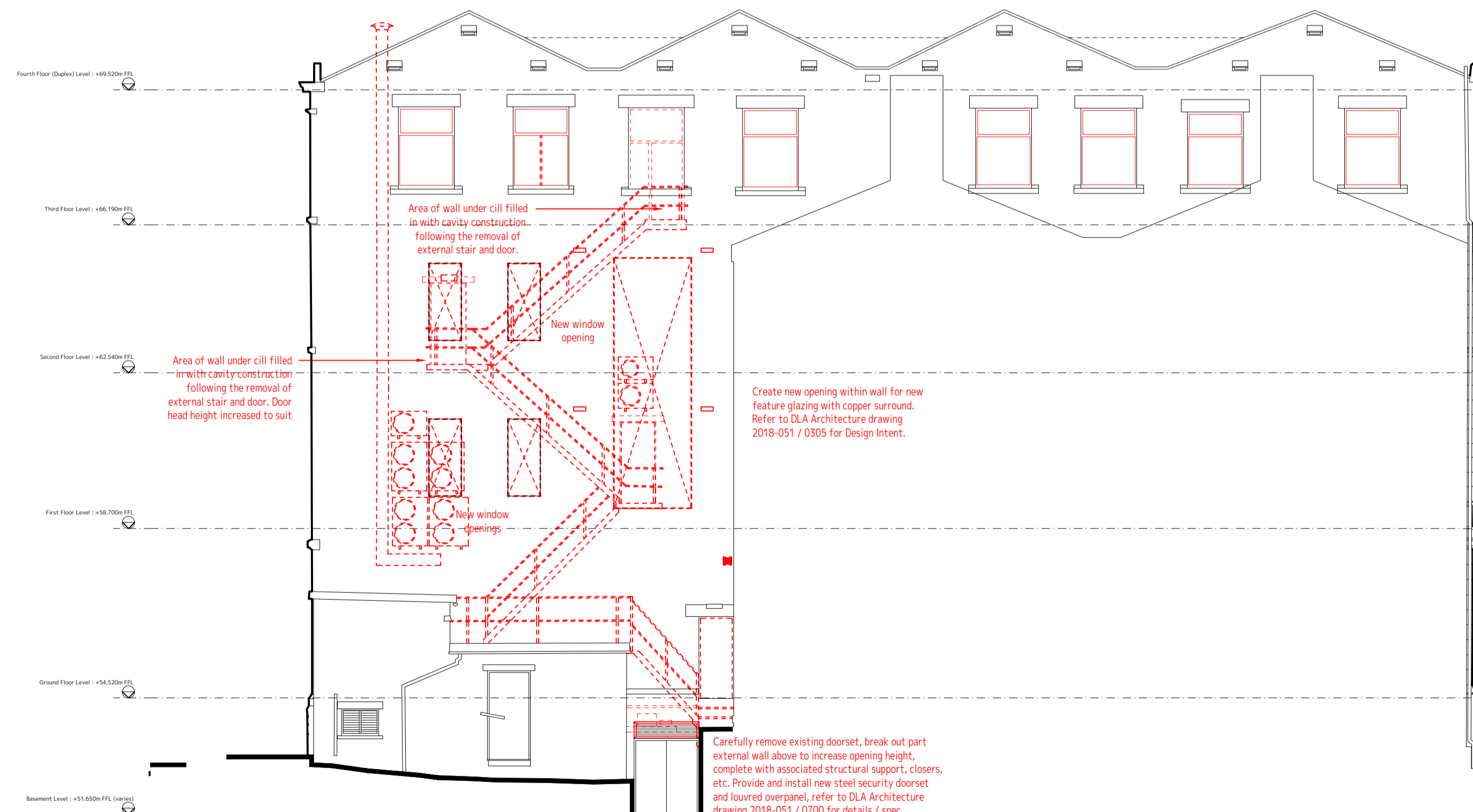
UPDATE TO CORRECT PLOTTING ERROR - NO CHANGES.



3 Elevation 3
Scale: 1:100

Carefully break out existing wall and install new windows in formed openings, refer to DLA Architecture drawing 2018-051 / 0700 for details / spec.

Form openings in external wall for new ppc aluminium louvers, complete with associated structural support, closers, flashings, etc.



4 Elevation 4
Scale: 1:100

Area of wall under cill filled in with cavity construction following the removal of external stair and door. Door head height increased to suit

Area of wall under cill filled in with cavity construction following the removal of external stair and door.

Create new opening within wall for new feature glazing with copper surround. Refer to DLA Architecture drawing 2018-051 / 0305 for Design Intent.

Carefully remove existing doorset, break out part external wall above to increase opening height, complete with associated structural support, closers, etc. Provide and install new steel security doorset and louvered overpanel, refer to DLA Architecture drawing 2018-051 / 0700 for details / spec.



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PROJECT
FIELD HOUSE
15 WELLINGTON ROAD, DEWSBURY

TITLE
DEMOLITION ELEVATIONS

SCALE
1:100 @A1

DATE
28/07/19

DRAWN
DK

REVIEWED
JO

DLA REF NUMBER REVISION
2018-051 0241 C

STATUS
TENDER
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Note: This is a colour drawing, in order to ensure any subsequent reproduction is viewed correctly it is to be re-printed in full colour

Note: Information shown on this drawing is taken from Tower Geomatics Survey data TG-190114/201 to 208, June 2019. Refer to their original information for description of items.





Appendix III

Collins & Hall Window Report

Site Report

Field House Dewsbury
Timber windows.

04 February 2024
Our ref: CH1898

Dear Stephen

Having visited Field house on Wednesday 31st January to inspect the timber windows for either restoration or replacement, my thoughts are as follows:

Restoration.

The condition of the timber is very poor due to the neglect of regular maintenance. The paint finish which would usually protect the timber from the elements has cracked and is peeling away allowing the weather to set in, due to this there are signs of decay. The exposed wood if not decaying is cracking and or is heavily weathered giving an uneven surface. Some of the windows are in better condition than others.

Collins and Hall have restored several sliding sash windows in the past, we have found the process to be very labour intensive, more so than making new. most windows have decay or defects in the timber so require new timber to be spliced in. This creates another issue for the future. The new timber reacts differently to the old timber, so they move at different rates causing the joints to crack. This means the maintenance cycles of the repair would be 12-18 monthly. The Glues used in the original window assembly would be animal glues, these are very brittle and crack over time so working on the frames to accept double glazed units, the sashes quiet often come apart and Joints are full of filler from past redecoration. In order to repaint, the old lead paint would have to be stripped back. This means dipping the frames, this process also breaks down the animal glues.

Another thing to consider is the maintenance cycles, The windows are pitch pine so the movement of the timber is around 8% giving a maintenance cycle of 2-5 years. Any repairs would me more frequent.

Given the size of the building the maintenance cost per cycle would be astronomical.

The restoration of the windows alone would be very labour intensive, the cost would be difficult to quantify, and I would expect many of the windows would have to be re made.

Restored windows would not achieve the thermal values required.

Given all the points above I do not believe restoration to be a viable option, the cost alone would be far more than a full replacement. On top of that the old timber has been open to the elements for some time so we cannot guarantee the window against decay.

Full Replacement.

Collins and Hall can replicate the existing windows, matching the sash horns. Including hidden gaskets and double-glazed units we can guarantee a fully functional window that replicates the old and is low maintenance for many years. We can also achieve the thermal specification.

I would recommend Using Accoya wood as its 100% sustainable Radiata Pine. It's Extremely Low maintenance, guaranteed not to rot for 50 years and very stable with movement around 1%. This means a re-paint cycle of approx. 10 years, Some elevations may go longer.

Perfect for longevity of windows to Field House.

Please visit the link below for more info

<https://www.accoya.com/>

I have attached drawings of the proposed new windows.

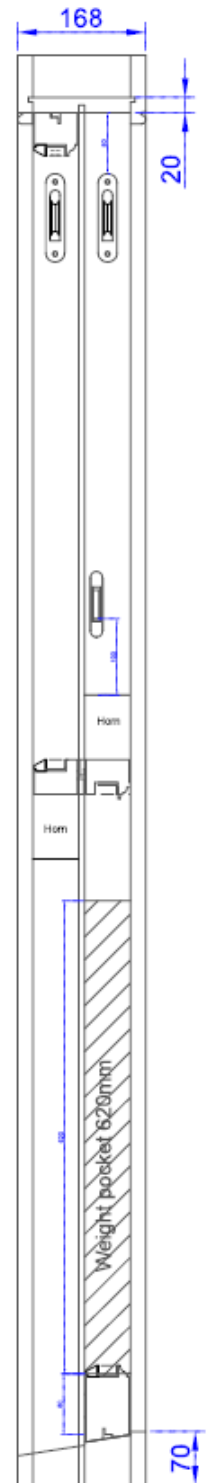
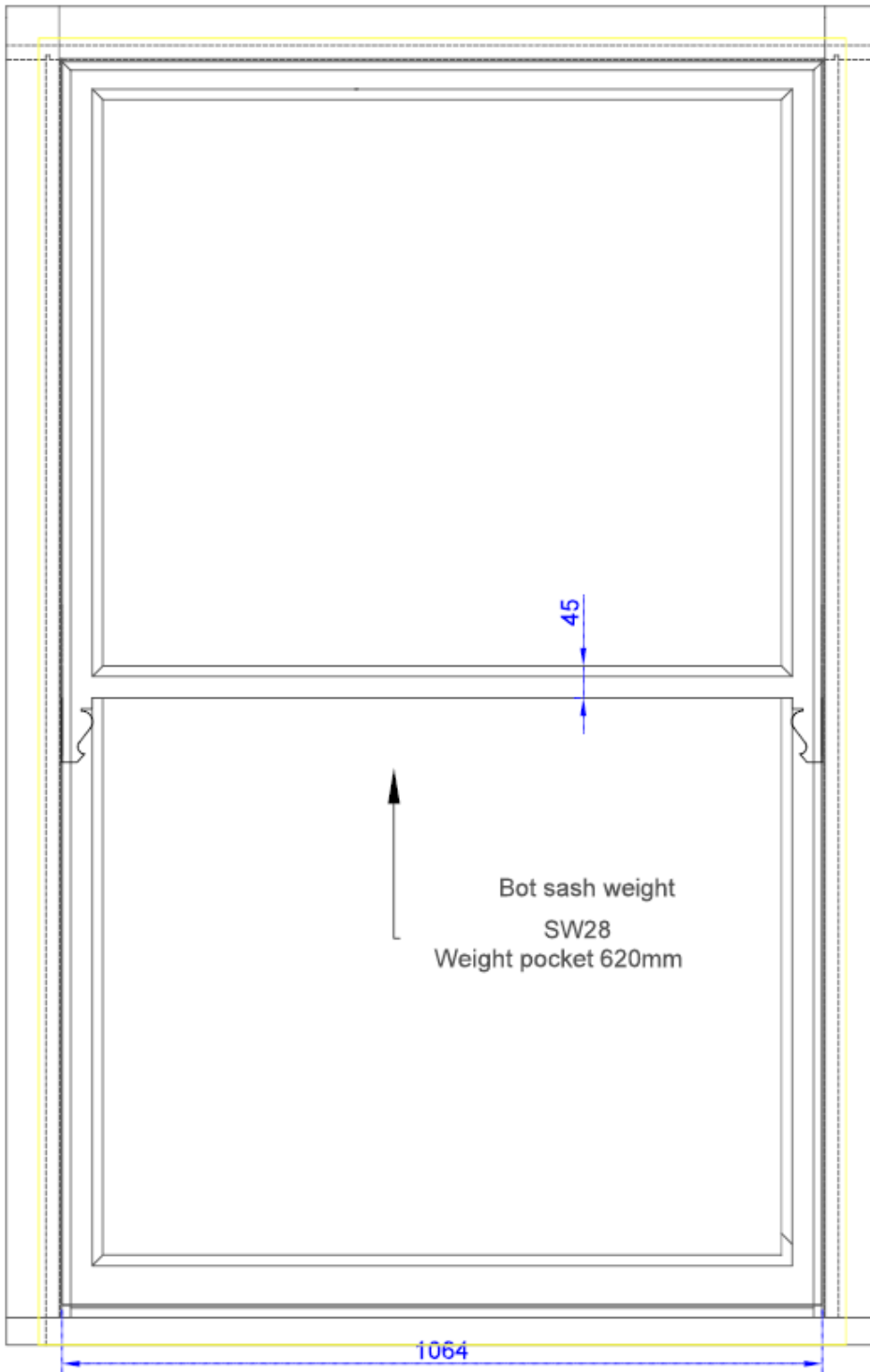
With all the best will in the world a restored timber sliding sash window would not perform anywhere near the standards of a new replica with modern day seals and glazing. With such low maintenance cycles full replacement would save money in the long term and stand the test of time for many more years.

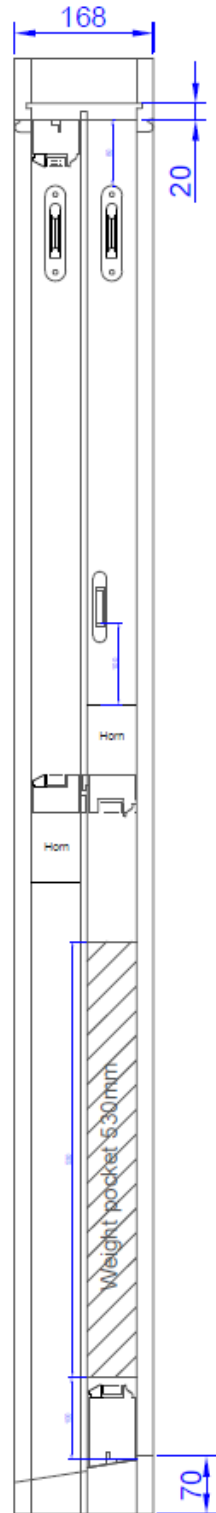
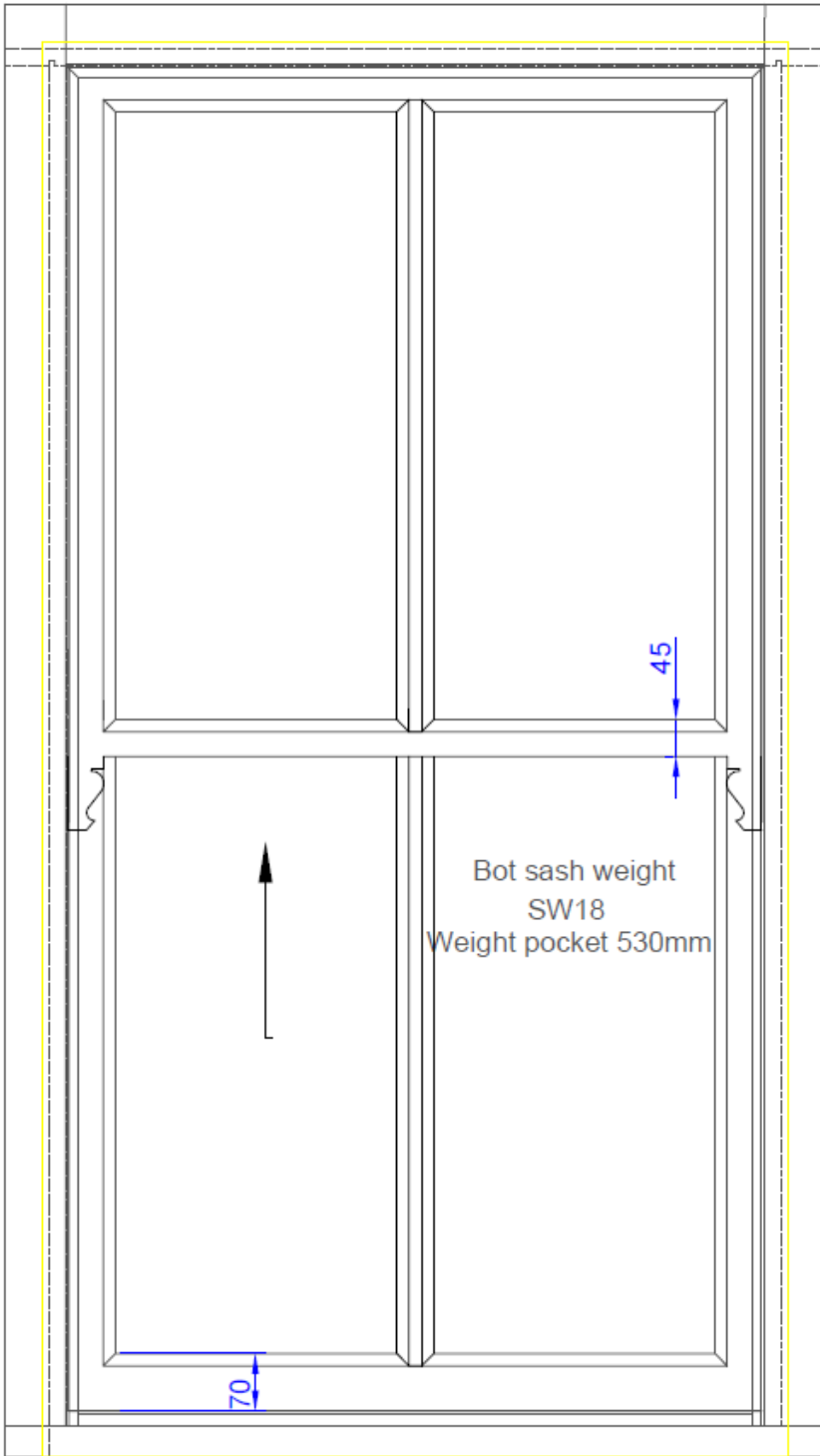
Kind regards
Tom Collins

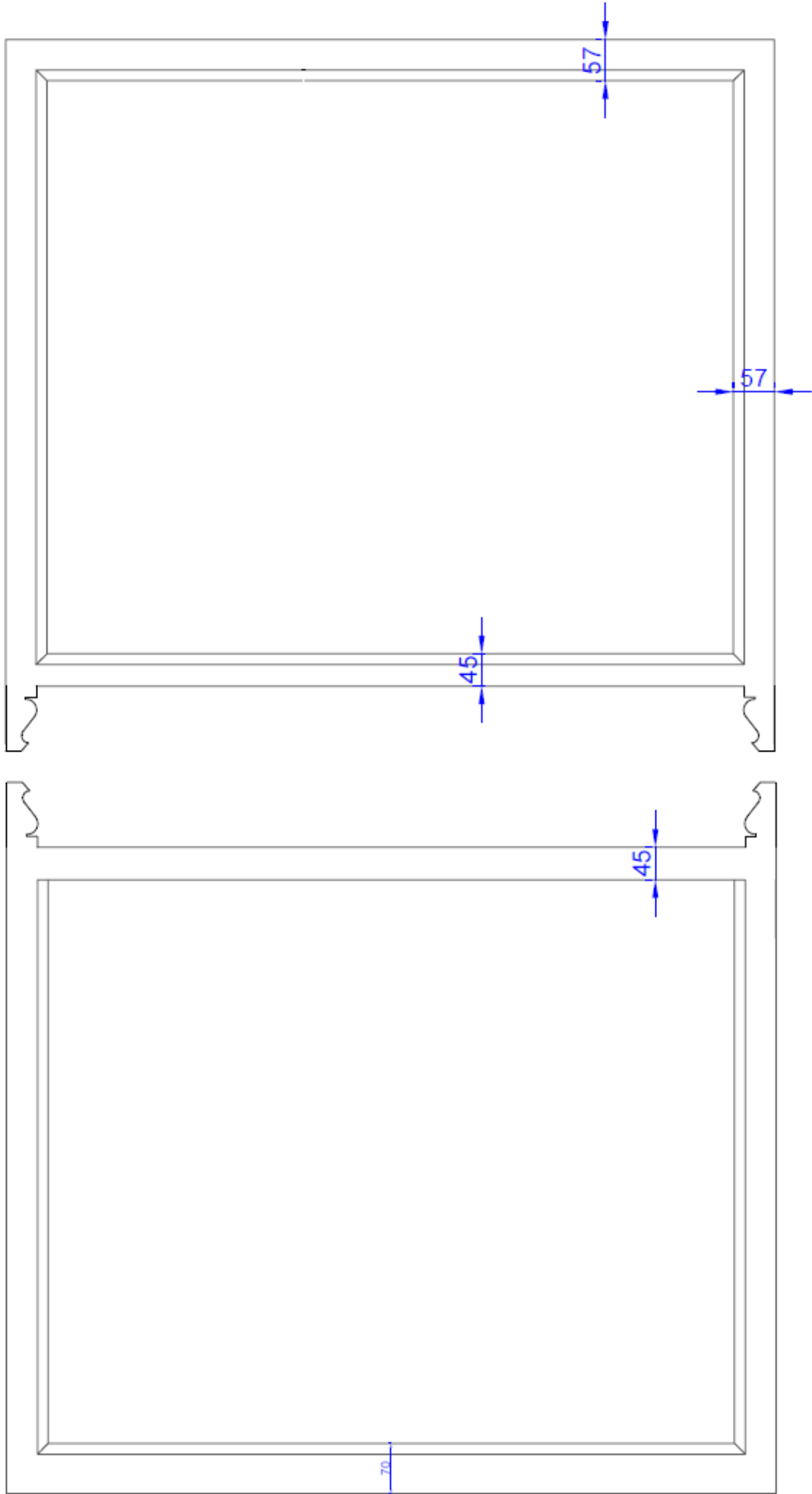


Appendix IV

Collins & Hall Window Detail Drawings









Appendix V

DLA Architecture NBS Specification - L10 – Windows, Rooflights, Screens & Louvres



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2018-051

Field House, Dewsbury

NBS SPECIFICATION

L10: WINDOWS/ ROOFLIGHTS/ SCREENS/ LOUVRES

FOR TENDER

Document No:	2018-051/ NBS_L10
Revision:	-
Issue Date:	10/09/21
Prepared:	IJ
Reviewed:	ML

Offices also at :
London : 0207 553 3030
Manchester : 0161 834 4550

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RIBA 
RIBA Chartered Practice

Revision Record				
	Date	Revision	Prepared	Reviewed
-	10/09/21	Preliminary issue for Tender.	IJ	ML

L10

Windows/ rooflights/ screens/ louvres

General

10 B Information To Be Provided With Tender

1. Submit the following **window** particulars:
 - Evidence of compliance: All windows to be CE marked to BS EN 13830:2003. Submit Declaration of Performance (DoP).
 - Typical plan, section and elevation drawings at suitable scales.
 - Typical detailed drawings at large scales, including full size head, cill and jamb sections with EPDM membranes.
 - Technical information and certification demonstrating compliance with specification of proposed incorporated products and finishes, including double glazed units, fixed / opening lights and louvres.
 - Certification, reports and calculations demonstrating compliance with specification of proposed windows.
 - Proposals for connections to and support from the building structure and building components.
 - Proposals for amendments to primary supporting structure and for secondary supporting structure additional to that shown on preliminary design drawings.
 - Schedule of builder's work, special provisions and special attendance by others.
 - Examples of standard documentation from which project quality plan will be prepared.
 - Preliminary fabrication and installation method statements and programme.
 - Schedule of products and finishes with a design life expectancy less than that specified in Clause 36, with proposals for frequencies and methods of replacement.
 - Proposals for replacing damaged or failed products.
 - Areas of non-compliance with specification.

11 Suitability Of Described Products And Clauses

1. Systems, fixing methods and types of accessories described in this document must all be suitable for the buildings location, usage and desired life spans. Any discrepancies in this specification that contradicts the stated requirements (such as fixings not providing the required lifespans) are to be highlighted to the design team at the time of tender

25 Local Authority Planning

1. The scheme has been granted Planning Approval and Listed Building Consent (with Conditions to discharge) on the basis of generic material descriptions on the submitted information. Notwithstanding this fact, there will be an obligation to seek written approval from the Authority on actual product samples of the facing materials as finally selected. This process needs to be accounted for in the main contractor's overall programme for the work.

26 Building Control Authority Approval

1. The scheme has not currently been approved by Building Regulations and as such the following specifications may be subject to comment / change to suit the regulatory body.

27 Alternative Products

1. The contractor may comply with the products specified below as prescriptive specifications in which case every aspect of the specifications shall be adhered to as stated. Alternatively, the contractor may treat the specifications as example specifications for the manufacturer and type of elements only which matches the performance criteria required. If they elect to do so then it shall be their responsibility to ensure that the performance of any alternative element proposed by them matches the performance of that specified. Adequate evidence shall be provided to the contract administrator directly comparing the performance of any alternative with that specified. If the Contractor proposes an alternate product, as deemed under the CDM Regulations 2015, they accept the design liability for this proposal.

28 A Workpackage Content

1. The solution for procurement of this section of the NBS specification is that it is part of the entire External Glazing Package let to a single contractor with responsibility for completion of the design, coordination, manufacture and installation of the various specified elements including all interfaces between the various products. Their responsibility extends to the achievement of the specified U values, air leakage rates and glass specifications including the provision of a thermal stress analysis for each glazing type taking into account orientation / build-up / backing (curtains / blinds). It is imperative that the sub-contractor has experience of this type of project and the level of quality required.

36 Design Life

1. Sub-Contractors with design responsibilities are to satisfy themselves that all individual component parts (fixings, sealants and other ancillary components) forming part of material elements within their workpackages meet with the design life requirements stated below, subject to appropriate ongoing building maintenance, the minimum design life for major elements of the Development will be as follows; Notwithstanding the above, any anomalies found within the following specifications clauses with regard to design life requirements to be notified back to the Architect.
2. Window walling, windows, gaskets, patio doors and external doors, grilles and louvres will have a design life of 25 years.

39 B Client / End User Sign Off

1. It is imperative that the Client / End User signs off the specification of all windows to ensure that the window is suitable / agree the operation of each window type. Samples of each window type are to be supplied for sign off prior to ordering of products and agreement of ironmongery / operation of windows to be agreed.

110 Evidence of performance

1. **Certification:** Provide independently certified evidence that all incorporated components comply with specified performance requirements.

115 Timber procurement

1. **Timber (including timber for wood based products):** Obtained from well managed forests and/ or plantations in accordance with:
 - 1.1. The laws governing forest management in the producer country or countries.
 - 1.2. International agreements such as the Convention on International Trade in Endangered Species of wild fauna and flora (CITES).
2. **Documentation:** Provide either:
 - 2.1. Documentary evidence (which has been or can be independently verified) regarding the provenance of all timber supplied.
 - 2.2. Evidence that suppliers have adopted and are implementing a formal environmental purchasing policy for timber and wood-based products.
3. **Certification scheme:** Forest Stewardship Council (FSC), Grown in Britain (GiB) or Programme for the Endorsement of Forest Certification (PEFC)

120 Preconstruction survey

1. **Procedure:** Before starting work on designated items take site dimensions, record on shop drawings and use to ensure accurate fabrication.
2. **Designated items:** All
3. **Primary support structure:** Carry out survey sufficient to verify that required accuracy and security of erection can be achieved.
4. **Timing:** Before fabrication.

140 Control samples

1. **Procedure**
 - 1.1. Finalize component details.
 - 1.2. Fabricate one of each of the following designated items as part of the quantity required for the project.
 - 1.3. Obtain approval of appearance and quality before proceeding with manufacturer of the remaining quantity.
2. **Designated items:** All

160 Potential for natural ventilation

1. **Submit design plan and elevation drawings, and calculations confirming the following:** Gross internal floor area of each occupied space
Locations of openings
Types of windows/ ventilators and total openable areas
Types and degree of user-controls

Products

210A Wood windows

1. General: Timber windows - sliding sash
2. Standard: Non-fire rated window to BS EN 14351-1 and BS 644
3. Manufacturer: George Barnsdale & Sons Ltd
High Street, Donington, PE11 4TA
Tel: 01775 823 000
Email: enquiries@georgebarnsdale.co.uk
 - 3.1. Product reference: Traditional Sliding Sash Window
4. Certification: Quality: EN ISO 9001: 2015
Environmental: EN ISO 14001: 2015
Health & Safety: EN ISO 45001: 2018
5. Timber: Generally to BS EN 942: 2007
 - 5.1. Species: Manufacturer's standard
 - 5.2. Appearance class: All visible surfaces to be J2 class
 - 5.3. Durability: Timber should meet durability class 3 as a minimum, as defined in BS EN 350-2: 1994, or be treated with a preservative that meets the requirements given in table 3a or 3b of BS EN 599-1: 2009 + A1: 2013
 - 5.4. Moisture content on delivery: 10-16%
 - 5.5. Certification: FSC chain of custody
6. Finish as delivered: Manufacturer's full paint system, colour: RAL 7021 (Black Grey) in accordance with BS EN 927-1 as appropriate for the intended use, appearance and exposure
7. Operation: Generally to BS 6375-2: 2009
Bottom pane sliding sash, top pane fixed
8. Thermal performance (U-value maximum): 1.6 W/m²K in accordance with Part L1b of the Building Regulations and as indicated on DLA Architecture drawing 2018-051 / 0280 Thermal Extents Plan
9. Acoustic performance rating: Tested to BS EN ISO 717-1

In accordance with Acoustician's requirements and as indicated on DLA Architecture drawing 2018-051 / 0281
10. Weather performance: Tested to BS 6375-1 for air permeability, water-tightness and wind resistance
11. Security: Generally to BS 6375-3: 2009
PAS 24 to ground floor windows
12. Loading: Glazing to achieve 'safe breakage' (where applicable) according with Building Regulations Approved Document K - Part K4 'Protection against impact with glazing' Section 5.

Glazing (where applicable) to accord with barrier loading requirements as stipulated in BS 6180:2011 Table 2 'Minimum horizontal imposed loads for parapets, barrier and balustrades'. Reference to be made to DLA Architecture drawing 2018-051 / 0282 for Guarding / Loading Plans.
13. Glazing details: Double-glazed units as NBS section L40 to specialist glazing sub-contractor design
 - 13.1. Beading: Manufacturer's standard
14. Ironmongery/ Accessories: Sash pull / fastener / stop / eye / pulley (as required), finish TBC by Client, subject to sample approval
15. Fixing: As per the George Barnsdale install manual
16. Other requirements: All units to be CE marked in accordance with BS EN 1279-5

Carefully remove all existing windows and make good openings where necessary (UNO). Provide and install new double-glazed timber windows, refer to DLA Architecture drawing 2018-051 / 0700 for Window Schedule.

Make allowance for site measure of existing windows, in order to match new window profile and features to existing where possible (e.g. sash horns, etc.)

All to specialist sub-contractor design

210B Wood windows

1. General: Timber windows - pivot
2. Standard: Non-fire rated window to BS EN 14351-1 and BS 644

L10

Windows/ rooflights/ screens/ louvres

3. **Manufacturer:** George Barnsdale & Sons Ltd
High Street, Donington, PE11 4TA
Tel: 01775 823 000
Email: enquiries@georgebarnsdale.co.uk
 - 3.1. **Product reference:** Traditional Pivot Window
(Sash modified for top pane pivot opening, bottom pane fixed with moulded sash horns, to match appearance elsewhere)
4. **Certification:** Quality: EN ISO 9001: 2015
Environmental: EN ISO 14001: 2015
Health & Safety: EN ISO 45001: 2018
5. **Timber:** Generally to BS EN 942: 2007
 - 5.1. **Species:** Manufacturer's standard
 - 5.2. **Appearance class:** All visible surfaces to be J2 class
 - 5.3. **Durability:** Timber should meet durability class 3 as a minimum, as defined in BS EN 350-2: 1994, or be treated with a preservative that meets the requirements given in table 3a or 3b of BS EN 599-1: 2009 + A1: 2013
 - 5.4. **Moisture content on delivery:** 10-16%
 - 5.5. **Certification:** FSC chain of custody
6. **Finish as delivered:** Manufacturer's full paint system, colour: RAL 7021 (Black Grey) in accordance with BS EN 927-1 as appropriate for the intended use, appearance and exposure
7. **Operation:** Generally to BS 6375-2: 2009
Bottom pane fixed, top pane pivot opening
(sash look-a-like for consistent appearance)
8. **Thermal performance (U-value maximum):** 1.6 W/m²K in accordance with Part L1b of the Building Regulations and as indicated on DLA Architecture drawing 2018-051 / 0280 Thermal Extents Plan
9. **Acoustic performance rating:** Tested to BS EN ISO 717-1

In accordance with Acoustician's requirements and as indicated on DLA Architecture drawing 2018-051 / 0281

10. **Weather performance:** Tested to BS 6375-1 for air permeability, water-tightness and wind resistance
11. **Security:** Generally to BS 6375-3: 2009
PAS 24 to ground floor windows
12. **Loading:** Glazing to achieve 'safe breakage' (where applicable) according with Building Regulations Approved Document K - Part K4 'Protection against impact with glazing' Section 5.

Glazing (where applicable) to accord with barrier loading requirements as stipulated in BS 6180:2011 Table 2 'Minimum horizontal imposed loads for parapets, barrier and balustrades'. Reference to be made to DLA Architecture drawing 2018-051 / 0282 for Guarding / Loading Plans.

13. **Glazing details:** Double-glazed units as NBS section L40 to specialist glazing sub-contractor design
 - 13.1. **Beading:** Manufacturer's standard
14. **Ironmongery/ Accessories:** Handle, finish TBC by Client, subject to sample approval
15. **Fixing:** As per the George Barnsdale install manual
16. **Other requirements:** All units to be CE marked in accordance with BS EN 1279-5

Carefully remove all existing windows and make good openings where necessary (UNO). Provide and install new double-glazed timber windows, refer to DLA Architecture drawing 2018-051 / 0700 for Window Schedule.

Make allowance for site measure of existing windows, in order to match new window profile and features to existing where possible (e.g. sash horns, etc.)

All to specialist sub-contractor design

330 A Aluminium Windows

1. Windows within curtain wall screens to Types D/H/J/K, Center Pivot / Side Hung / Fixed Pane

Manufacturer: Kawneer UK Ltd. Astmoor Road, Runcorn, Cheshire WA7 1QQ Tel. 01928 502 500 Fax 01928 502 509. Contact: Andrew Pearson 07971 916768 andrew.pearson@arconic.com

Product reference: AA® 720 Casement Window

Finish as delivered: PPC - See colours noted on the DLA elevations. 60 Microns.

- Powder coat finish is to carry a 30-year adhesion warranty. 3rd party application of the powder coat finish will not be accepted – powder coat finish is to be applied and warranted by the systems manufacturer

L10

Windows/ rooflights/ screens/ louvres

Glazing details: Windows to be internally glazed (all beads internal to allow re-glazing from the inside) with EPDM gaskets. External gaskets are to be flush with the top of the rebate. Refer to separate glass specification document for thermal and acoustic requirements.

Ironmongery/ Accessories: Windows are to be fitted with:

- Low level windows to be manual operation – ,
- High level windows to be remote operation - Teleflex gearing (2 location points required for vents over 1200mm wide).

Fixing: The AA® 720 Aluminium Casement Window shall be fabricated and installed in complete accordance with the information published by Kawneer, exclusively by authorised dealers.

- Window is to be a triple chamber system (cleats front and back) to avoid 'bird beaking' at mitred corners.
- Perimeters of all windows to use EPDM secondary seal provided by the Kawneer Approved Dealer
- The Kawneer Approved Dealer is to ensure that when the vent is in the open position the effective clear opening requirement of 100mm is not obstructed by the cill profile.

Performance

- Resistance by wind load - EN 12210, Class AE2400
- Resistance to watertightness - EN 12208 Class 7A - E1200
- Air permeability - EN 12207, Class 3 - 4
- Thermal transmittance - DIN EN ISO 10077
- AA 720HW Uf = 2,1 -2,6 W/m²K
- Burglar resistance PAS24 2012
- Load bearing from safety Equipment - Requirements met
- Stability - according to guidelines
- Operating forces - EN 13115, Class 1
- Durable function - DIN EN 12400, Class 2
- Refer to L40 for full glass specs.
- U-Value requirement for the windows is 1.6W/m²k or less.
- Acoustic Rating: In line with Acoustician's requirements and as indicated on DLA Architecture drawing 2018-051 / 0281

480 Roof windows

1. Standard: To BS EN 14351-1.
2. Manufacturer: Kawneer UK Ltd.
Astmoor Road, Runcorn, Cheshire WA7 1QQ Tel. 01928 502 500 Fax 01928 502 509
 - 2.1. Product reference: AA® 100 Sloped Vent Window System
3. Frame: Aluminium
 - 3.1. Finish: Powder coating as Section Z31
min film thickness 40 microns
colour: RAL 7021 (Black Grey)
4. Thermal performance (U-value maximum): 1.6 W/m²K in accordance with Part L1b of the Building Regulations and as indicated on DLA Architecture drawing 2018-051 / 0280 Thermal Extents Plans
5. Acoustic performance rating: : In accordance with Acoustician's requirements and as indicated on DLA Architecture drawing 2018-051 / 0281
6. Glazing details: Insulating glass units incorporating low emissivity glass
Refer to NBS section L40
All to specialist glazing sub-contractor design
7. Insulating glass units incorporating low emissivity glass
 - 7.1. Beading: Manufacturer's standard
8. Flashings: By window manufacturer to suit Manufacturer's standard.
9. Accessories: Integral blind
Restrictor (max 100mm opening)
Concealed friction stays
Handle
All finishes TBC by Client, subject to sample approval
10. Fixing: The AA® 100 Sloped Vent Window System shall be fabricated and installed in complete accordance with the information published by Kawneer, exclusively by authorised dealers.

L10

Windows/ rooflights/ screens/ louvres

Generally it is recommended that the vents of the slope are shipped to site pre-glazed and pre-fixed with bead frame profiles 678 758 or 678 759. Cover cap 953 642 is also pre-fitted.

Hinges are pre-fitted to vent or frame as part of manufacturing process.

All fabrication and installation of sloped vent operating / locking gear to sloped vent is subject to appraisal by installing dealer and subject to correct application in accordance with operating / locking gear manufacturer's instructions.

11. **Other requirements:** Slope glazed vents are designed to be installed within a rebate as part of a slope glazed AA100 curtain wall grid. All general construction notes from AA100* AA110 curtain wall installation instructions are applicable.

Outer frame of slope vent suitable for glazing as either a 20mm glazing unit (with outer profile 678 083) or a 30mm glazing unit (with outer profile 678 076) within AA100 curtain wall glazing rebate. Refer to AA100 glazing charts for correct selection of internal gasketry and supporting blocks.

Reference to be made to DLA Architecture drawing 2018-051 / 0700 for Window Schedule

490 Roof ventilators

1. **Manufacturer: Bilco UK Ltd**

Telephone 01284 701696
Email bilcouk@bilco.com
Fax 01284 702531
Pavilion 7, Fornham Business Court
Hall Farm
Fornham St. Martin,
Bury St. Edmunds
Suffolk.
IP31 1SL

- 1.1. **Product reference: SKY-FLATGLASS-SSF**

2. **Type:** Sliding glass AOV to head of main stair
3. **Controls:** Operable remotely at the fire and rescue service access level in accordance with ADB Volume 1 Paragraph 3.28e. Detailed design to be undertaken by M&E Consultant.
4. **Size:** 1710 x 2070 mm structural opening
* SPECIAL * (fabricated to special size requirements)
5. **Typical U-value:** 1.26 W/m²K
6. **Impact resistance:** Tested to BS EN 1873:2014 Class SB1200
Test impact energy 1200 J
7. **Free aerodynamic area:** min 1m²
8. **Operation:** 24V DC battery-backed control system
9. **Air leakage:** PASS according to EN1873:2014
less than 1.5m³/m²h or 0.5m³/hm at pressure to 150Pa
10. **Glass fire reaction:** A1 according to EN 13501-1
11. **Glass:** Flat glass top, double layer security glass, toughened outside with aluminium spacer (space filled with argon 90%), laminated LOW-E inside
12. **Cover:** Assembled on a fully-welded PVC frame
13. **Cover gasket:** Extruded EPDM rubber gasket ensures a continuous seal when compressed in the front and back of the vent
14. **Curb:** 250mm height double layer (internal and external) polyester resin reinforced with fiberglass. Formed with 150mm flange / 9mm holes for securing to the roof deck
15. **Curb insulation:** 60mm (thick) extruded polyurethane
16. **Finish:** Glass: Clear;
PVC Profiles: White;
Metal Profiles: White powder coated; Upstand: White
17. **Fixing:** Manufacturer's standard
18. **Other requirements:** CE marked

Reference to be made to DLA Architecture drawing 2018-051 / 0364 for design intent

Execution

710 Protection of components

1. **General:** Do not deliver to site components that cannot be installed immediately or placed in clean, dry floored and covered storage.
2. **Stored components:** Stack vertical or near vertical on level bearers, separated with spacers to prevent damage by and to projecting ironmongery, beads, etc.

730 Priming/ sealing

1. **Wood surfaces inaccessible after installation:** Prime or seal as specified before fixing components.

740 Corrosion protection

1. **Surfaces to be protected:** Surfaces of aluminium components, which will come into contact with mortar, concrete or plaster, or treated timber.
2. **Protective coating:** Two coats of bitumen solution to BS 6949 or an approved mastic impregnated tape.
 - 2.1. **Timing of application:** Before fixing components.

750 Building in

1. **General:** Not permitted unless indicated on drawings.
 - 1.1. Brace and protect components to prevent distortion and damage during construction of adjacent structure.

760 Replacement window installation

1. **Standard:** In accordance with BS 8213-4.

765 Window installation generally

1. **Installation:** Into prepared openings.
2. **Gap between frame edge and surrounding construction**
 - 2.1. **Minimum:** Generally min 6mm, max 10mm, but refer to separate manufacturers guidelines
 - 2.2. **Maximum:** as above
3. **Distortion:** Install windows without twist or diagonal racking.

770 Damp-proof courses in prepared openings

1. **Location:** Ensure correct positioning in relation to window frames. Do not displace during fixing operations.

780 Fixing of wood frames

1. **Standard:** As section Z20.
2. **Fasteners:** As per the George Barnsdale install manual
 - 2.1. **Spacing:** When not predrilled or specified otherwise, position fasteners not more than 150 mm from ends of each jamb, adjacent to each hanging point of opening lights, and at maximum 450 mm centres.

782 Fixing of aluminium frames

1. **Standard:** As section Z20.
2. **Fasteners:** As per the Kawneer install manual
 - 2.1. **Spacing:** When not predrilled or specified otherwise, position fasteners not more than 250 mm from ends of each jamb, adjacent to each hanging point of opening lights, and at maximum 600 mm centres.

810 Sealant joints

1. **Sealant**
 - 1.1. **Manufacturer:** Contractor's choice
 - 1.1.1. **Product reference:** Contractor's choice
 - 1.2. **Colour:** TBA, dependent on location
 - 1.3. **Application:** As section Z22 to prepared joints. Finish triangular fillets to a flat or slightly convex profile.

820 Ironmongery

1. **Fixing:** In accordance with any third-party certification conditions applicable. Assemble and fix carefully and accurately using fasteners with matching finish supplied by ironmongery manufacturer. Do not damage ironmongery and adjacent surfaces.
2. **Checking/ Adjusting/ Lubricating:** Carry out at Completion and ensure correct functioning.

Ω End of Section



Specification created using NBS Chorus



Appendix VI

Main Contractor YMG – Additional Costs for Restoring Windows

FIELD HOUSE - Dewsbury

YMG Additional Costs for Restoring Windows						
		Qty	Unit	Rate	£	p
1	Restoration cost quotation from Collins and Hall Ltd	1	item		250,000.00	
2	Prolongation costs: Collins and Hall Ltd require an additional 26 to 36 weeks YMG contract period would be impacted by 20 weeks.	1	item		150,000	
3	Scaffolding hire would need to be extended for 26 to 36 weeks - say 7 months.	1	item		70,000	
4	Temporary boarding of windows during restoration works.	1	item		10,000.00	
5	Upgrading the heating system within flats.	1	item		30,000	
127					£	510,000.00



Appendix VII

Project Manager/QS RBA - Cost Statement for Restoring Windows

Project Manager/QS RBA – Cost Statement for Restoring Windows

Following a recent exercise by the project team to assess the feasibility of restoring the windows in comparison to replacing at Field House, Dewsbury, it has become clear that there are several factors that need to be considered, which combined, could potentially add considerable cost the project.

Due to the current condition of the windows, it has been advised that restoration works would be very labour intensive, more so than replacing, this would impact the upfront costs and increase the duration of works and overall project programme. Additionally, there needs to be consideration of associated works which may be needed to ensure thermal, acoustic and security requirements are met, all of which will attract additional cost.

*Following review by the main contractor and a specialist sub-contractor, an estimate of **half a million pounds** has been put forward for these works. We would further note that this value does not include any additional maintenance costs which would be required for restored windows, with it being suggested that maintenance could be required up to 10 times more frequently than new windows which would need to be accounted for.*

In summary, restoration works are notoriously difficult to quantify but we would suggest that the values put forward by the main contractor and specialist are reflective of the additional works required. The project does not currently have arrangements in place for these works, and if required, due to the costs noted above we would suggest the project would no longer be viable.

Kind Regards

Ben Royston | Senior Quantity Surveyor

For and on behalf of
Richard Boothroyd & Associates Ltd
Chartered Quantity Surveyors and Project Management