

2nd Floor
1 : 50

IMPORTANT NOTES

ALL MEASUREMENTS MUST BE CHECKED ON-SITE PRIOR TO COMMENCEMENT OF ANY WORKS.

ANY UNDERGROUND DRAINAGE ROUTES ARE INDICATIVE ONLY. TBC BY BUILDER ON-SITE & APPROVED BY YW AND BC PRIOR TO COMMENCEMENT OF ANY WORKS.

CADVIS3D HOLDS NO RESPONSIBILITY FOR UNDERGROUND DRAINAGE ON-SITE. YORKSHIRE WATER MAPPING REQUEST RECOMMENDED TO CHECK FOR EXISTING UNDERGROUND DRAINAGE RUNS (IF AVAILABLE)

ALL STRUCTURAL ALTERATIONS TBC BY APPOINTED STRUCTURAL ENGINEER. ANY ALTERATIONS TO PROPOSED DESIGN DUE TO STRUCTURAL CONSTRAINTS IDENTIFIED BY ENGINEER TO BE AGREED/APPROVED BY CLIENT PRIOR TO COMMENCEMENT OF ANY WORKS

ACOUSTIC DESIGN TBC BY SOUND ENGINEER & SUBJECT TO SOUND TESTING

FIRE PROTECTION TBC AT BUILDING REGULATIONS STAGE

DRAWING TO BE USED FOR PLANNING PURPOSES ONLY - NOT FOR CONSTRUCTION

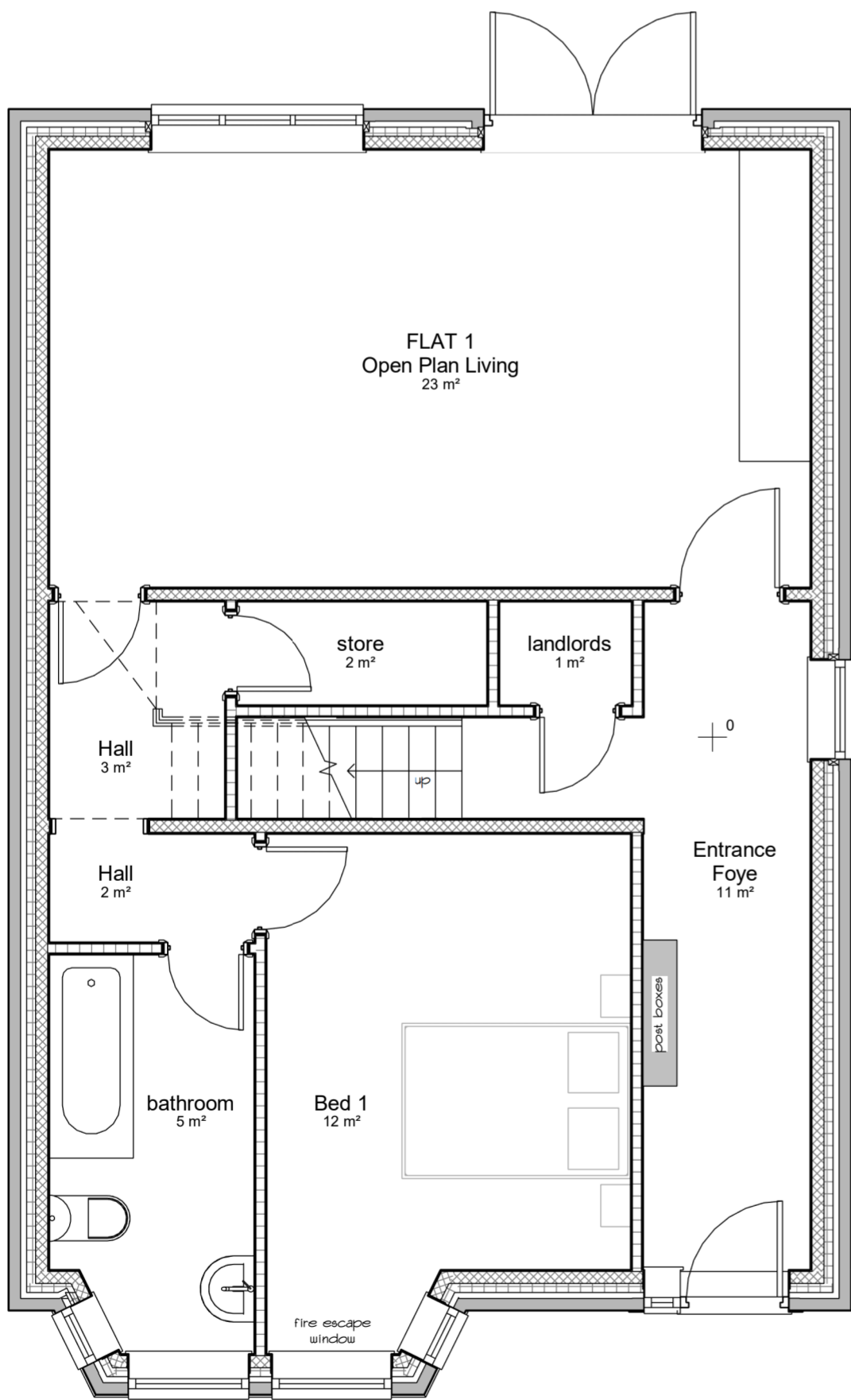
GENERAL

DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE AND CONFIRMED TO AUTHOR. ALL FEASIBILITY STUDIES ARE SUBJECT TO FULL SITE SURVEY + LOCAL AUTHORITY APPROVALS. ANY DISCREPANCIES OR VARIATIONS SHALL BE NOTIFIED TO CADVIS3D BEFORE WORK ON THE RELEVANT SECTION COMMENCES. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT CONSULTANTS AND / OR SPECIALISTS DRAWINGS / DOCUMENTS. THE MATERIALS AND WORKMANSHIP OF ALL RELEVANT TRADES AND BUILDING OPERATIONS SHALL COMPLY WITH THE RECOMMENDATIONS OF CURRENT BRITISH STANDARDS AND CODES OF PRACTICE. AS FAR AS REASONABLY PRACTICABLE, THIS DESIGN HAS BEEN PREPARED IN SUCH A WAY AS TO REDUCE THE RISKS TO THE HEALTH AND SAFETY OF PERSON(S) WHO MAY BE AFFECTED.

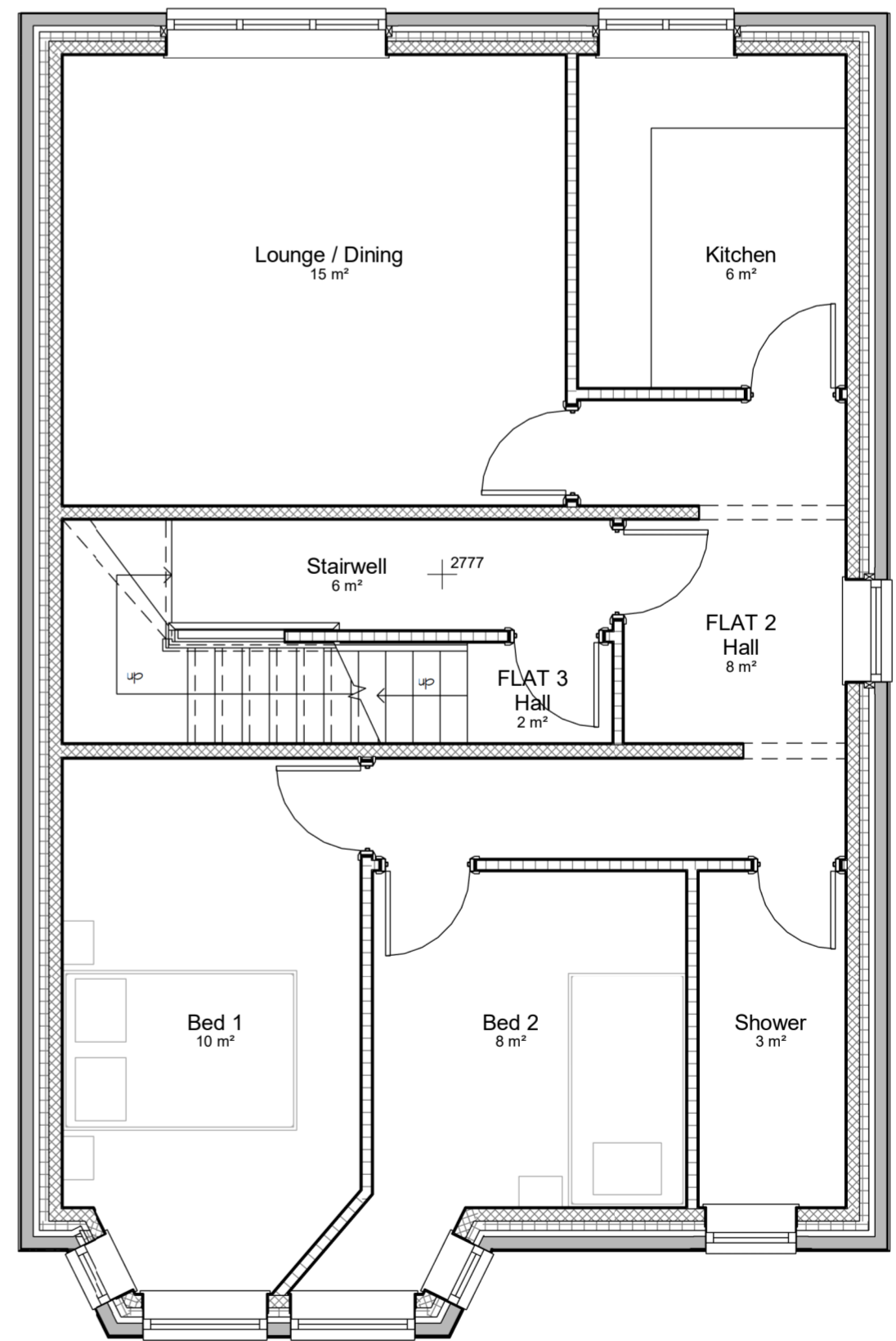
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0	SCALE 1:100	10m
0	SCALE 1:200	20m
0	SCALE 1:500	50m
0	SCALE 1:1250	125m



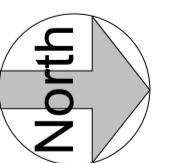
Front Elevation (East Facing)
1 : 100



Ground Floor
1 : 50



First Floor
1 : 50



A 16/06/22 PSI PSI FRONT ELEVATION A1-ENDED



Cadvis3d ARCHITECTURAL DESIGN SERVICES
....making dreams happen

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project

Existing Dwelling split into Flats
Located next to 349 Bradford
Road, Huddersfield, HD2 2QQ

client

JK Property

title

Plans & Elevations - As Proposed

rev date dr app notes

scale	As indicated	drawn	PSI	apprv	KA
date	MAY 2022	path	G:\Architectural Jobs\2196 - JK Property, Bradford Rd\Arch\Proposed\2196 - proposed\PLANNING\RevA.rvt		
status		PLANNING			
job no	2196	dwg no	A(10)-01	rev	A