

Supported Accommodation

Occupation Lane, Dewsbury

Design & Access Statement

Contents

1.0	THE SITE
1.1	Site Location
1.2	Site Analysis
1.3	Contextual Analysis
1.4	Local Vernacular
2.0	DESIGN DEVELOPMENT
2.1	Layout & Site Concept
2.2	Amount
2.3	Scale
2.4	Appearance
2.5	Landscaping & Access

Purpose and Format of the Statement

This Design and Access Statement meets the requirements of the Town and Country Planning (Development Management Procedure) (England) Order 2010 and Circular 1/2006 from the Department for Communities and Local Government (DCLG).

These state that planning applications, with some exceptions, are to be accompanied by a Design and Access Statement that explains the design principles that have been applied to the development and illustrates how issues of access have been dealt with. The structure and content of this statement has been informed by 'Design and Access Statements: How to Write, Read and Use Them' (CABE 2006).



Document Prepared by : Cartwright & Gross

On behalf of: Home Life Supported Accommodation Limited

Site Address: Occupation Lane, Staincliffe, Dewsbury

Client Profile & Brief

Homelife is a leading developer of specialist housing. Based in the North, and working across the country, we have strong social housing and commercial expertise, balanced with shared values, and an understanding of our Public Sector partners.

Independently owned and managed, Homelife thinks independently and acts responsively, developing properties which respond directly to public sector demand, balancing the need for housing and sustainability with doing the right thing for people.

Working together to move the health and care sector forward and break new ground.

Cartwright & Gross Architects were instructed to prepare this design and access statement for a part refurbishment/ part new build development of 18 dwellings on a residential plot in Staincliffe.

The proposals in this application include the redevelopment and change of use of the existing terrace houses on Carr's Close and a new building sited within an area of scrub land off Occupation Lane. Together these buildings will provide a new facility for adults with social care needs and will include on-site staff accommodation and dedicated communal facilities for tenants.

Following our Pre-Application submission in July 2021 and subsequent feedback from Kirklees Council planners in October 2021 the proposals herein take into account all the comments received to date and have been formulated in collaboration with Homelife and other specialist consultants to prepare a well-considered and compliant proposal for this planning application.



HomeLife
Supported Accommodation

1.0 Site + Context

1.1 Site Location



Location Map

The application site is located to the north west of the centre of Dewsbury in an area of Staincliffe that is mainly residential. The local area is accessed from the main road (A638 Halifax Road) and is very close to Staincliffe Park.

There are local shops and amenities on Halifax Road and the area is well serviced by public transport, schools and the district hospital is a short distance away.



Aerial Photo

The site shown above in red is nestled within a residential area of properties of varying ages, older terraced properties to the west and north, and newer properties to the east; Highfield Chase is some 10-15 years old.

At the western corner of the site there is a public open space which stands against the sweeping corner of Occupation Lane on a slight incline toward the north. This part of Occupation Lane connects with Carr's Close which is the primary access for the existing terraces within this site.

These terraces have front and rear gardens which negotiate the sloping land on both sides of the building, the remaining area of the site is unused gardens enclosed by timber fencing, therefore the site is currently only partly occupied by the residents in the existing terraces.

1.1 Site Location



Aerial view of site looking North



Aerial view of site looking West



Aerial view of site looking East



Aerial view of site looking South

1.2 Site Analysis

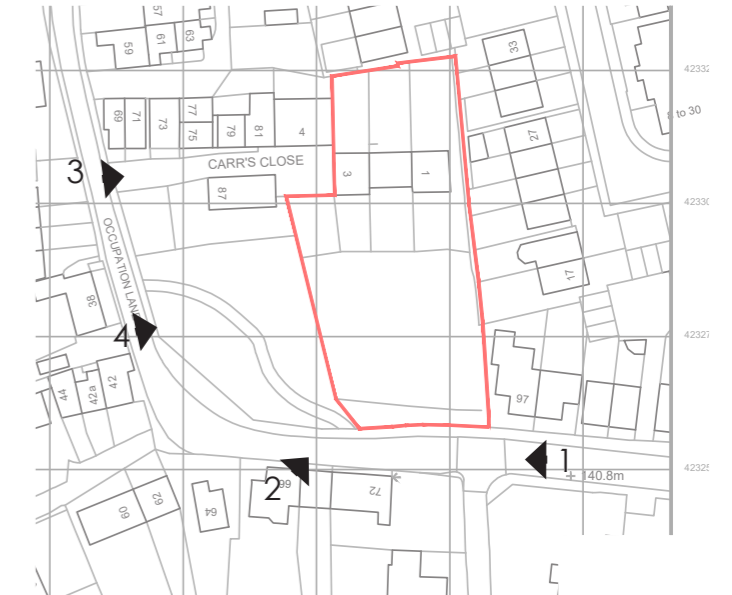


Photo key

The above photos describe the approaches up to the edges of the site and access to the existing terraces.

There is a grass verge, knee rail and defensive planting facing Occupation Lane, the edges of the site are defined by a 1.8 metre tall timber fence and in some areas low stone walls that are concealed by the shrubs. Low stone walls continue into the public open space on the corner of the lane that offer some relief to the highway.

Carr's Close is shown above which is a shared surface for cars and pedestrians to access the higher area of the site which is the existing terraces. These currently have separate gardens therefore the front doors are accessed by entering each garden sequentially which is not ideal.

1.4 Local Vernacular Architecture



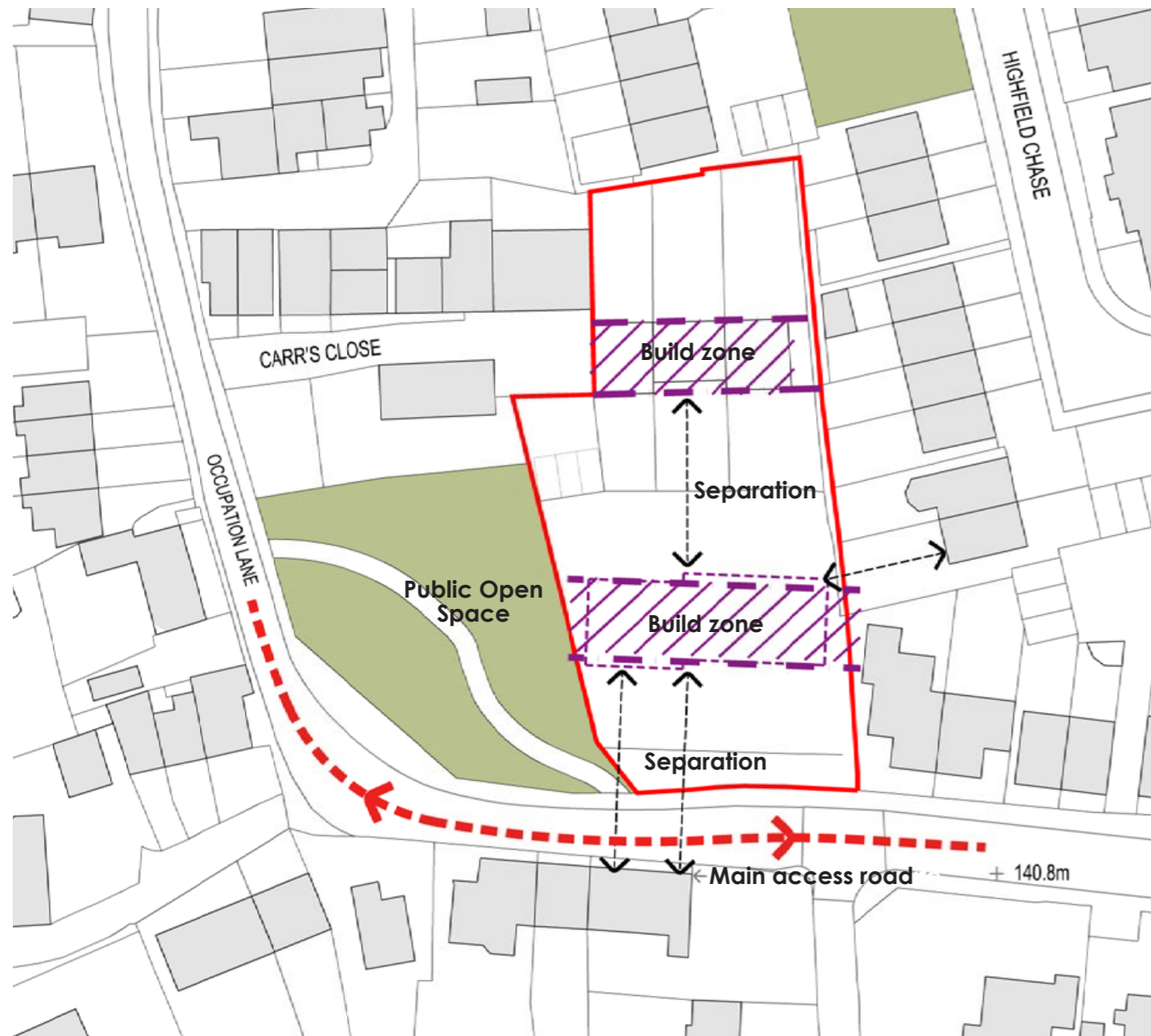
These photographs shows historic and present characteristics in local properties of a residential scale which could be adopted in the proposals for this site.

Yorkstone facades are common; using a pitched face block format in regular sizes, this is broken up with feature stone banding between floors or around windows and bays. Gables are used to break up eaves lines and create interest in the roof profiles. Also recurring are white framed windows, black rain-water goods and half or full height juliette balconies or balustrading.

There is no consistent building scale within the surrounding area but this varies from 2 , 2.5 and 3 storey as will be referenced through our design development later in the document.

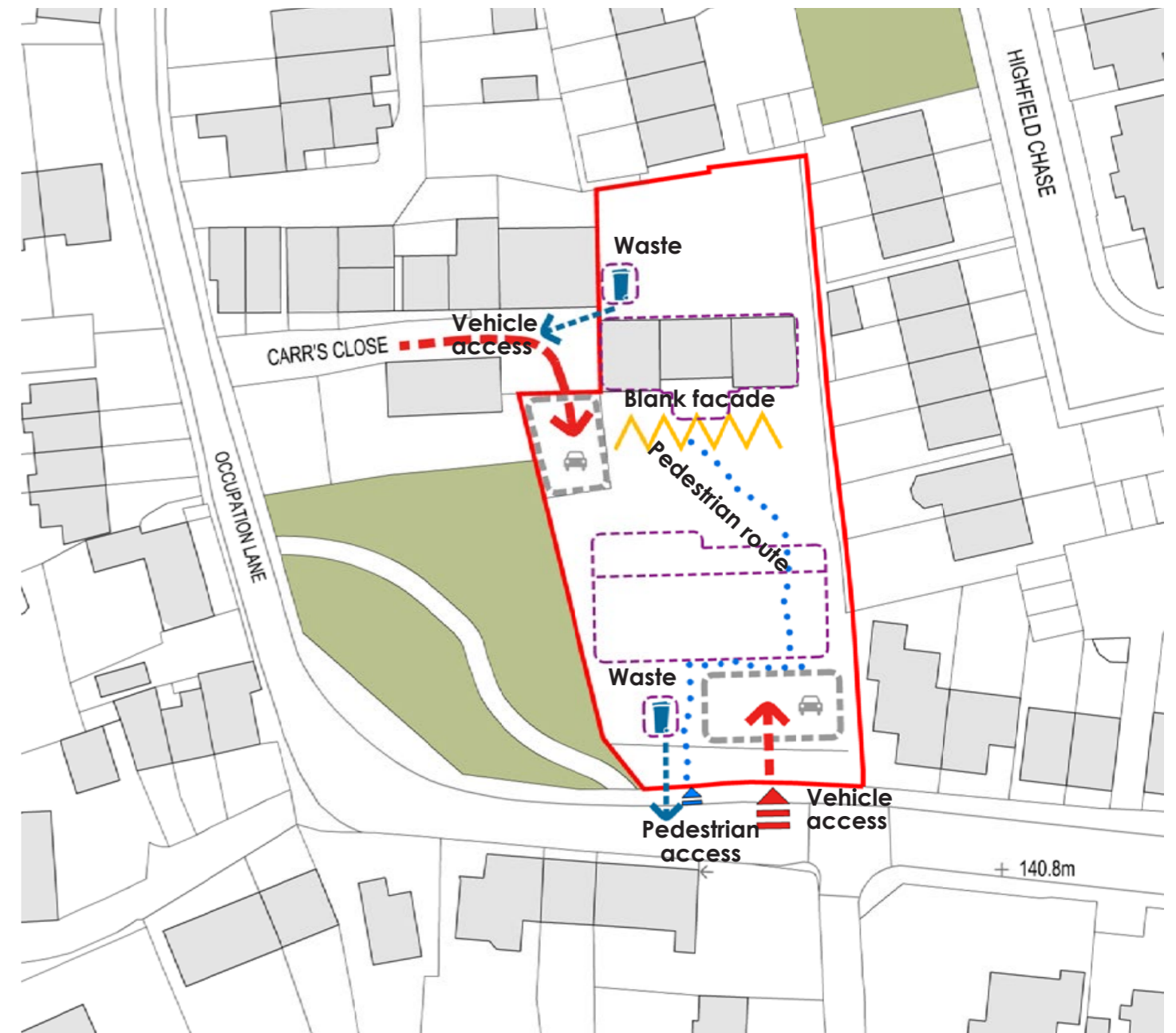
2.0 Design Development

2.1 Layout & Site Concept



BUILDING LINES & SETTING OUT

Using the footprint of the approved houses at the front of the site we can set out two buildings at appropriate distances from each other and from other properties on Occupation Lane to respect privacy distances. There is also sufficient space to respect separation distances at the side of the site since there are a row of back gardens for the Highfield Chase that taper out in depth.

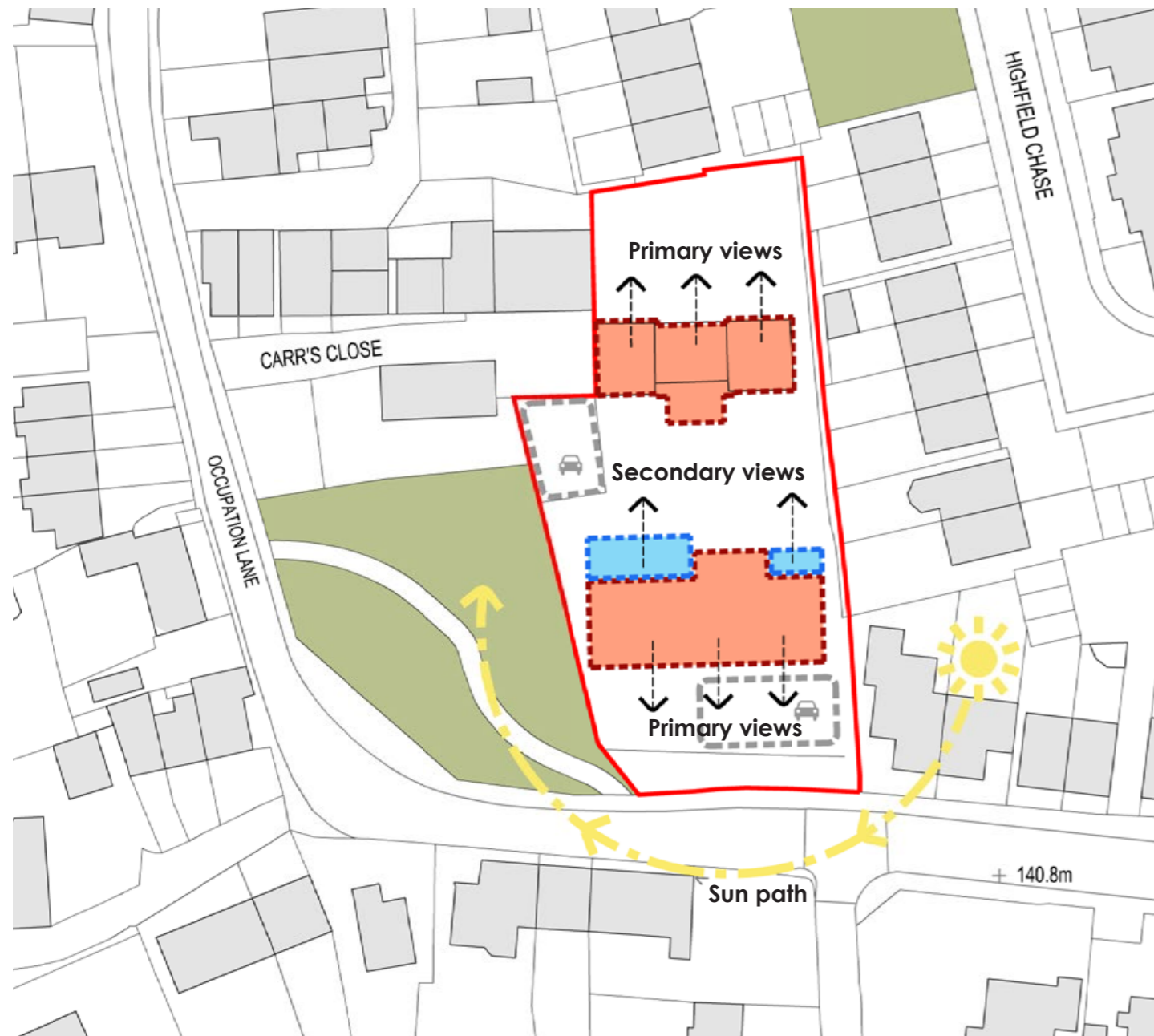


MOVEMENT & CONNECTIVITY

This arrangement of the buildings will allow for space in front or to the side for vehicle parking and waste storage. The set back from Occupation Lane helps with the relationship to the corner of the lane and the public open space and a strip of open space will be maintained at the back of the footway as discussed in our pre-application meeting with the planners.

It is anticipated that the two buildings will need to be connected with a pedestrian walkway for both residents and staff as this is a single 'enclosed' development - so our designs and site layout has been arranged around this walkway.

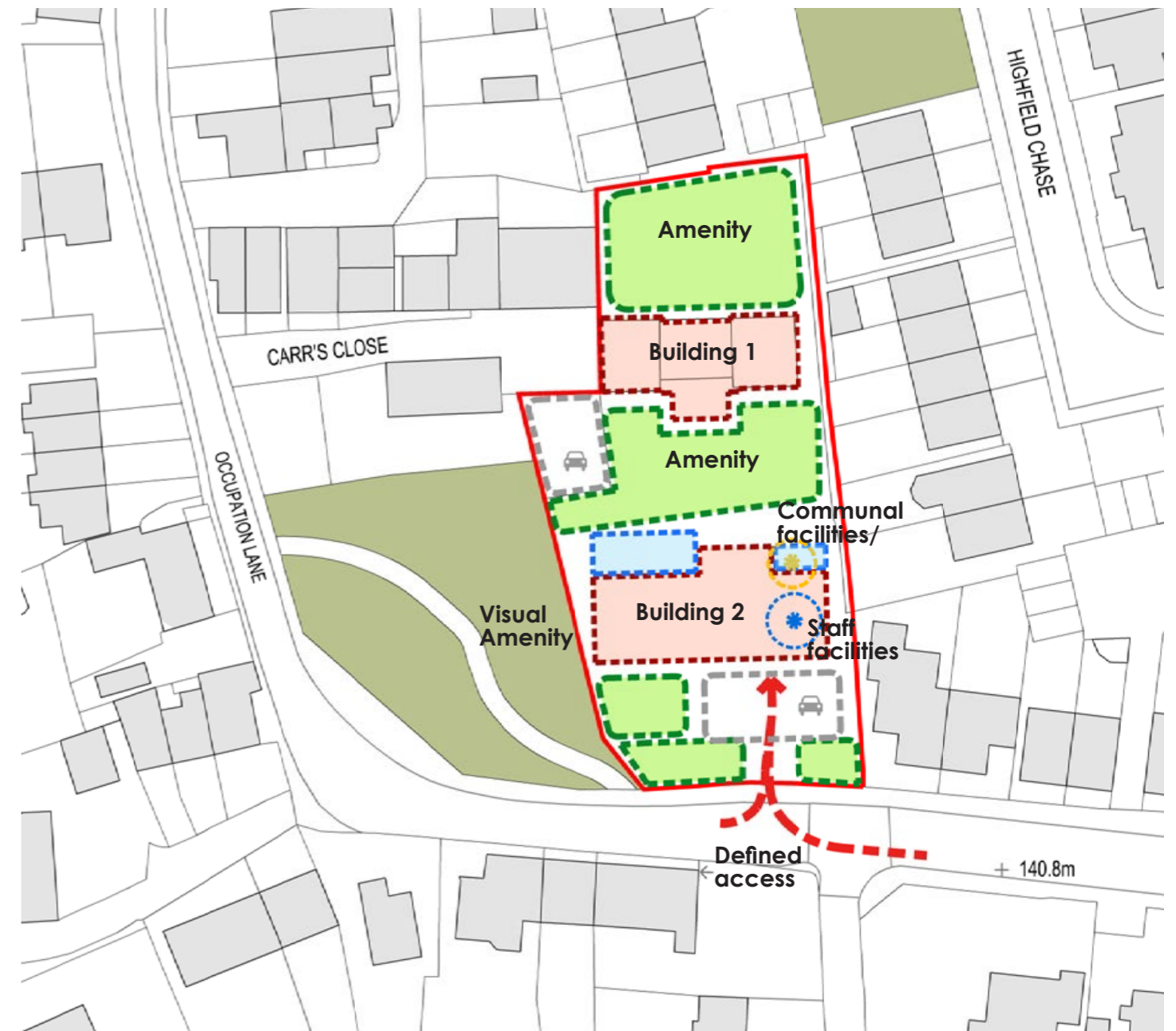
2.1 Layout & Site Concept



ORGANISATION OF DWELLINGS AND VIEWS

In the refinement of the above overall arrangement we have made sure that the new apartment building will have views in both directions; this is to provide activity to the front facade and provide visual connections to the shared amenity, but also to offer enhanced security through natural surveillance to the front and central 'courtyard'.

The existing converted terraces will have views over the northern area of the site, which is an enclosed, shared amenity for residents in that block. This area slopes up to the back of the site but is more usable as gardens than the steep slopes immediately to the south of the terrace. The primary views for both buildings are north and south, but there are secondary views on the gable ends which are shown on the elevation drawings in this application.



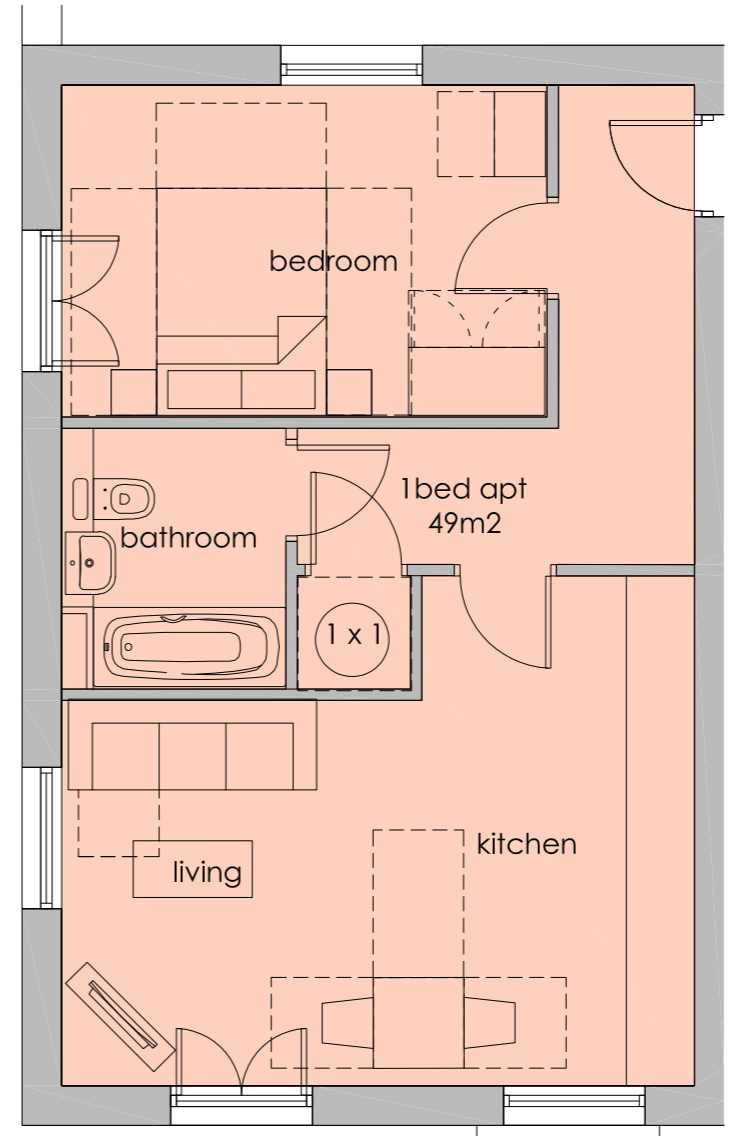
RESIDENT SUPPORT & AMENITY SPACE

The new building (Building 2) is larger than the existing building (Building 1) and it is therefore the best position for communal and staff facilities to be positioned. Staff can safely control the main entrance opposite the car parking area facing Occupation Lane, but can also control the communal facilities which are positioned directly behind the staff area. These communal facilities face onto and open out on to the central amenity space which has sufficient space for an external terrace for residents.

By arranging the site in this way there is some 927m² of amenity left over after providing appropriate car parking areas.



Overall site layout



Typical apartment layout

SCHEDULE OF ACCOMMODATION

- Building 01
 - 4no. 47m² (2 person) apartments
 - 2no. 49m² (2 person) apartments
- Building 02
 - 6no. 47m² (2 person) apartments
 - 6no. 49m² (2 person) apartments
- TOTAL 18 Dwellings
- Dedicated communal & staff facilities
- Off road car parking
- Private amenity space



Contextual photograph at rear of the site



Contextual photograph at front of the site



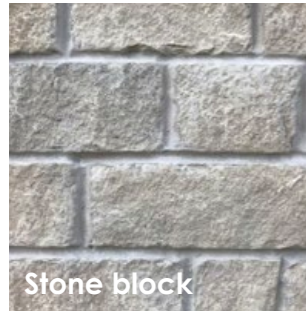
Proposed elevation facing Occupation Lane

As described earlier in the document there are 2 and 3 storey properties adjacent to the site and our proposals aim to fit in seamlessly to this context - the photos above show the stepped roofline at the rear of the site from the 3-storey block at the end of Carr's Close to the recently built 2-storey properties on Highfield Chase.

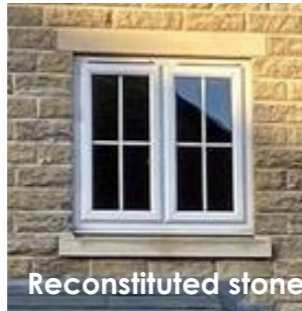
The topography of the site raises the existing terraces up at the rear of the site above the central gardens and above Occupation Lane - this can be seen from the front of the site in the second photograph above. This therefore provides the opportunity for a taller building (Building 2) in the open area that provides strong street frontage and activates an unused stretch of the lane.

The scale of a 3-storey apartment building which is slightly set back from the lane does not appear out of context or overly large when viewed next to the existing 2.5 storeys to the east of the site and our ground levels will be set out to ensure this relationship is successfully delivered.

2.4 Appearance



Stone block



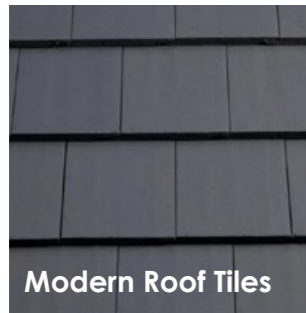
Reconstituted stone



UPVC windows



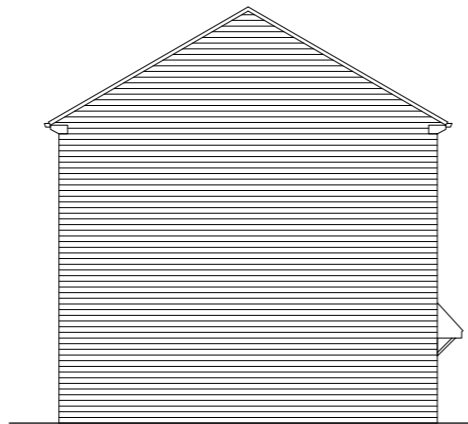
Juliette balconies



Modern Roof Tiles



Perennial planting



Typical facades of adjacent properties



Proposed side Elevation

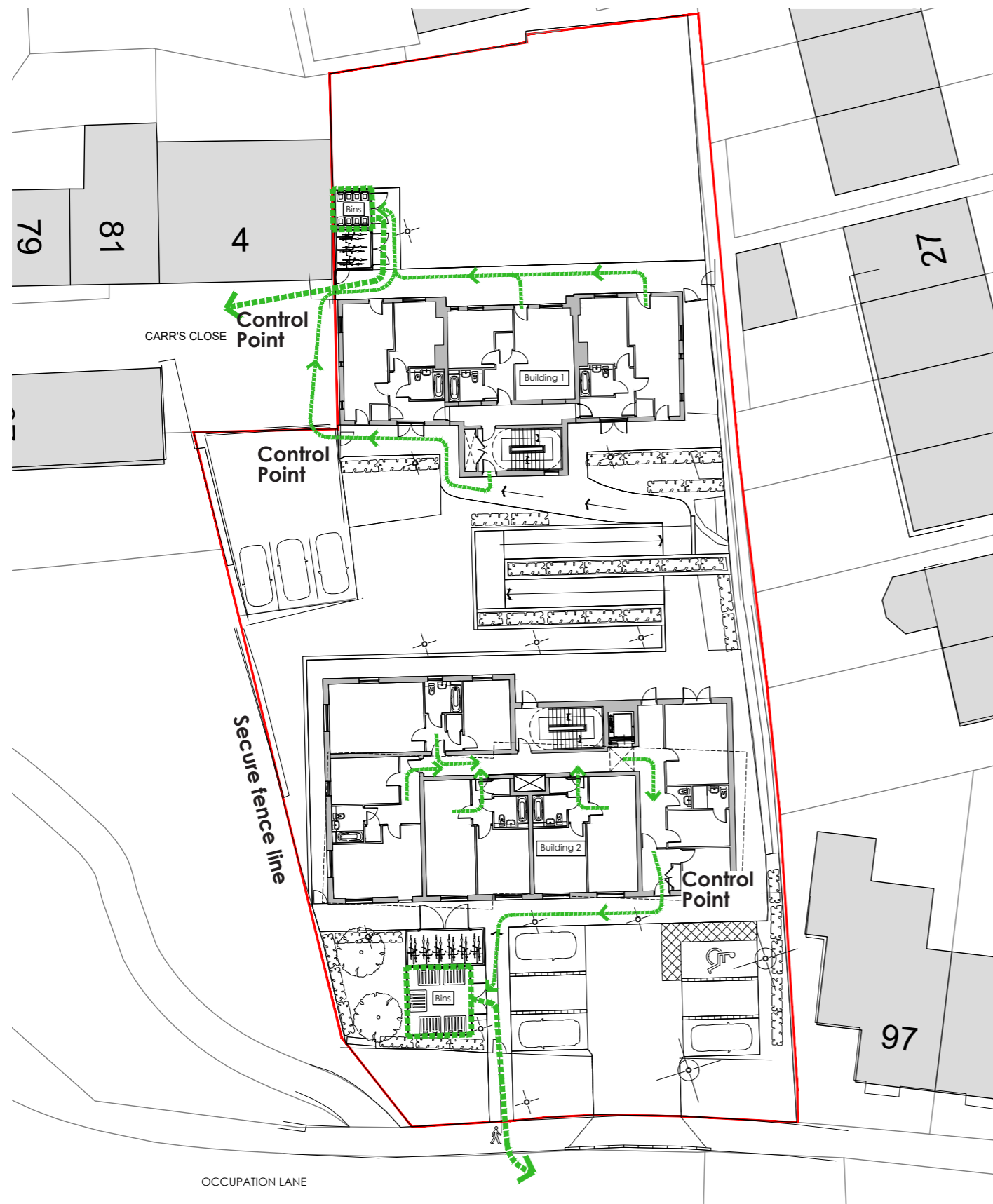


Proposed front Elevation

In developing the designs and facade treatments for the proposals in this planning application we have analysed the existing context in order to re-use the principle characteristics, materials and proportions and ultimately blend in with the local area.

The elevation drawings above show the setting out, repeated window openings and scale of typical 3-storey buildings close to this site. We are using the same materials in our proposal but we are also keen to marry in with the form and detailing of these properties.

The windows are repetitive but have a hierarchy over each level, starting with larger openings on the ground floor to narrower openings on the top floor. Doors canopies are consistently used together with Juliette balconies (positioned on the first floor) to help with breaking up the flat facades. The setting out of doors and windows on our new building make the building appear to be a collection of townhouses rather than a block of apartments.



Access

Inclusive design is a key objective for the proposals in this application, all access routes will have a firm and smooth surface and will be limited to 1 in 20 to ensure that the surfaces can be readily navigated by all user groups. Existing cross falls and levels on the site will largely be retained.

We have allowed for 9 in-curtilage vehicle parking spaces that have been tracked for manoeuvring and are a short distance away from the main access points into the development. The main entrance overlooks the main car parking area.

This shared entrance will have an inward opening external doorset with level access, and will have a minimum clear opening of 1000mm, the main entrance doors will be fully glazed with 450mm kick plates to both sides and will be compliant with all manifestation guidance. Floor finishes will be fit for purpose, durable, even and slip resistant, the proposal will incorporate a recessed entrance matt that will be finished flush with the floor.

All entry systems at doors and gates will be located at 900mm above finished floor level and controlled independently via management, this system will be incorporated with CCTV cameras which will be monitored 24 hours a day.

Bin storage is located in areas that do not cause an obstacle to the main access routes, and will be clearly distinguishable from the background through the use of colour and contrasting materials.

The proposal is to secure the site on both sides with 1.8m high timber fencing and controlled access gates. Access to dwellings from the parking areas will be from a 1.2m wide path with gradients no greater than 1 in 20 and where necessary drop kerbs with tactile paving to allow full accessibility to entrance door positions.

Within the building all stairs will be ambulant compliant and a lift has been provided in Building 2. All bathroom sizes comply with M4(2) where showers could be accommodated instead of baths.

Pedestrian Access

Pedestrian access is to be prioritised throughout the site with the use of wide footpaths directing residents and visitors from the controlled entrance to the central area and individual dwellings.

These paths will be fully accessible with gradients no greater than 1 in 20 and will be contrasting in colour to clearly define the routes. The footpaths will also be clearly lit from dusk until dawn with bollard lighting.

Crime Prevention

We have adapted the design details in this proposal to respond to comments from the Crime Officer at Yorkshire Police. This includes boundary treatments, gates, lighting and CCTV requirements.

The buildings allow for natural surveillance by the nature of the arrangement of habitable spaces, the dual aspect of apartments by having habitable rooms overlook the front, rear and communal green space create strong passive surveillance on Building 2 on all levels.

The open circulation and interaction of residents at ground floor within Block A using communal facilities such as the landscaping and lounge creates additional opportunity to secure the grounds.

This is a proposal for supported accommodation, it is a controlled environment with on-site management, CCTV, lighting and secure access control measures at entry points, the arrangement of the design allows for these security measures to be successfully implemented.