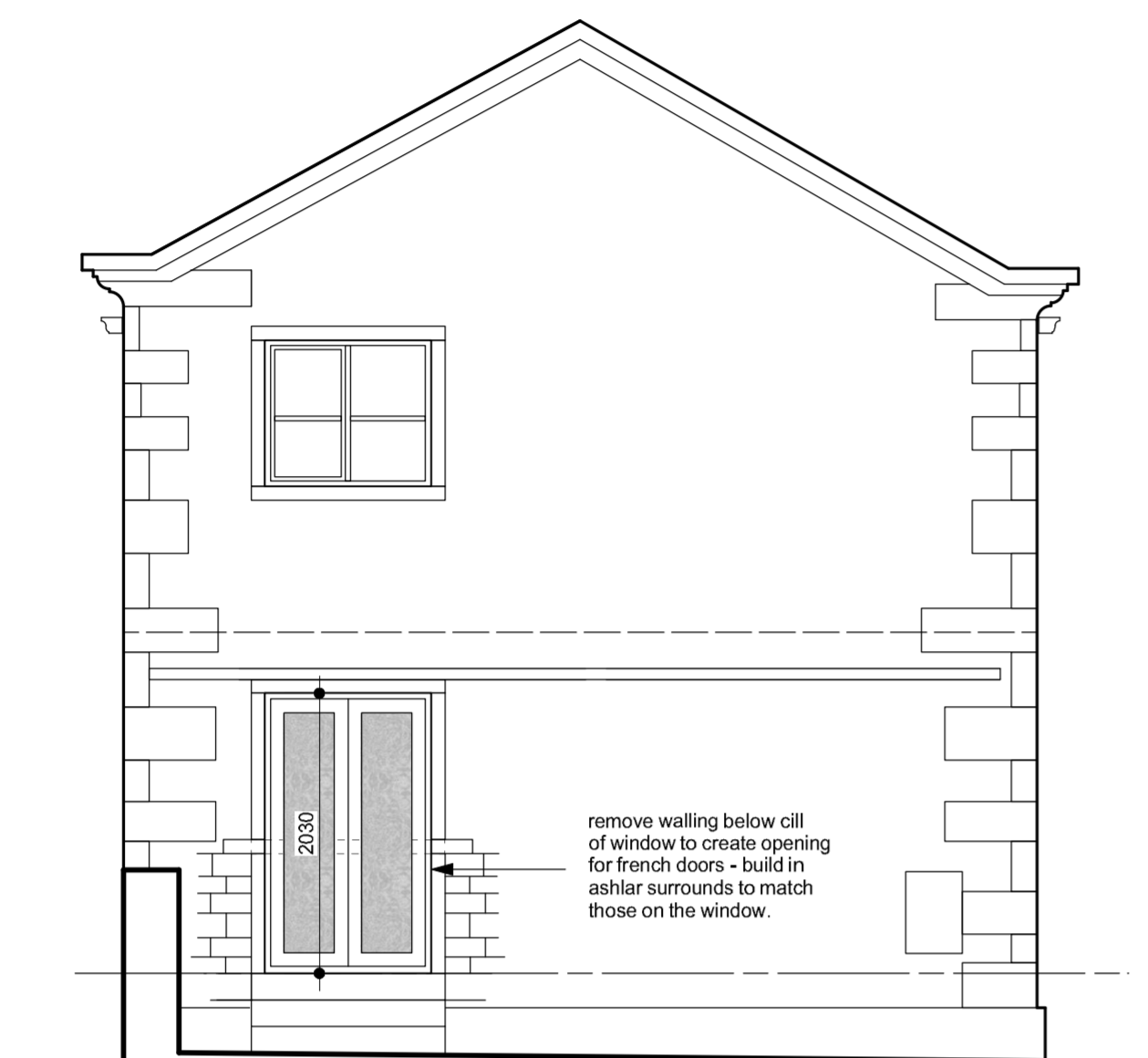


THIS DRAWING TO BE READ IN CONJUNCTION WITH CONDITIONS ATTACHED TO PLANNING APPROVAL

THIS DRAWING TO BE READ IN CONJUNCTION WITH STRUCTURAL ENGINEERS DETAILS



south east elevation - as proposed

GENERAL SPECIFICATION:

This drawing has been prepared specifically for the purpose of obtaining Planning Permission (where appropriate) and Building Regulations Approval. Its suitability for other purposes, without supplementary details and specifications cannot be guaranteed. Permission for Planning is beyond the Designer's control and no guarantee that such will be granted is to be inferred by the preparation of this drawing. Use only figured dimensions. All dimensions to be checked on site. The Contractor should visit the site before tendering to ascertain any local features, e.g. trees, adjacent buildings, etc. which may adversely affect the works. This drawing, together with the design is the property and copyright of the Designer, and must not be reproduced without prior permission.

CDM (Construction Design & Management Regulations 2015). The works will be notifiable under CDM Regulations. The Client is advised to discuss with designer and contractor their obligations when carrying out proposed works to their dwelling.

SUPERSTRUCTURE:

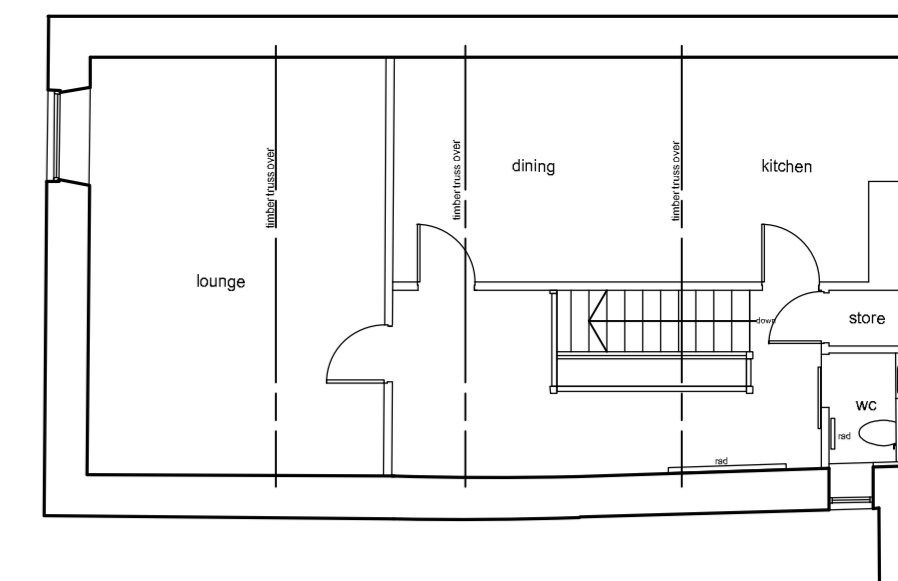
Internal Walls (Studded): 50 x 75mm sw. studs at 400mm c/s. with 75 x 75mm head and sole plates and 50 x 75mm sw. noggin at max. 1200mm staggered c/s. Face in 12.5mm plasterboard fixed with staggered joints and finish in 5mm skim coat on jute-reinforced scrim joints. All walls to incorporate 75 mm Rockwool RW3 sound-dampening quilt (min density 10kg/m3) between studs.

Electrical: Electrical installations to be in accordance with IEE Regulations and requirements of the supply authority. All new electrical work to be carried out in accordance with requirements P112 of Building Regulations 2000 (as amended by SI 2003/3210) Approved document P (Electrical Safety). Reasonable provision shall be made in the design, installation, inspection and testing of electrical installations by a person competent to do so in order to protect persons from fire and injury. Sufficient information shall be provided so that persons wishing to operate, maintain or alter an electrical installation can do so with reasonable safety. Prior to completion, Building Control must be satisfied that Part P has been complied with and may require an appropriate BS 7671 Electrical Installation Certificate to be issued for the work by a person competent to do so. Switches and sockets in habitable rooms to be fitted between 450mm and 1200mm above finished floor level to comply with Building Regulations - Part M.

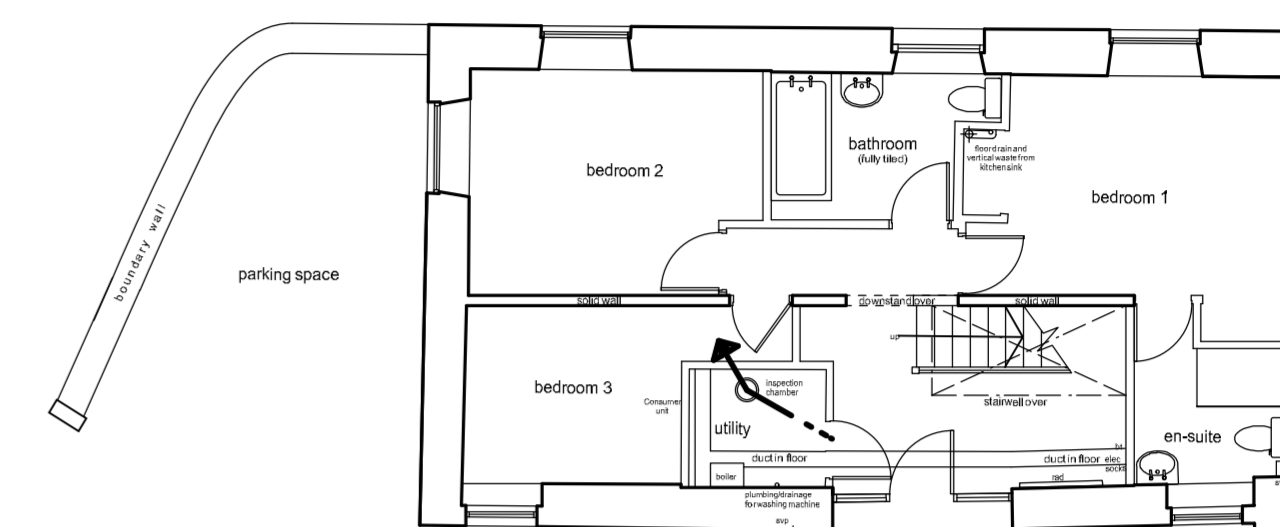
Existing general power & lighting circuits to be extended/modified to cater for the extension & alterations, to building owner requirements.

Fire:

Steel Beams: Beams to have 1/2-hour fire protection using 12.5mm Gyproc FireLine board on expanded metal lathing. Ensure min. 6mm gap between lathing and flanges of beams to provide adequate mechanical bond for plaster.



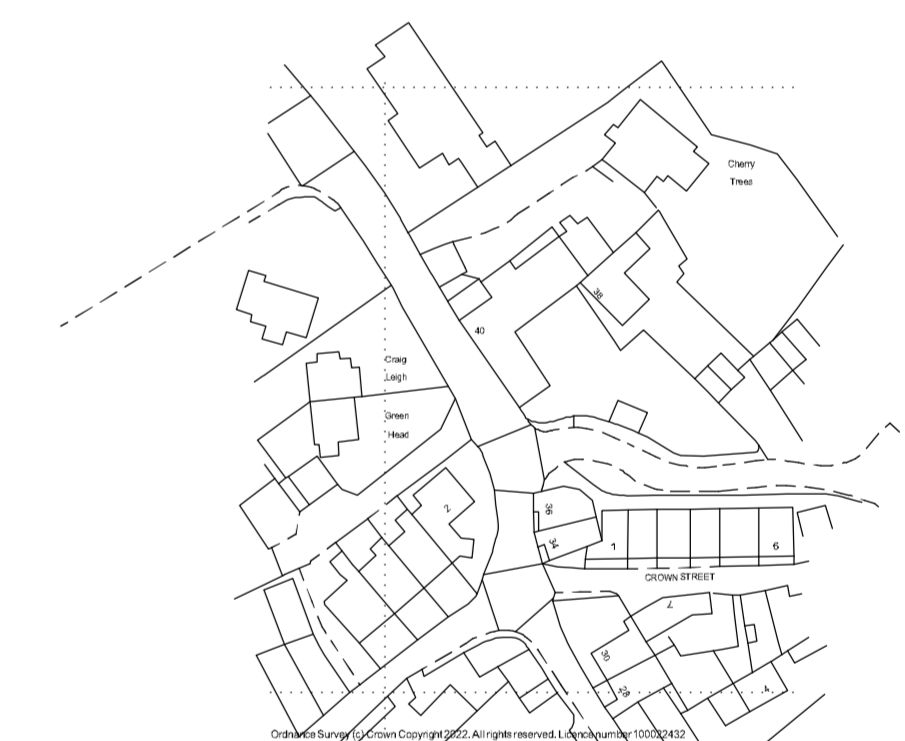
first floor plan- as exg



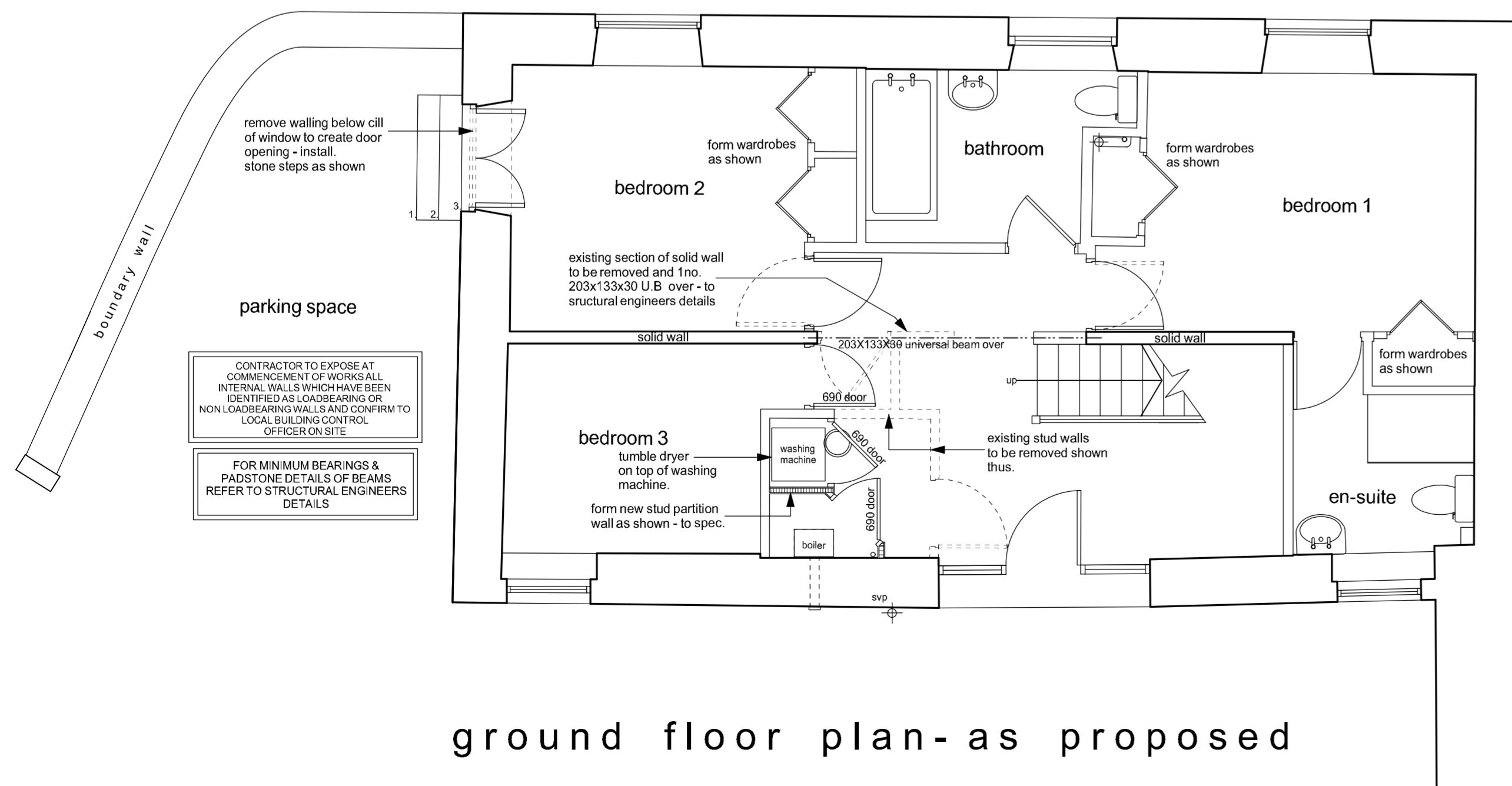
ground floor plan- as exg



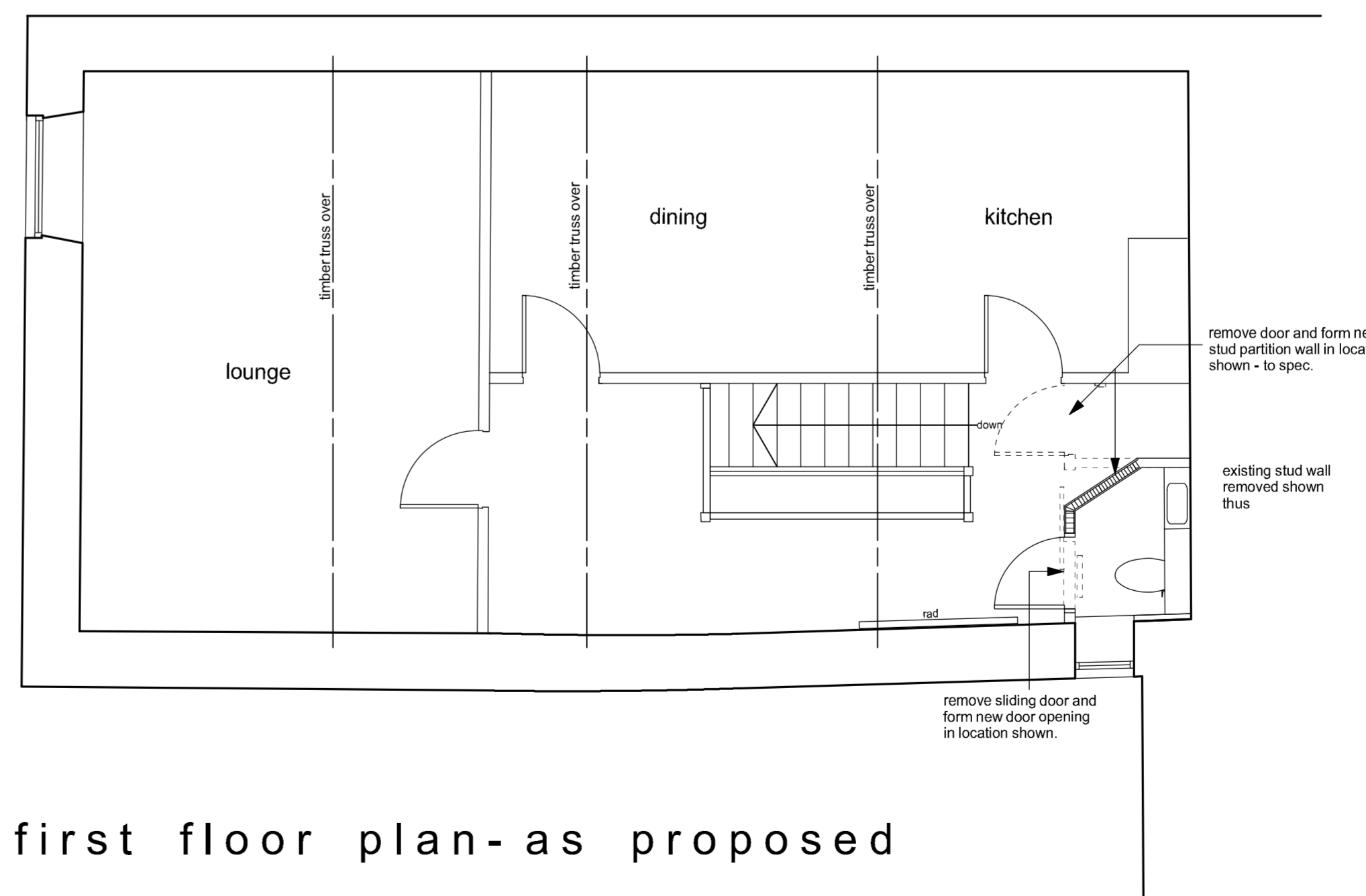
south east elevation - as exg



Location Plan - 1/1250



ground floor plan- as proposed



first floor plan- as proposed

Notes:  
This drawing has been prepared specifically for the purpose of Planning Permission (where appropriate) & Building Regulation Approval. Valley Properties accept no liability for errors or omissions. The drawing may be used for estimating purposes, but the Principal Contractor must cost fully from a site investigation. The Contractor is responsible for checking site dimensions, materials etc., and all building work, such work being checked by Building Control on site, as may be appropriate. Valley Properties disclaim any liability for works carried out.

Revisions:  
Rev. A (01-04-22) - Amendments made to clients comments.  
Rev. B (17-06-22) - Amendments made to clients comments.  
Rev. C  
Rev. D  
Rev. E

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Client Details

Mr & Mrs Gatrell

Project Title  
Proposed internal/external alterations  
at 44 Church Street  
Holmfirth  
Holmfirth

Drawing Title  
Planning & Building Regulations Drawing

Scale: 1:50 & 1:100	Drawing Number: 2022/003/03	Rev: B	Date Drawn: March 2022	Drawn By: Andrew Smith
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