



Noble Homes

**Residential Development
Design and Access Statement
Lady Ann Road
Batley
12.01.23**

Contents



1.0	Introduction	3
2.0	Planning History	7
3.0	Re-Designed Sketch Scheme	13
4.0	Site Layout	23
5.0	Elevation Treatment	26
6.0	House Types	34
7.0	Technical Design	44
8.0	Summary & Conclusion	58

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Document Reference	10703-SA-RP-A-010
Date	20.12.22
Client	D Noble Ltd
Architect	Self Architects
Landscape Architect	Topia
Ecology Consultant	Brooks Ecological
Traffic Consultant	Paragon
Flood Consultant	JOC Consultants

This Design and Access Statement accompanies the full Planning Application by D Noble Limited for a residential development consisting of 65 dwellings and associated car parking and landscaping works on land accessed from Lady Ann Road, Batley, WF17 0PY. This document prepared by Self Architects is a substitution and replaces the DAS issued on 10 November 2021, application number 2021/94280

Proposal

This application is for a residential development of 65 dwellings, ranging in size from three to five bedrooms, with associated car parking and landscaping works. The range in house types is to cater for a diverse mix of people, with starter homes for first-time buyers and larger detached family homes. The land is designated for housing in the Kirklees Local Plan, adopted February 2019.

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Introduction

1.0

1.1 Context

The site is a large plot of land of approximately 3.3 hectares situated between Lady Ann Road and Primrose Hill. The south-eastern edge of the site bounds directly onto Lady Ann Road, alongside which runs a small watercourse called Howley Beck. The north-eastern site boundary is marked mainly by dense bushes/trees beyond, which is the Lady Ann Business Park. The domestic timber fencing of the rear gardens of the terraced houses on Primrose Hill form the Western boundary, while a 1m high wooden fence and bushes form the northern boundary.

The site slopes, steeply in places, up to 1:6, in a west to south-east direction. Currently the site is covered in overgrown weeds, reeds, bushes trees and rough grass. A row of mature TPO trees cuts the site roughly in half from east to west. An informal footpath runs through the site from Howley Street to Lady Ann Road. The path runs along the northern edge of the site, where it meets and then follows the route of Howley Beck down towards Lady Ann Road. A metal girder pipe support across the beck is used as an informal bridge across to Lady Ann Road.

The site is allocated for housing in the Kirklees Local Plan (HS74). The site lies 1 mile to the east of Batley town centre. Batley train station is 0.5 miles away with services to Leeds, Huddersfield, Manchester and Halifax. The nearest bus stop is on the corner of Primrose Hill and Lady Ann Road where services run to Batley, Dewsbury and Wakefield.



1.2 Site Photos



1.2 Site Photos



Planning History

2.0

2.1 Application of 30.05.17

Application Number: 2017/62/91851/E

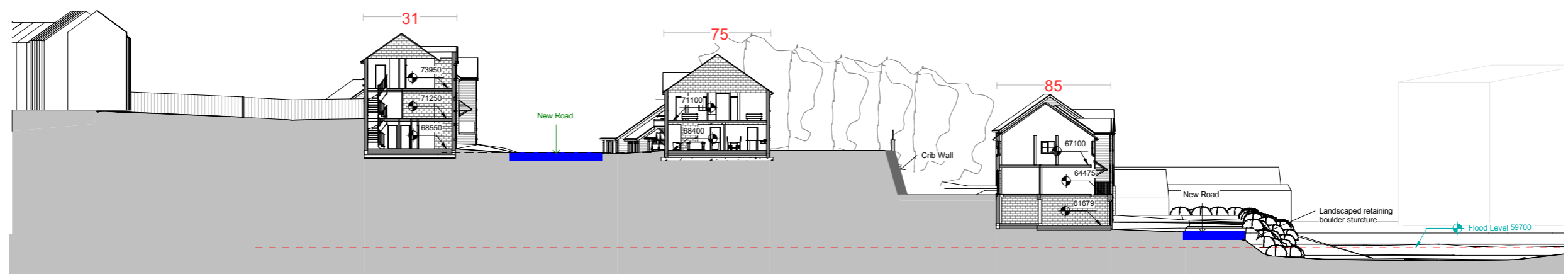
Decision: Refused

Decision Date: 04.09.18

Erection of 84 Dwellings and Associated Works

Reason for Refusal

1. Significantly overwhelm Lady Ann Road by the scale, massing and location of the proposed development. Accordingly, the proposal constitutes poor design and is considered unacceptably harmful in terms of visual amenity.
2. The application potentially impacts on water voles. There is insufficient information concerning the existing population of water voles, not demonstrated that the proposed development would contribute to, and enhance the natural environment.
3. Insufficient information to demonstrate that the development would direct development away from the areas of flooding.
4. Insufficient information has been submitted to demonstrate that the proposed development would not result in unacceptable highways impacts.
5. Insufficient information to understand the potential impact of the proposed development on heritage assets.
6. No information supporting the application relating to support local infrastructure. A S106 agreement is required to ensure contributions towards affordable housing, education, Public Open Space and play equipment.
7. The application would result in a significant impact on trees within the site which are subject to a Tree Preservation Order (TPO – 72/91), potentially resulting in their loss.



2.2 Application of 23.07.19

Application Number: 2019/62/92462/E

Decision: Refused

Decision Date: 10.01.20

Erection of 71 Dwellings and Associated Works

Reason for Refusal

1. Insufficient information supporting the application relating to requirements to support local infrastructure. A Section 106 agreement is required to ensure contributions towards affordable housing education and public open space and play equipment..
2. The proposal fails to provide sufficient information to enable a meaningful assessment of the scheme in terms of ecological mitigation, impact on trees and landscape proposals.
3. Insufficient information to demonstrate that the proposed development would direct development away from areas of flooding.
4. Insufficient information has been submitted to demonstrate that the proposed development would not result in unacceptable highway impacts.



2.3 Application of 10.09.20

Application Number: 2020/93071

Withdrawn after recommendation to Refuse

Withdrawn Date: 26.05.21

Erection of 71 Dwellings and Associated Works

Reason for Refusal Recommendation

1. Insufficient information to demonstrate that the development would meet known housing need, provide adequate, usable outdoor space and play space for its residents, and would not mitigate its impacts including in relation to education. Insufficient financial viability evidence has been submitted to demonstrate that the development cannot meet or partly meet these requirements.

2. Failed to demonstrate that the proposal would not result in a significant loss or harm to local biodiversity or safeguard and enhance the function and connectivity of the Kirklees Wildlife Habitat Network. Failed to demonstrate that a correct and measurable net biodiversity gain can be achieved on site.

3. The layout would result in a significant impact to and loss of trees of high amenity value, which contribute to the character and setting of the area, and are subject to a group Tree Preservation Order (TPO – 72/91).

4. Insufficient information has been submitted to demonstrate that the proposed development has been directed away from areas of flood risk and would not result in increased flood risk elsewhere.

5. Insufficient information to demonstrate that the proposed development would not result in unacceptable highway impacts, nor incorporate or encourage methods of sustainable travel.



2.4 Application of 10.11.21

Application Number: 2021/94280

Application still running

Erection of 71 Dwellings and Associated Works

KC comments on the scheme 23.03.22

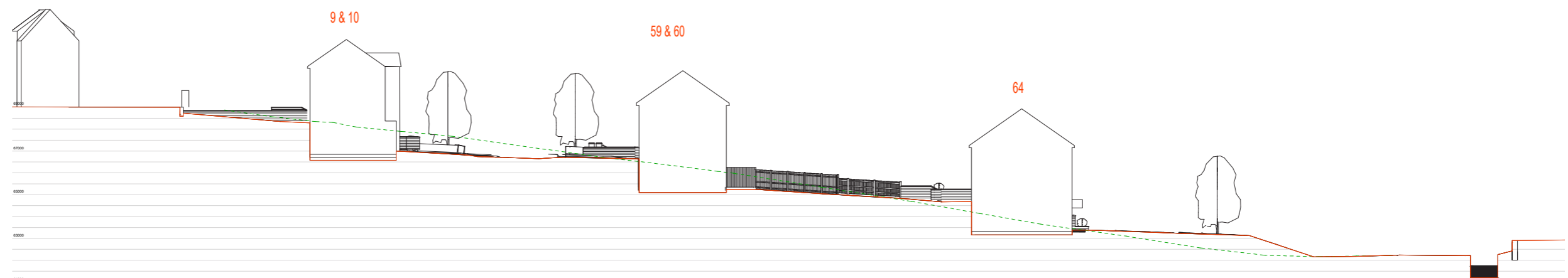
1. Developments to harmonise with their setting and complement the character of the area. The proposed three storey (while split level, when viewed from outside of the site the view will principally be 3 storeys), large units with modern estate vernacular would be wholly out of character with that of the area and appear incongruous within their setting.

2. The SPD outlines necessary space about dwellings, with taller units requiring greater spacing to the front and rear typically. The proposal is below these standards, and in practise has a cramped appearance. This issue is made worse by all units being 3 storeys, and therefore taller and more dominating.

3. Given the low density and cramped appearance, it is evident that the size of individual units is an issue. All units are in excess of the Nationally Described Space Standards (NDSS), many of them substantially so. The SHMA indicates a district wide need for a higher percentage of 3bed units, alongside 2bed and 4bed+. This mixture of sizable units and predominance of 4+bed units are a key contributor towards the layout issues of the proposal.

4. In accordance with local and national polices, street trees (within the public highway) must be incorporated into the design of new developments.

5. Lower row now has a sizable turning head which is large. This appears as incongruous engineering works which projects out of the built area into the open space.



2.5 Revised Scheme of 10.11.21

Application Number: 2021/94280

Application still running

Erection of 71 Dwellings and Associated Works

1. Terrace houses introduced.
2. 2 / 3 storey split level houses of a full storey split used.



Re-Designed Sketch Scheme

3.0

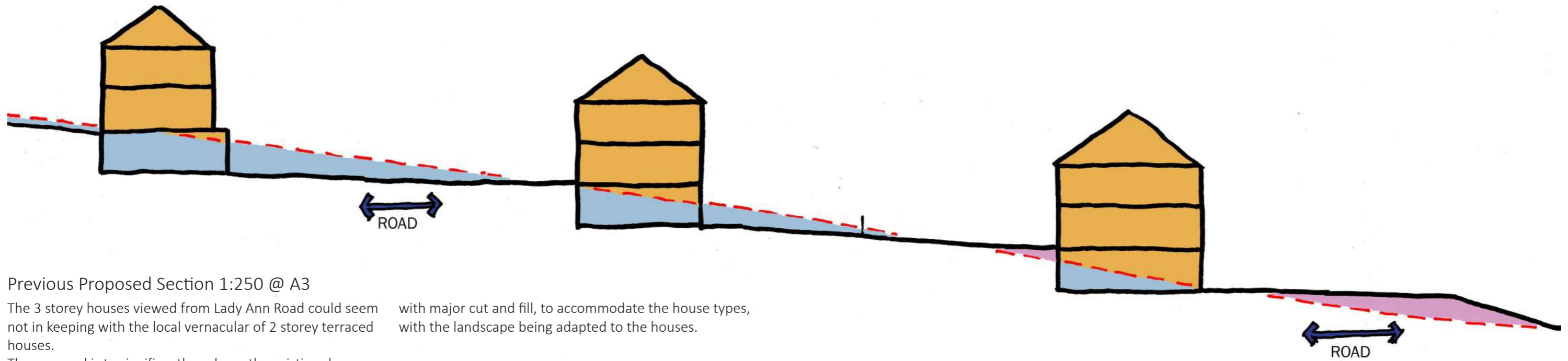
3.1 Re-Designed Sketch Scheme



A decision was taken in August 2022 to fundamentally re-design the scheme. The key fundamental changes were:

1. To fit the scheme more closely to the existing slopes and topography
2. Reducing the level of cut and fill
3. Replacing all the house types from 2 / 3 storey, full storey split level house, to a 2 / 2.5 storey house with a split level of 1/2 a storey. The 1/2 storey split level follows the existing slope and the lower elevation reads as 2 storey and not 3 storey
4. Retain the existing levels around the TPO trees and provide them more space

3.2 Site Sections

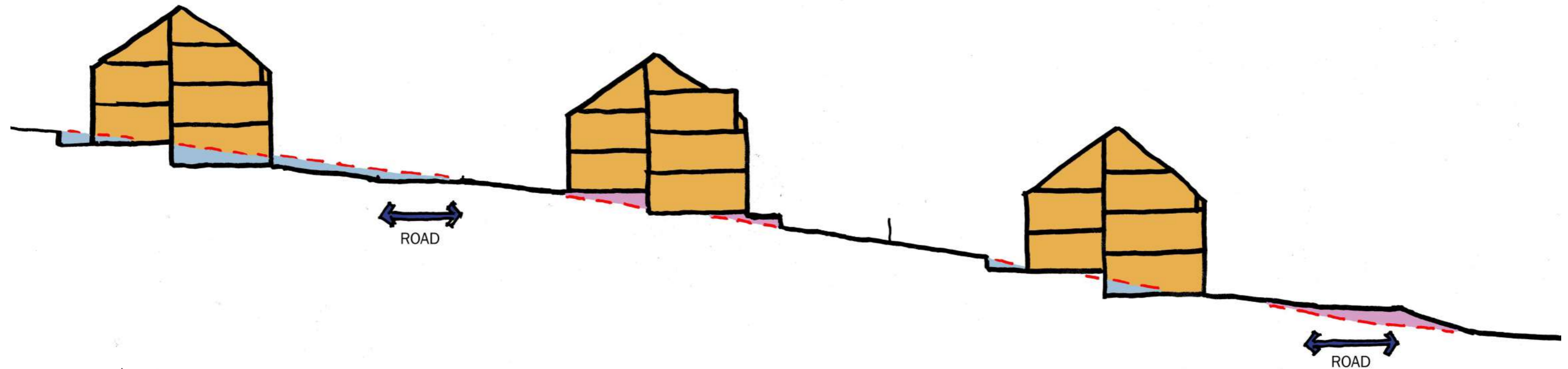


Previous Proposed Section 1:250 @ A3

The 3 storey houses viewed from Lady Ann Road could seem not in keeping with the local vernacular of 2 storey terraced houses.

The proposal is to significantly reshape the existing slope,

with major cut and fill, to accommodate the house types, with the landscape being adapted to the houses.



New Proposed Section 1:250 @ A3

The house types use a half split level layout, so that the floor level at the upper and lower side are almost at grade. The effect of this is:

The amount of cut and fill is drastically reduced.

The houses sit in the landscape and work with the slope, as the neighbouring terraces do.

The lower slope elevation, facing Lady Ann Road will read as 2 storeys.

The 3 bed house will be 2 storey split level and the 4 & 5 bed houses will be 2/2.5 storey split level.

The half storey in the roof will normally have roof light, with just the 5 bed and one type of 4 bed having dormers.

3.3 House Sections

Sections showing the half level split plan.

Lower slope elevation reads as 2 storeys with a skylight and exceptionally a dormer.

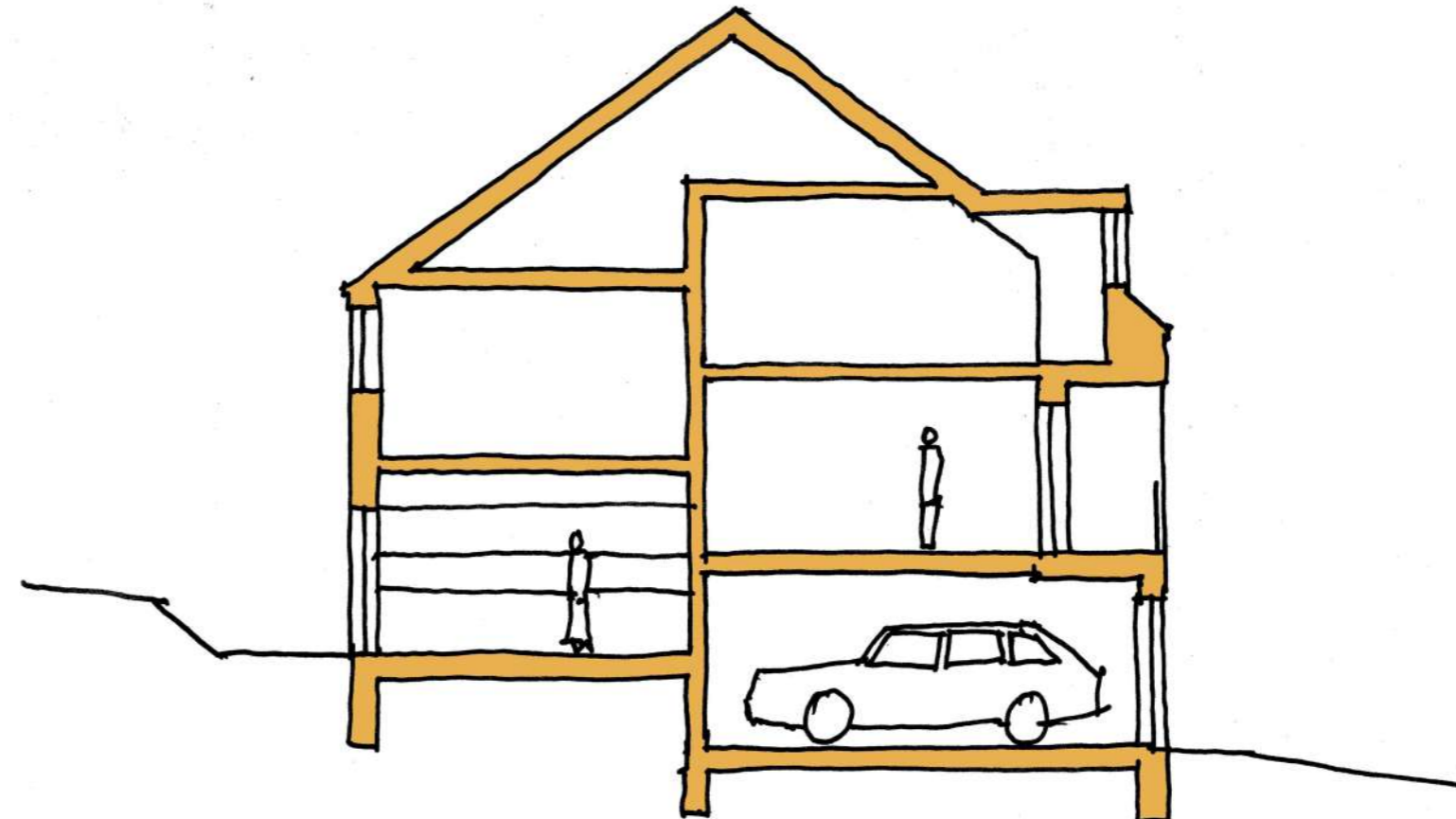
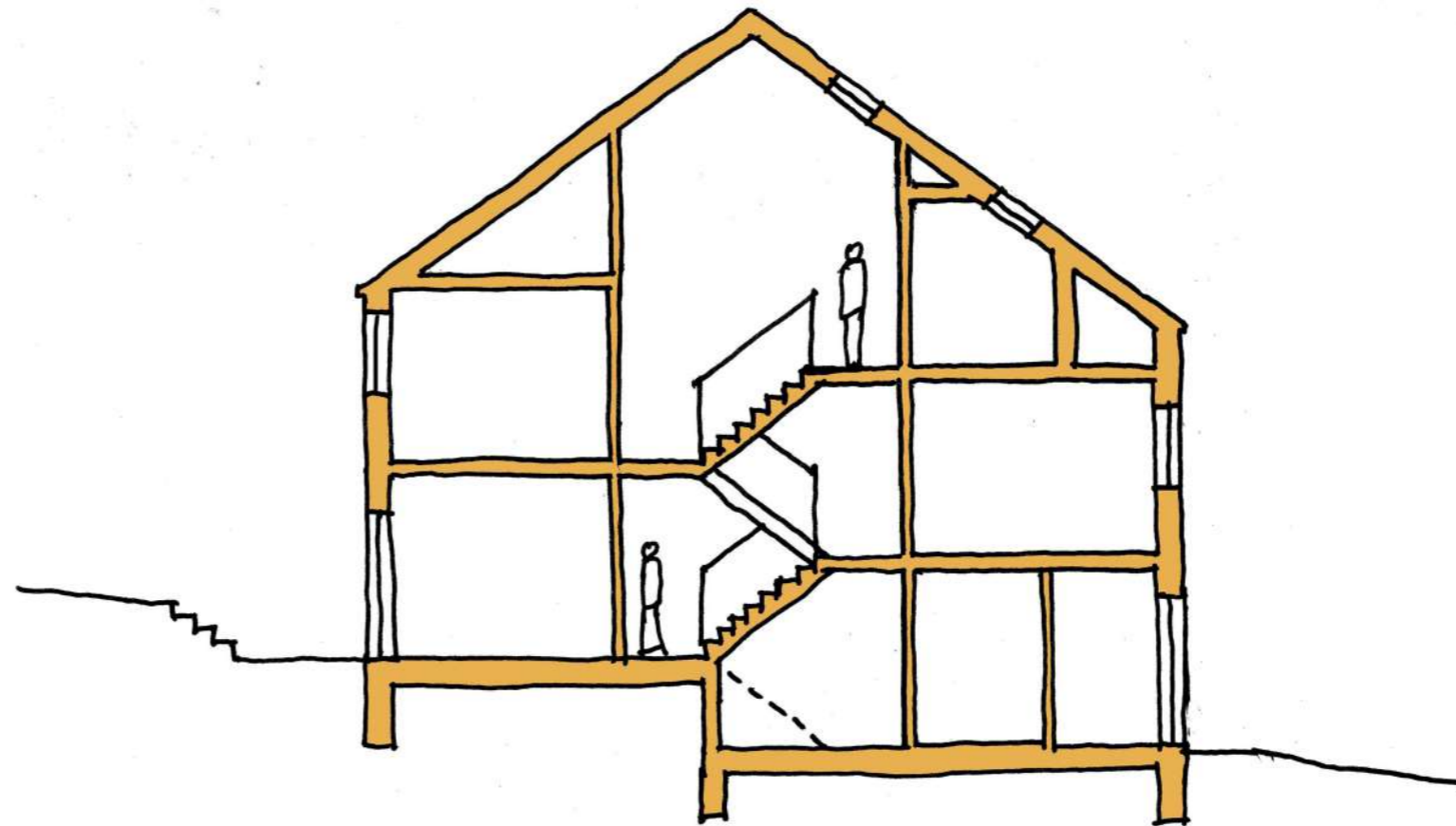
Higher slope elevation is 2 storeys.

Lowest level on both split levels is at near grade, fitting into the slope.

All habitable rooms will have natural light.

The one storey retaining structure is no longer required.

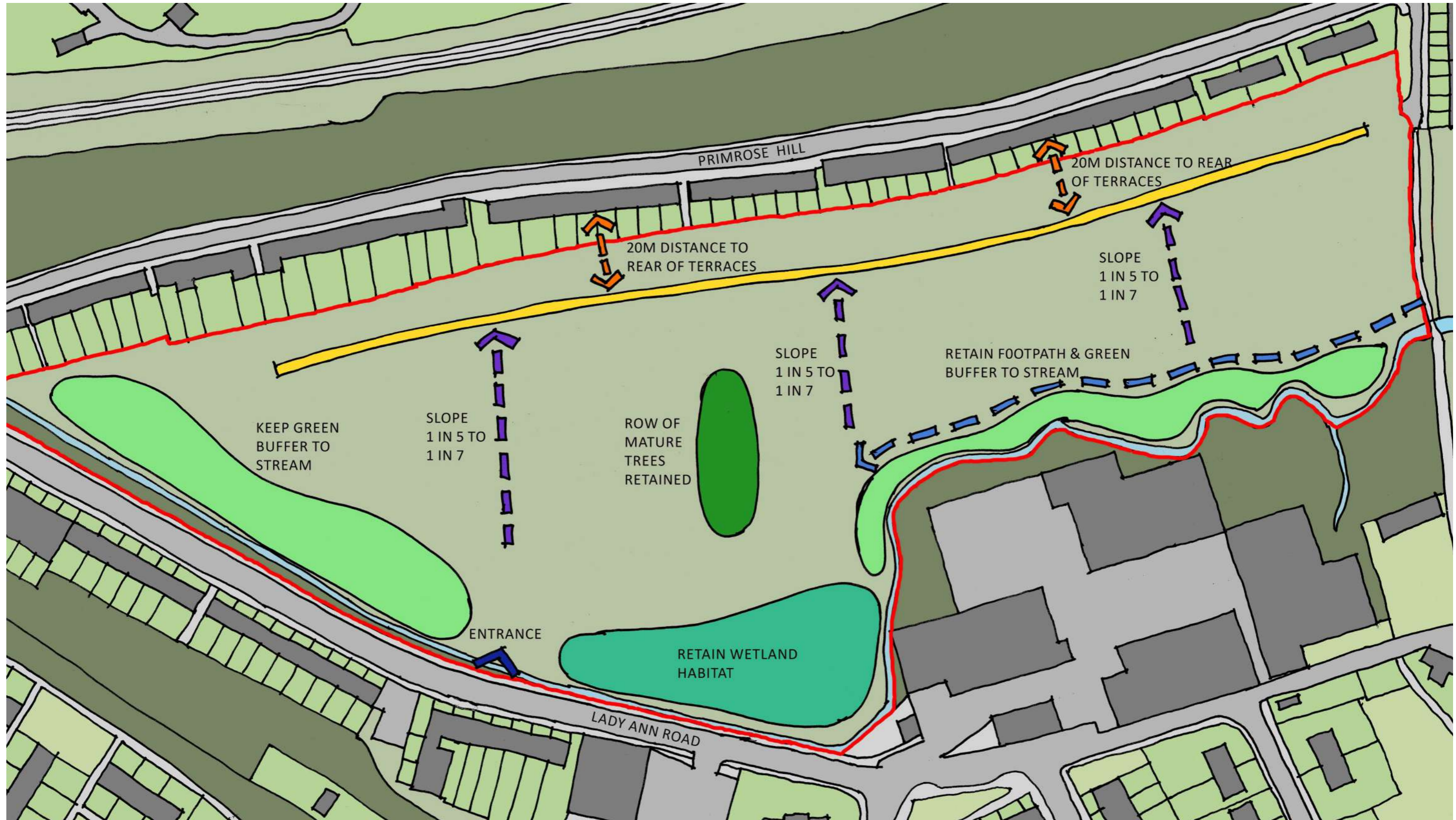
Proposed roof slope both sides 30-35 degrees.



1:100@ A3

3.4 Site Analysis

1:1000@ A3



The slope of the site at 1:5 to 1:7 is significant and effects the house types, roads and landscape. The wetland and a natural landscape buffer to the stream needs to be retained.

A row of mature of mature TPO trees need to be retained. A circa 21m distance should be created between the new houses and the back of the Primrose Hill terraces. A footpath route to the West of the stream should be re-

tained. The entrance to the site should be mid-way along Lady Ann Road.

3.5 Sketch Scheme August 2022

1:1000@ A3



The revised scheme delivers 71 houses. They are predominantly 2/2.5 storey split level houses with integrated garages. The entrance road is now defined by 6 smaller 3 bed semi's, that step up the slope and only have 2 external parking

spaces. These smaller houses overlook the play area and their scale relates more to the existing terraces. 4 semi's overlook the wetland on the lower spur road. A row of 14 semi's face Lady Ann Rd, creating a defined edge

to respond to LAR and give a backdrop to the entrance road. The upper side of the main street then breaks open to rows of 3 individual 4 bed houses interspersed with a 3 or 4 bed semi.

On the lower side of the road there is a mixture of 3, 4 and 5 bed semi's, with a row of detached houses at each end of 2 x 5 beds and a 6 bed.

3.6 Kirklees Response to August 2022 Scheme

1. A separation distance of 20m is shown to units on Primrose Hill. Our design SPD would seek a minimum of 21m.
2. The principal concern remains that of the size and spacing of the units.
3. The SPD seeks a side to side separation distance of 4m (2m dwelling boundary). Its unclear if this is achieved, but appears not to be the case. 4m is an ideal, and unlikely to be achievable on this site, but the concern remains that the development is seemingly cramped.
4. The site is dominated by front parking with limited spacing between parking areas, contrary to the aims of our House builder Design Guide SPD. The proposal currently creates a sea of tarmac that would offer a bland, unattractive appearance along the long main road. I accept front parking as a necessity along the majority of the main road due to the levels issue, but greater effort to space parking out with greenery between should be made (street trees are a necessity and would likewise help).
5. Efforts should be made to accommodate side parking for the units surrounding the play area, which are the most prominent from outside the site, along with street trees as well. This may allow the units to be moved forward and make an engaging frontage, although this may not be suitable for the unit closest to the access. This elevation should appropriately address the entrance.
6. Every unit on the site, bar 6, has a garage. This is not necessary and contributes to the large size of the units. Our SPD requires 3-bed units to have 2 parking spaces, not the 3 currently provided. Removing the garage and having smaller units would assist, or for some plots having a single external parking bay (with second via garage) and a front garden.
7. While I am not objecting to the housing mixture from an 'in principle' housing needs perspective, reducing the number of 4 beds and increasing 3 beds would allow for smaller units which would improve the space about dwellings and parking issues. Therefore, from a design perspective, it remains recommended that the housing mix be reconsidered. Likewise, the inclusion of terraces as a higher density of accommodation in appropriate areas would benefit the design.
8. Street trees must be provided. This is a national and local requirement for all proposals.
9. The design around the TPO'd trees in the centre needs to be led by an arboriculturist and evidenced by Arboricultural Surveys and Impact Assessments. While I accept these plans are early, I do have concerns over the proximity shown. Due to the levels, I acknowledge getting units to front this area would be difficult, but I'd still expect it to be 'celebrated' and made a feature of within the development. At the moment it seems poorly integrated into the proposal. A path connecting the two roads would be welcome.
10. 18 visitor parking bays are required for the development. These should be spread out through the site. Currently 13 are shown, these are clustered around the centre of the site. Visitors to units on the far ends are unlikely to park and walk circa 150m to their target.
11. The visitor parking shown under the trees is unlikely to be acceptable. To not harm the trees, it'd need to be a geo-cell construction which is not acceptable from an adoption perspective. Also, visitor parking bays are required to be parallel to the road, not perpendicular.
12. A connection to the PROW along the river is shown and welcomed. However, careful design is required to ensure it is not a rat-run / crime area. It needs to be appropriately overlooked and managed. A balance between secure lighting and ecology will need to be struck.
13. There should also be a connection along the main road to the PROW. This would currently cross a private drive. The connection needs to be adoptable and/or another way secured to keep its public use open. This needs to be considered in the design.
14. The north-east (top right) turning head would require refuse vehicles to reverse 30m. This is too far, and should be moved closer to the end of the road. A maximum reverse distance of 10m is sought.
15. Waste storage and presentation needs to be considered. Waste storage will presumably need to be to the front / side of most units, given the level changes. Storage areas should be screened and accommodate 3 bins. Dedicated presentation points per dwelling, to prevent bins covering the road and pavement are requested, and necessary specifically for private roads.
16. The predominance of dormers in the design is a cause for concern. They are not a feature common within the area, and the prevalence of that proposed would be out of keeping in most areas. While not opposed to the inclusion of some dormers, I believe a much the same internal arrangement could be achieved via rooflights, which would be much more suitable from a design perspective.
17. Details on architectural detailing are limited at this time. Effort should be made to ensure suitable harmonious design which appropriately reflects predominant characteristics of the area as has been discussed previously.

Design Response to Kirkless Comments



1. A separation distance of 21-25m is shown to rears of the houses on Primrose Hill.
2. The size of all the 3 bed houses has reduced with the omission of the garages. The previous scheme had 85 houses out of 71 with garages, 92%. There are now 28 out of 65 houses with garages, 43%. All the house designs have been tightened up to reduce the area.
3. The side to side previous separation distance of 3m (1.5m to dwelling boundary) minimum has been increased to 5.5m.
4. Front parking occurs to the 3 types of 4 bed and the 5 beds.
5. Side parking has been introduced to 2 types of 3 beds and 1 type of 4 bed, to allow for front gardens. 37 out of 65 houses have a front garden with no parking on it.
6. The garages have been omitted from all the 3 bed houses. For the 4 & 5 beds an integrated garage and 2 off street parking spaces are provided.
7. On the clear recommendation of Kirklees Council the number of 3 bed houses have been increased and the number of 4 beds reduced. Detached houses have been omitted, as have the 6 bed houses, with the number of 5 beds also reduced.
8. Street trees were shown in the August 2022 scheme. The number of street trees has now been doubled.
9. A path connecting the two roads has always been part of the proposal. However due to KC's concern of how the row of trees relate to the housing, one side of the trees has been opened out to the landscape in the direction of the stream, by the relocation of a house. The houses have also been pulled back from the TPO trees to allow a buffer.
10. The August 2022 scheme has 16 visitor spaces, with a maximum distance between visitor space and house of 85m. The visitor parking is now spread across the site with 16 spaces provided (at a 1:4 ratio) and the furthest distance is 35m to walk.
11. The parking spaces are all side on, but this is clearly inefficient and creates an odd road configuration at the North. The parking to the street next to the TPO trees is side on and not under the trees.
12. The path along the stream is opened up with the path connections along the trees and in the North. This will create more observation and reduce the Secure by Design risks. The client will be led by KC's recommendations on lighting and fence design in this location.
13. The PROW does not connect across a private drive or need too. The PROW connect to the main road (Lady Ann Road) via the entrance road pavements and across an existing foot bridge.
14. The scheme has always shown a bin store next to the turning head for these houses, as identified on previous iterations. This continues to be the intention in the latest layout.
15. Waste storage is to be in bin stores to the front or side of the houses. House type 4B T1, 4B T2 & B5 T2 show bin stores.
16. In making the houses more compact the majority of dormers have been omitted. The removal of the garages from the 3 beds, means they no longer have a roof space. Only the 4B T3 and 5B houses have dormers. This is 14 houses from 65, 22%. It was previously 92% of houses.
17. Information on architectural detailing will be forthcoming, once the layout, scale and massing has been agreed with KC.

3.7 Revised Site Concept 18.10.22

1:1000@ A3



A row of terraces is introduced to front onto the play area, with front gardens. The houses to the West of the play area have the parking to the sides to allow front gardens. The play area is now observed by 2 rows of houses to give it

greater protection and it also forms the heart of the new development and links back to the existing Lady Ann Rd houses. The distance between the rear of the Primrose Hill houses is now 21-25m.

The retained row of trees are given more importance by opening up to the existing landscape, with a buffer zone and a path linking to the stream path. A new path is added from the turning head to the path along the stream, opening this

out and creating more surveillance. More trees have been added to the scheme. and especially the street.

3.8 Proposed Sketch Scheme 18.10.22

1:1000@ A3



The revised scheme delivers 65 houses. The 3 bed houses are 2 storeys with no garages. The 4 & 5 bed houses are 2/2.5 storey split level houses with mainly integrated garages. The entrance road is now defined by 3 bed terraces, that

step up the slope and have 1 side on parking spaces to the street and a space at the end. The semi's on the other side to the play area have side parking allowing front gardens. The houses overlook the play area create natural surveillance and

relates to the existing neighbours. 2 houses overlook the wetland on the lower spur road. The new road is defined by mainly 3 and 4 bed semi's each side, with front parking and opens out at the end to the turn-

ing head that leads to the stream.

3.9 Planning Response 07.11.22 to Revised Scheme 18.10.22



Thank you for your patience in awaiting this response. While we have our meeting tomorrow, I wanted to get an overview over to you as a starting point.

While I'll have to reserve full comments until detailed plans are provided and I received consultee comments, I'm happy to say the overall approach put forward is welcomed and the principles outlined are accepted. The layout offered and approach to site levels is a vast improvement and we appreciate the work you've put in to reach this stage.

As indicated, there will inevitably be more technical comments to come on the layout, however we invite you to progress on this basis. I would however highly recommend that you continue the detailed design in close association with a Highways consultant. I'd also direct you to the consultation responses received to date on the proposal, which outline expectations for the proposal. While all should be reviewed, I'd particularly highlight the concerns raised by K.C. Highways, K.C. LLFA, and K.C. Ecology. Please also ensure any future plans continued to address the historic concerns of the EA.

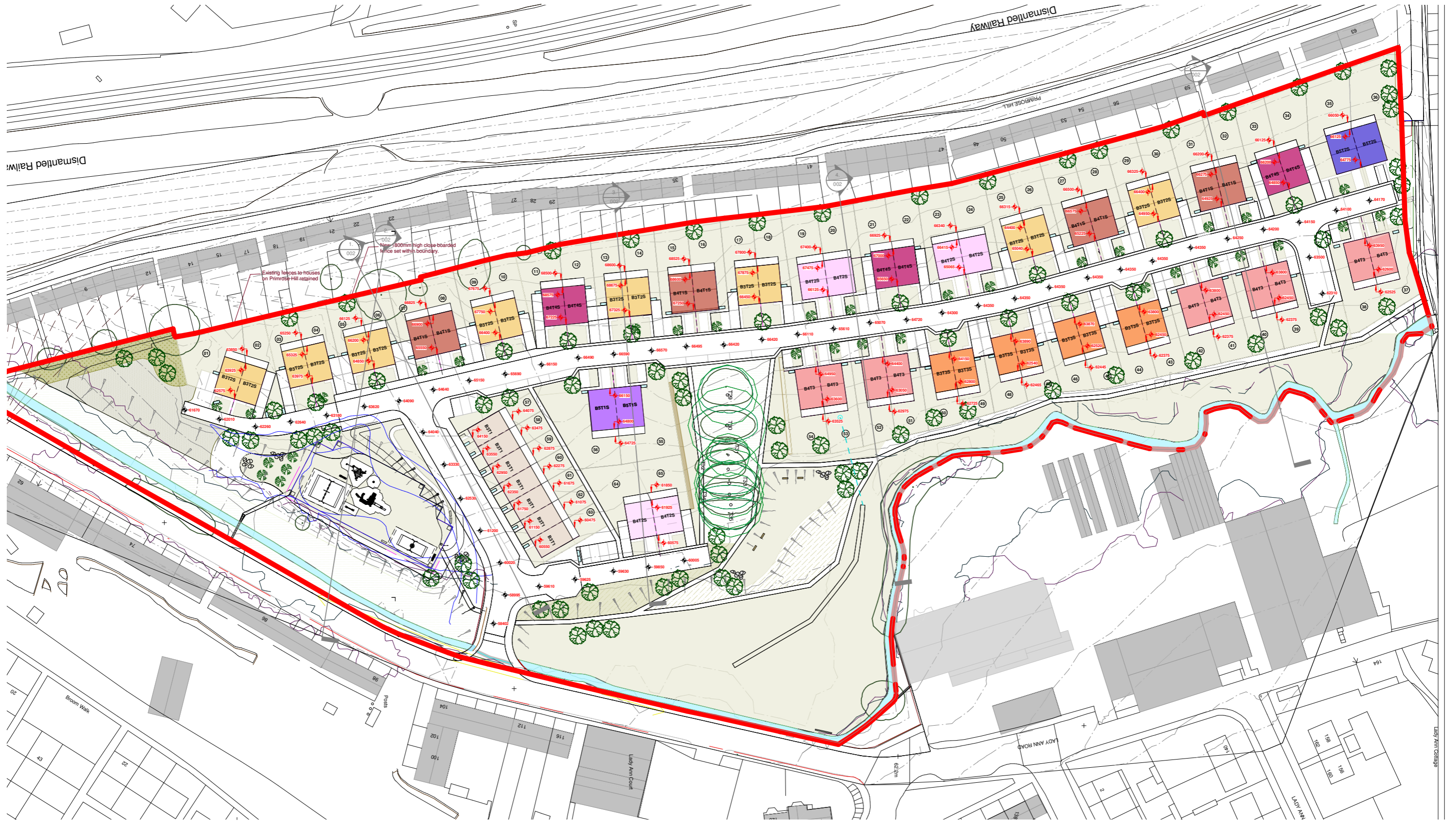
Site Layout

4.0

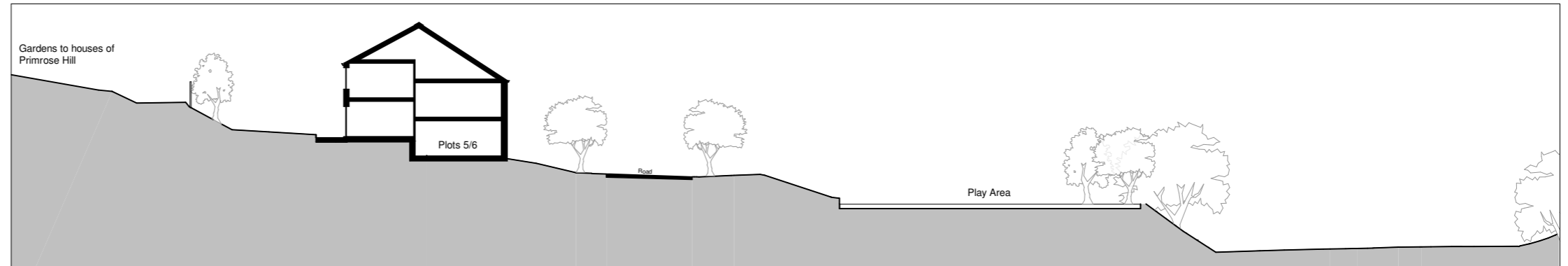
4.1 Site Layout Plan



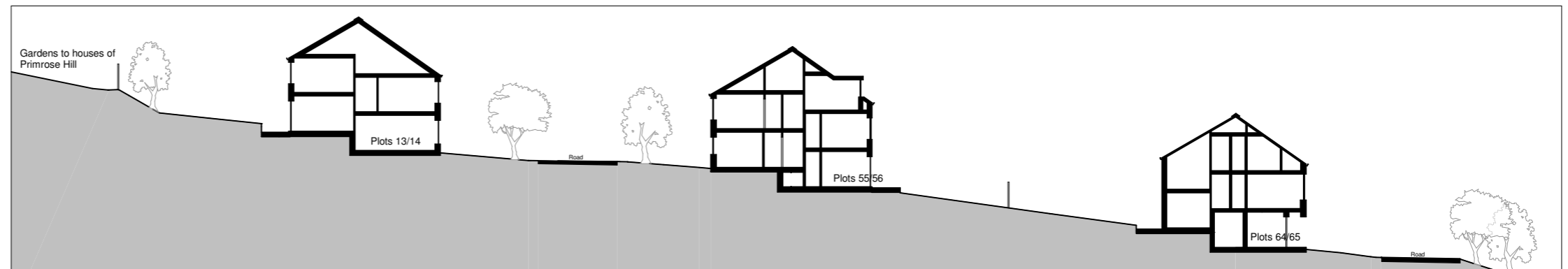
1:1000@ A3



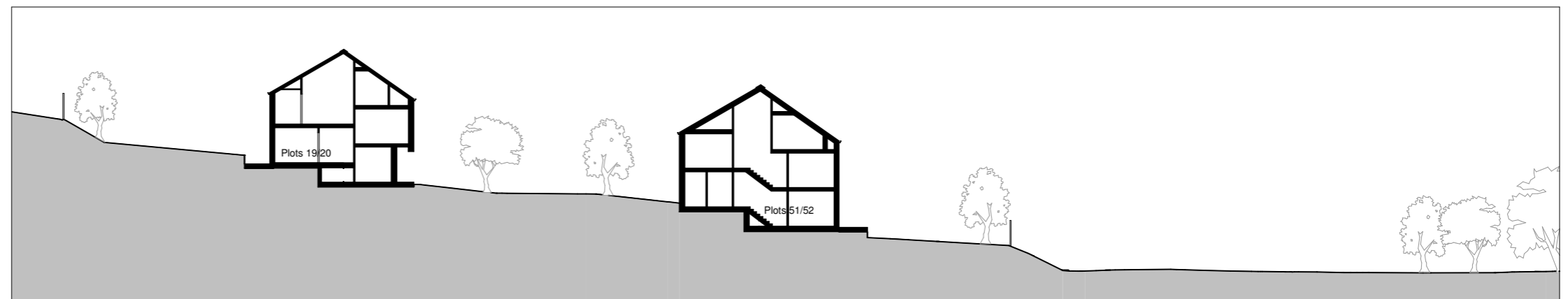
4.2 Site Sections



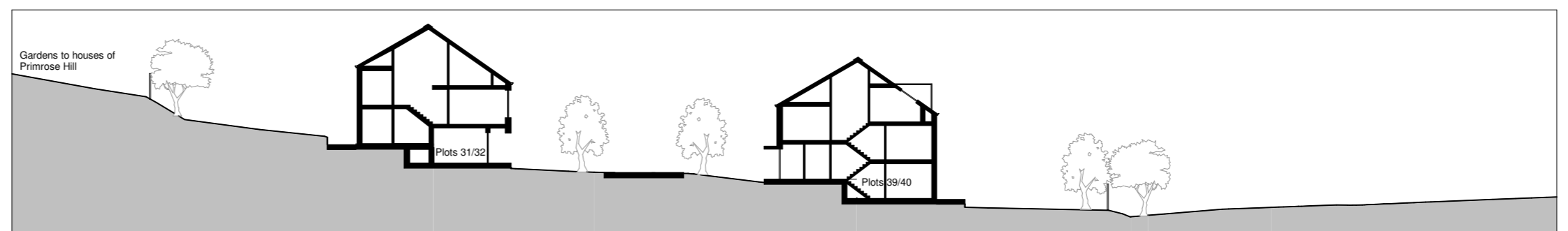
Section 2



Section 3



Section 4



Section 5

Elevation Treatment

5.0

5.1 Local Vernacular

The adjoining street of Lady Ann Road, Primrose Hill and Howley Street are mainly composed of 19th century terraced houses, with a few 1980's terraced houses. The 19th century houses are faced in stone and red brick, with the more modern houses in a buff brick.

To the NE corner of the site is the Lady Ann Business Park, with a central large 3 storey 19th century warehouse and other 1 and 2 storey buildings of stone, brick and metal cladding.

The neighbouring streets have an eclectic mix of houses and finishes. The extension to Lady Ann Road has 1970's council houses with red brick and tile hung elevations. Sykes Road has post war terraced houses in red brick and council terraces from the 70's in buff and red brick. Sykes Close has 3 number 3 storey council blocks of flats, with flat roofs and walls of buff and brown brick and pink render. To the East Benny Parr is an estate of new houses composed of semi's and terraces in buff brick, with red brick banding and timber lean too porches.

Lady Ann Road - 1, 2, 3 & 4

The section of the road opposite the site is composed of terraced houses, with even banded Yorkshire stone. A smaller 1st floor window is aligned to the front door and the ground and other 1st floor window aligned. All the houses have had their original windows replaced. The rear elevations are in red brick, with the side gables in stone and render.

Primrose Hill - 5, 6, 8 & 9

The majority of the houses are red brick 19th century terrace houses, of which half have the front facade rendered or painted to the street. There are 4 houses to the South with stone frontages. To the North there are 4 1980's semi's in buff brick. To the rear elevation a majority of the house have a stone facade.

Howley Street - 7

The 9 houses of the street form a single terrace, which steps down the slope to a pathway. The houses are fronted in evenly banded natural stone, with red brick to the gables and rear.



5.1 Local Vernacular

1. Lady Ann Rd, light industrial 1 & 2 storey buildings in stone
2. Lady Ann Rd, large semi built in stone
3. Primrose Hill, rear façades in stone
4. Benny Parr Cl, modern houses in buff brick
5. Lady Ann Business Park, 3 storey brick warehouse
6. Sykes Rd, 70's buff and red brick council housing
7. Sykes Close, 3 storey 70's council flats with buff and brown brick and pink render



5.2 Facade Design

Principals from Context

The facade design takes the use of the elevational material from the neighbouring context.

The main facade is in even banded pitch faced stone. Front elevation of Lady Ann Rd and Howley St and back elevation of Primrose Hill. The secondary facade is in red brick, rear elevation of Lady Ann Rd and Howley St and front of Primrose Hill. The gable walls to Howley St and Primrose Hill are also red brick.

There is also use of render and painted brick on the 19th century buildings. The 3 storey warehouse is in red brick, as our other houses.

Material Strategy

On all the houses the front facade is pitch faced stone, with the rear and gable walls in red brick.

The pitch faced stone bands is to be sourced to match the local stone. The choice of red brick is to be confirmed, but it is to reflect the colour range used locally.

The roofs are to be finished in a cement fibre slate, to match the local slate.

Proportion

The front façades are designed to reflect the local context with aligning a window above the front door and the other ground and 1st floor windows align. Due to the nature of the rooms bathrooms or bedrooms the 1st floor windows need to be smaller and a render panel is introduced to create the alignment with below. This is especially the case with 1st floor windows aligning with garages.

A porch roof is introduced to all the houses except the 3 house types with recessed porches and integrated bin stores.

The rear facade windows are sized to match the room use, with large sliding doors to the kitchen/dinner at ground and proportioned smaller windows at 1st floor for bedrooms and bathrooms in general.

The side gable ends have small windows to the stairs and sometimes windows for the WC.

The rooms in the roof spaces in the 4 bed houses are normally lit with skylights, with dormers only used sparingly for one of the 4 bed house types and the 5 bed houses.



Cement Fibre Slate



Rear & Side Elevations Red Brick



Front Elevation Stone



House 3B T1 Front Elevation



House 3B T2 Front Elevation



House 4B T1 Front Elevation



House 3B T1 Rear Elevation



House 4B T1 Rear Elevation



House 4B T3 Front Elevation

5.3 Street Scene Elevations



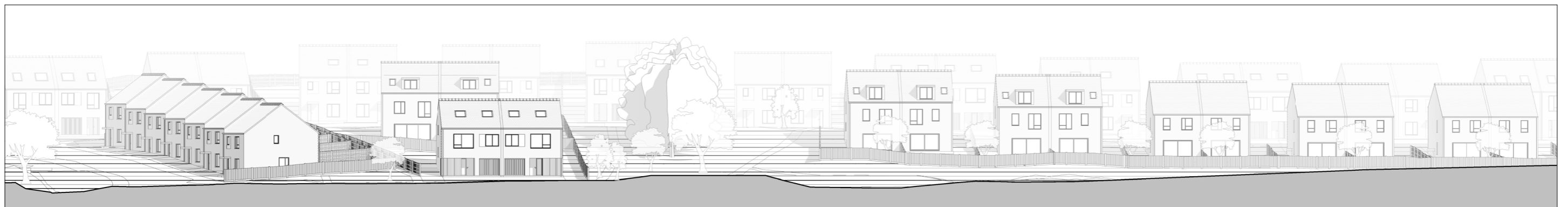
1:500 @ A3



Proposed Street Scene SS1



Proposed Street Scene SS2 -



Proposed Street Scene SS3 -

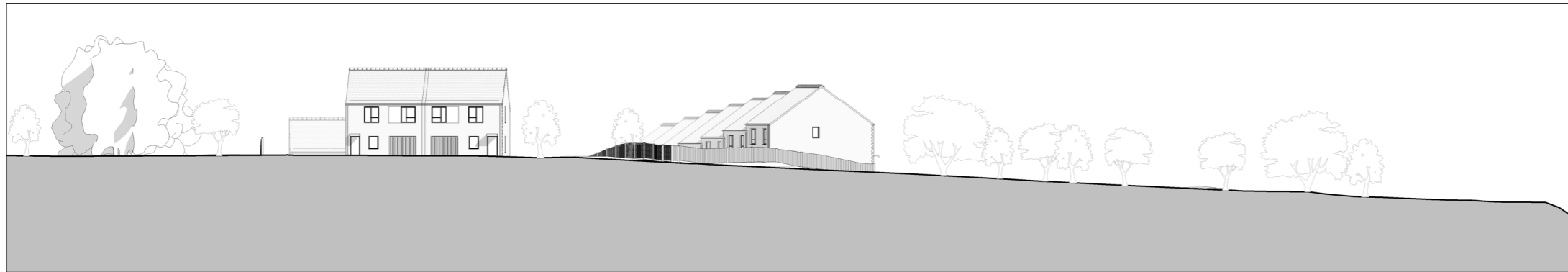


Proposed Street Scene SS4 -



5.3 Street Scene Elevations

1:500 @ A3



Proposed Street Scene SS5



Proposed Street Scene SS6 -



Proposed Street Scene SS7 -



5.4 View from Lady Ann Road



5.4 Street View



House Types

6.0

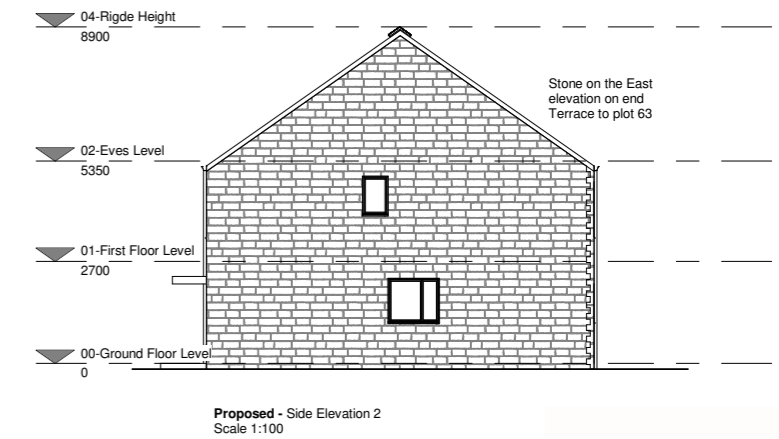
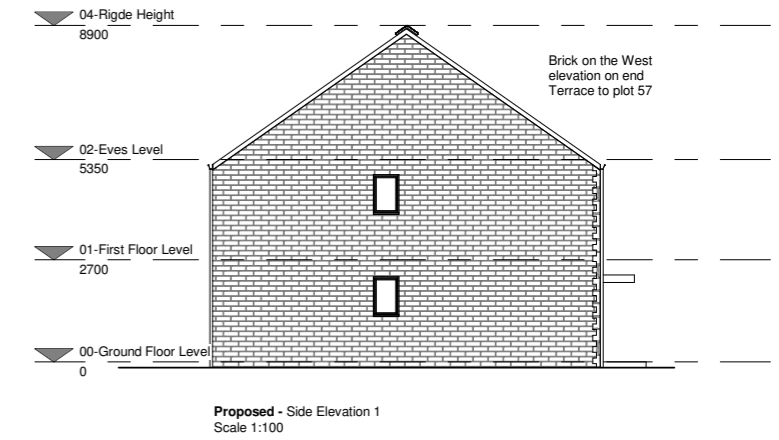
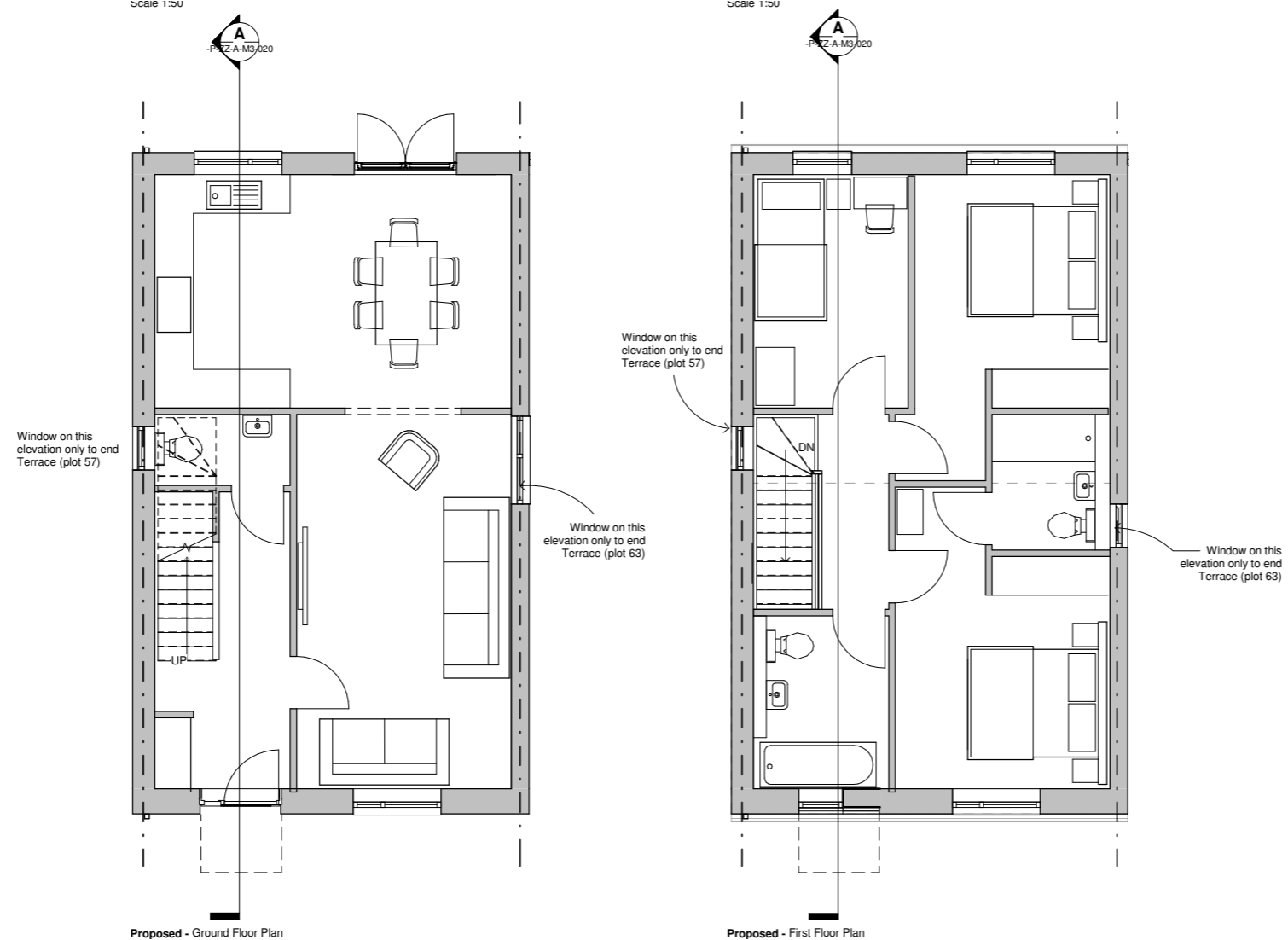
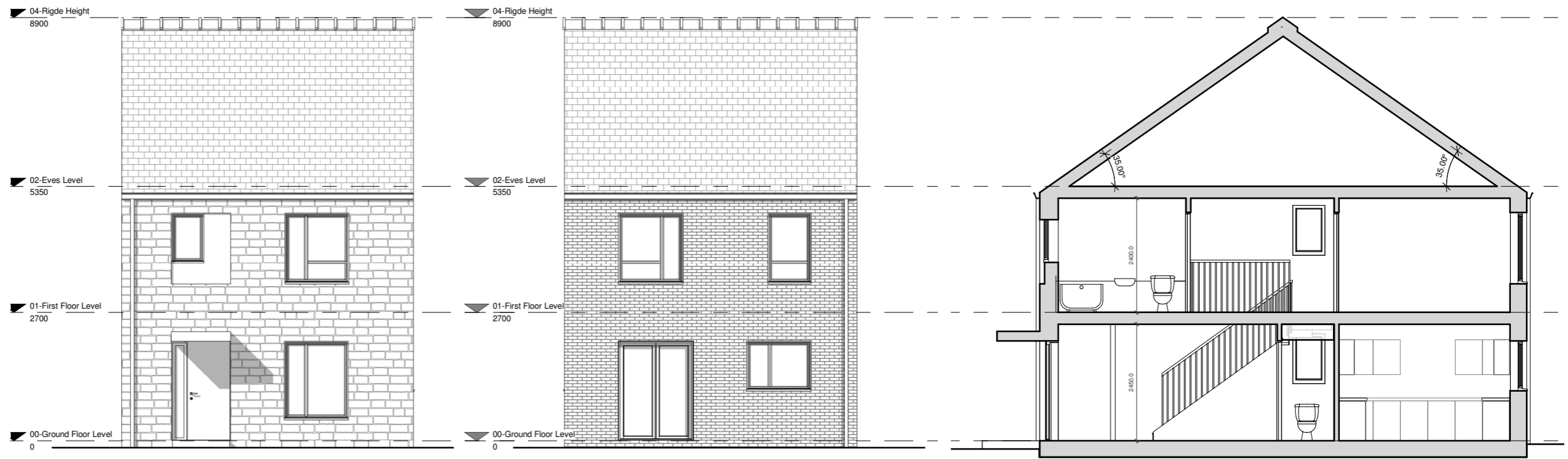
3 Bed Type 1 House



3 bedroom, 2 storey house in a terrace of 7 houses. No garage is provided and gardens are created to the front. Parking is provided by a side on dedicated space in front of the house and a second parking space at the ends of the terrace. The house is smaller than other types and steps up the slope.

The front elevation is in stone, with the rear in red brick. The gable end to the East facing Lady Ann Rd is in stone and the West is in brick. The roof is a slate effect roof tile. The first and ground floor openings align to emphasise the symmetry and this is helped by the render panel to the bathroom. A small cantilevered canopy is provided to the front door.

GIA 102.4sqm 1,102sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

3 Bed Type 3 House



3 bedroom, 2 storey house used as a semi-detached unit. The house is split level with a half storey difference between the front and back. The house is entered at a half storey up and has 2 storeys to the street and 2 to the garden side, using the half storey split level to follow the slope.

The living room is on the street level overlooking the street. The large kitchen and dining space steps down from the entrance and opens to the garden at the rear. 3 bedrooms are on the split level 1st floor.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first and ground floor openings align to emphasise the symmetry and this is helped by the render panel to the bathroom. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and smaller windows to the bedrooms above.

The 2 parking spaces are located to the side or front of the house dependent on location.

GIA 105.7sqm 1,140sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

4 Bed Type 1 House



4 bedroom, 2/2.5 storey house used as a semi-detached unit. Integrated garage and with 2 parking spaces in front or to the side. House entered at the lowest level and has 2.5 storeys to the street and 2 to the garden side, using the half storey split level to follow the slope.

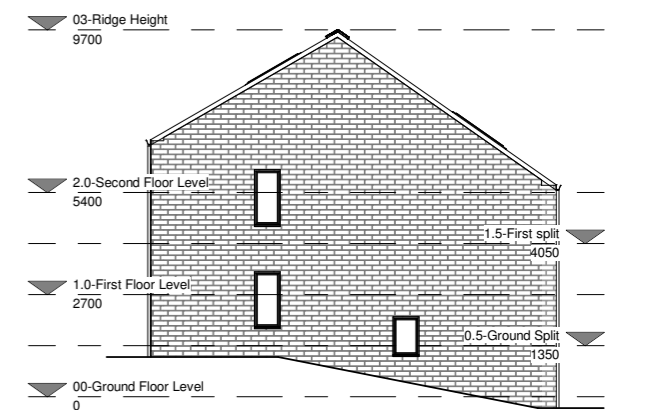
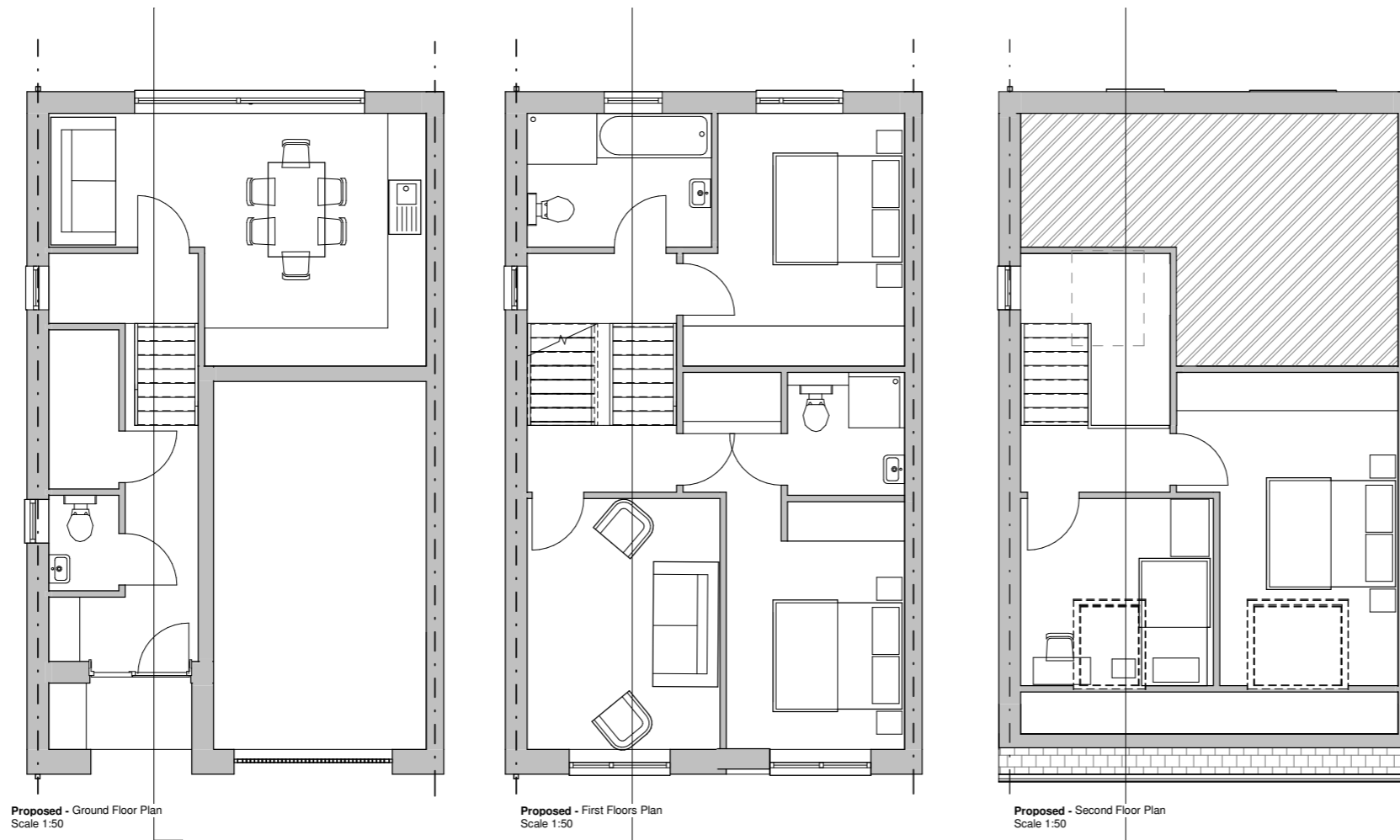
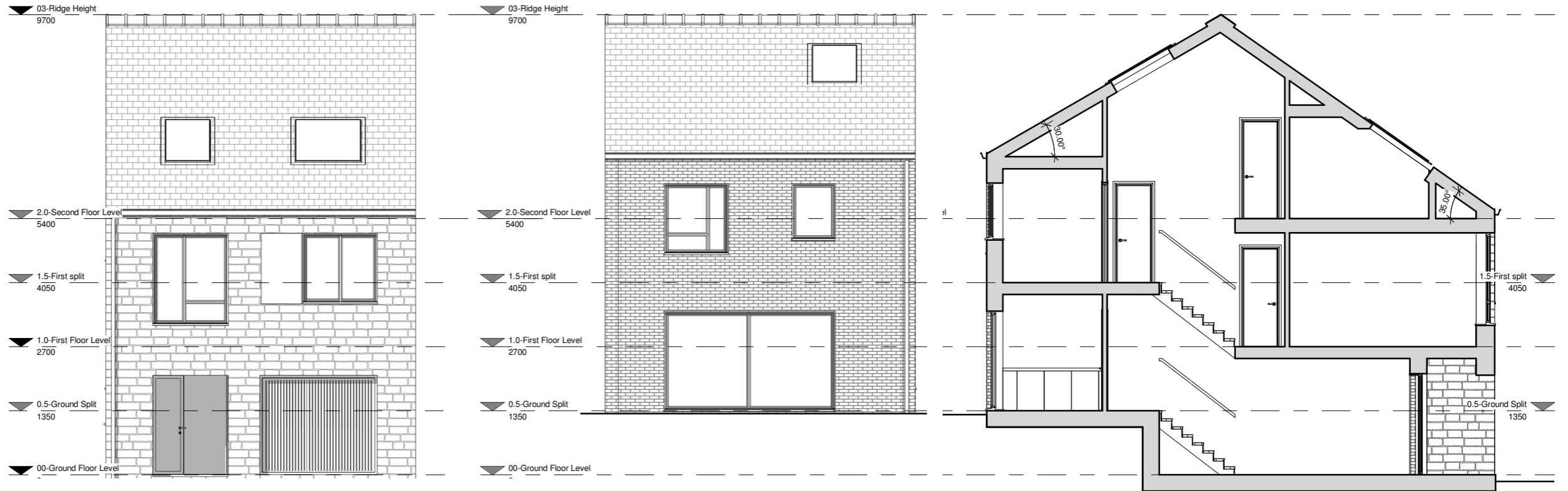
The living room is at 1st floor over looking the street. The large kitchen and dining space opens to the garden at the rear. Master bedroom with an en-suite shower room at 1st floor and second bedroom and bathroom. The 3rd and 4th bedrooms are in the roof space with skylights.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first and ground floor openings to the front, align to emphasise the symmetry and this is helped by the render panel to the bedroom. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and smaller windows to the bedrooms above. The bedrooms in the roof to the front have skylight windows.

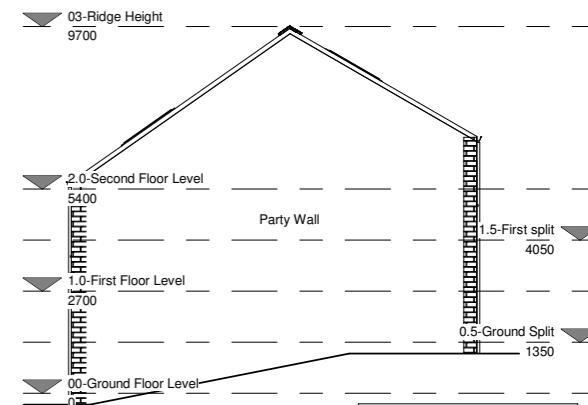
There is a parking space in front of the garage and another space to the side against the boundary fence.

GIA 122.9sqm 1,322sqft

GIA(inc garage) 142.4 sqm 1,532sqft



Proposed - Side Elevation 1
Scale 1:100



Proposed - Side Elevation 2
Scale 1:100

B4 T1 Housetype GIA
122.9 sqm

Drawings at 1:100 @ A3 & 1:200 @ A3

4 Bed Type 2 House



4 bedroom, 2/2.5 storey house used as a semi-detached unit. Integrated garage and with 2 parking spaces in front. House entered at the lowest level and has 2.5 storeys to the street and 2 to the garden side, using the half storey split level to follow the slope.

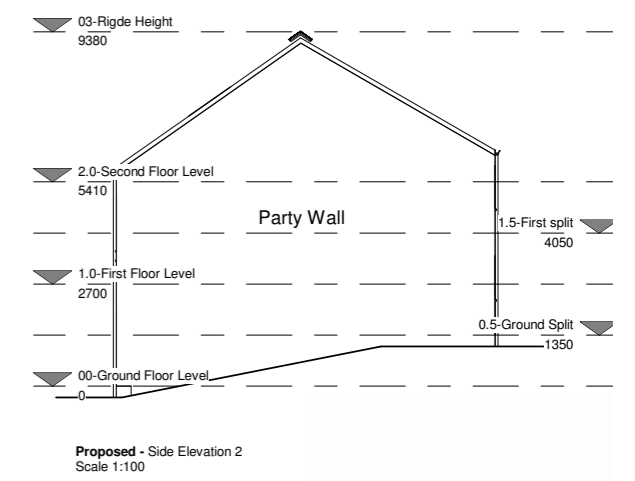
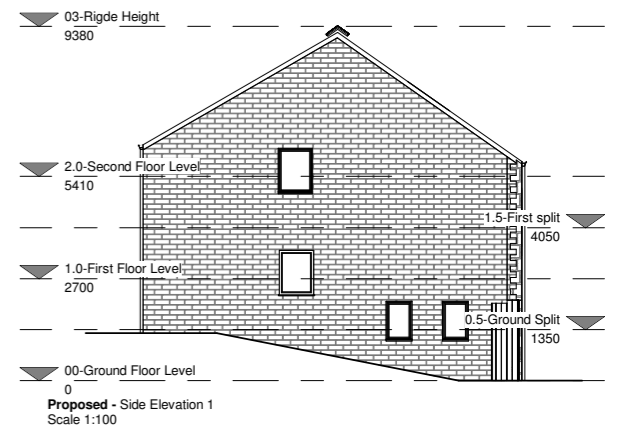
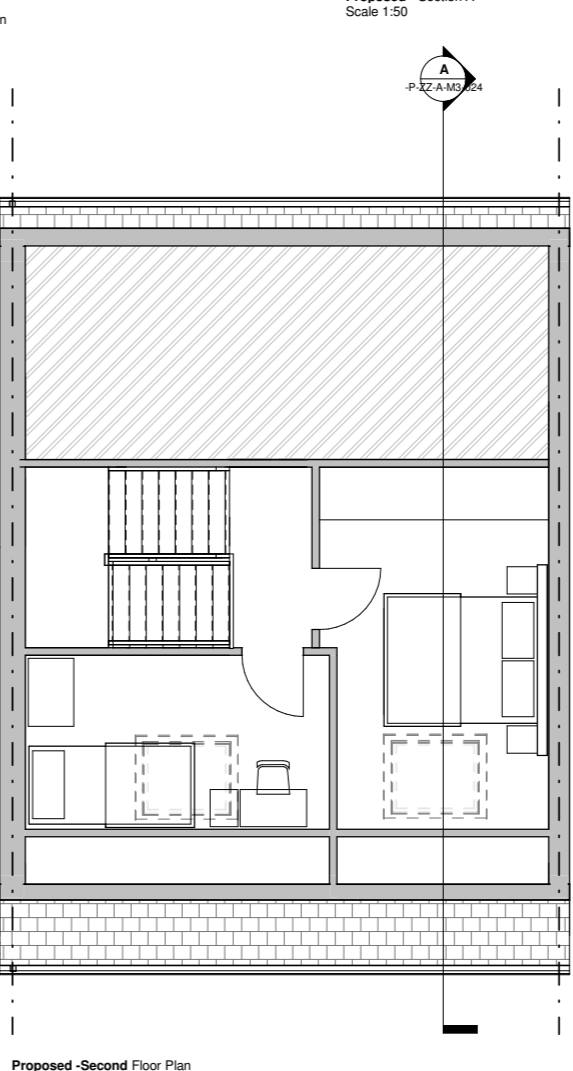
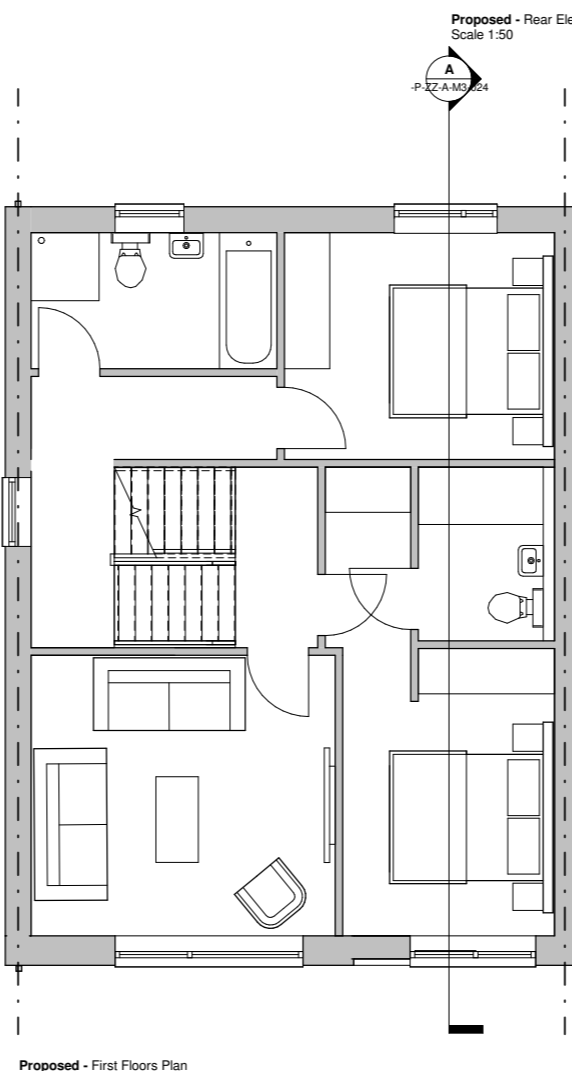
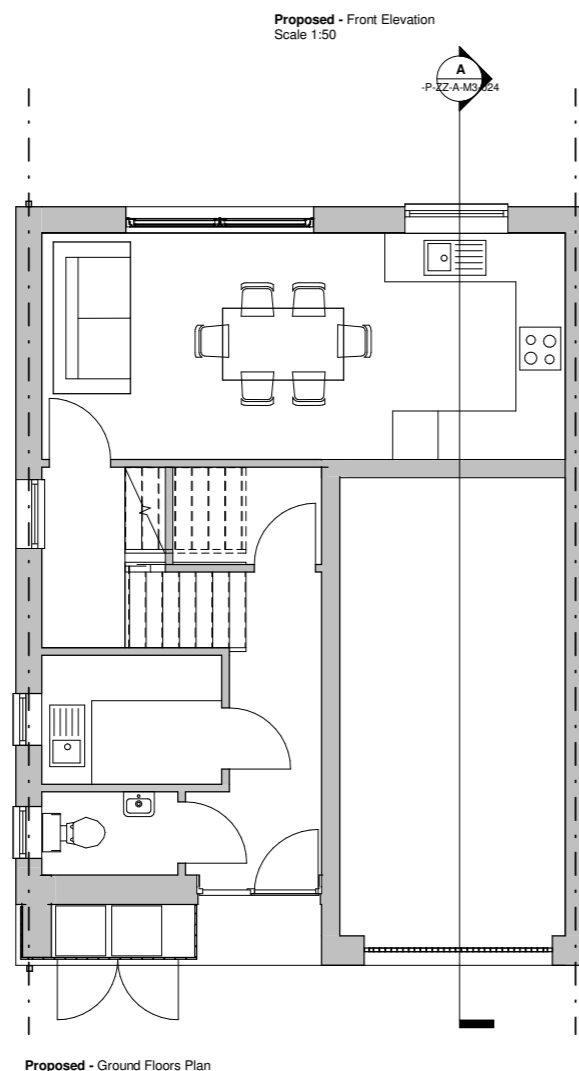
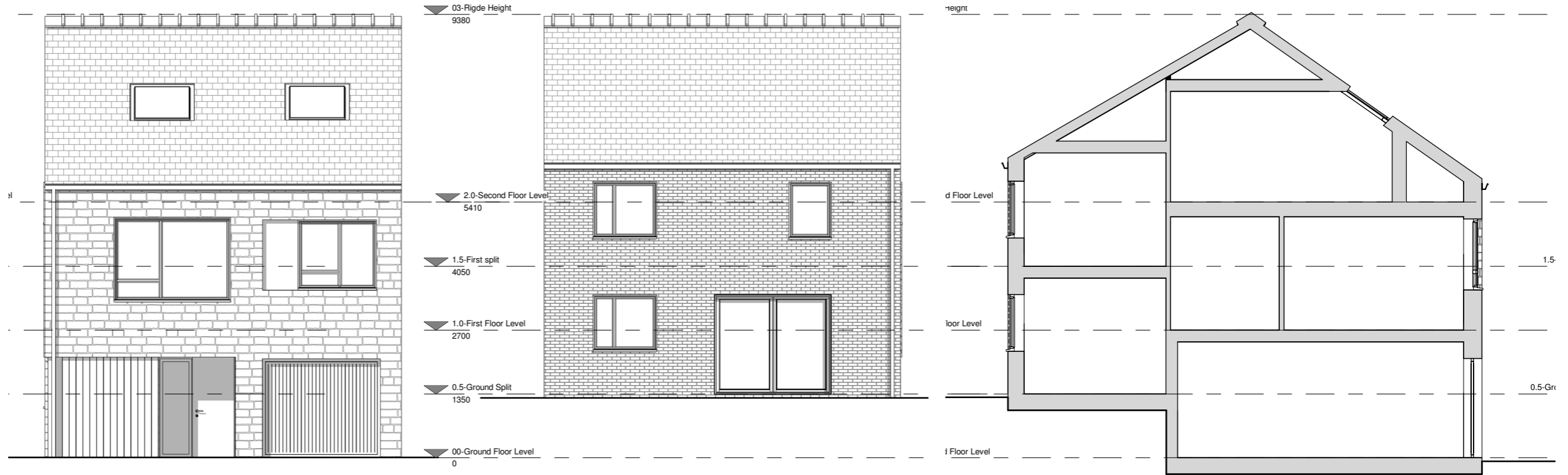
There is a large window to the 1st floor living room. Large kitchen and dining space opens to the garden at the rear. Master bedroom with an en-suite shower room at 1st floor, bedroom 2 and the bathroom. 2 bedrooms in the roof with skylights.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first floor bedroom window and garage door openings align to emphasise the symmetry and this is helped by the render panel. A recessed porch is created to the front door, with a timber clad bin store. The rear has a sliding glazed door to the kitchen / diner and smaller windows to the bedroom and bathroom above. The bedrooms in the roof to the front have skylight windows.

There is a parking space in front of the garage and another space to the side against the boundary fence.

GIA 129.8 sqm 1,396qft

GIA(inc garage) 147.9 sqm 1,591sqft



Proposed - Ground Floors Plan

Proposed - First Floors Plan

Proposed - Second Floor Plan

Drawings at 1:100 @ A3 & 1:200 @ A3

4 Bed Type 3 House



4 bedroom, 2/2.5 storey house used as a semi-detached unit. Integrated garage and with 2 parking spaces in front. House entered at half level up and has 2 storeys to the street and 2.5 to the garden side, using the half storey split level to follow the slope.

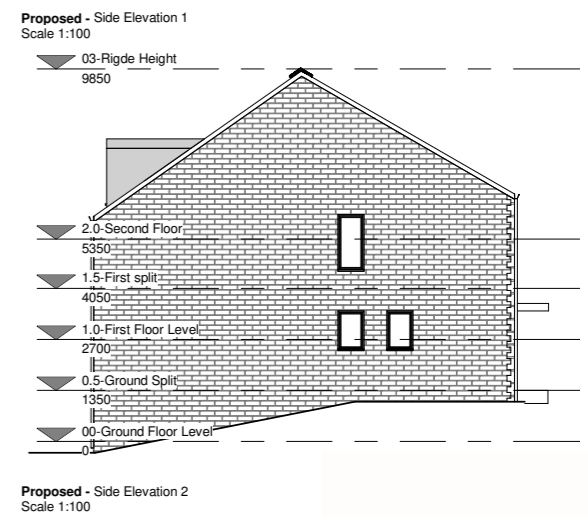
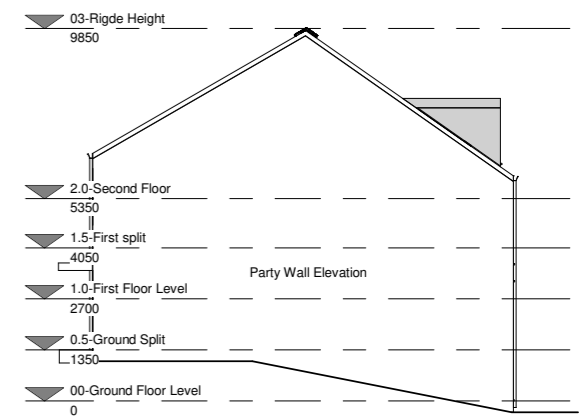
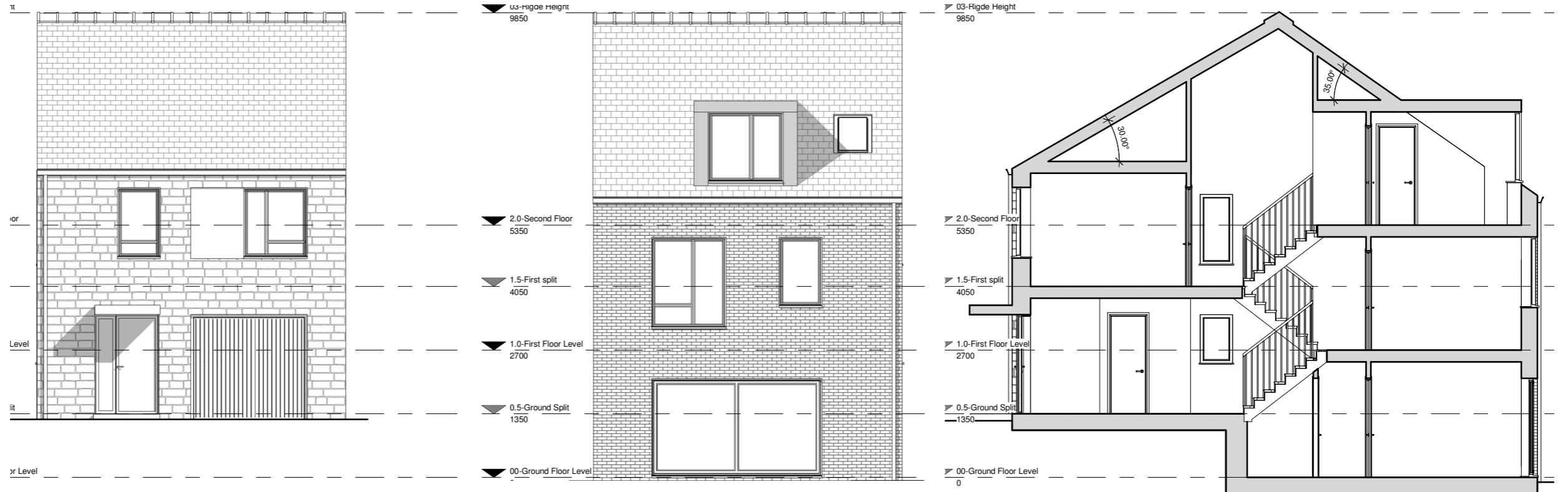
The living room is at 1st floor over looking the street. The large kitchen and dining space opens to the garden at the rear. There are 3 bedrooms at 1st floor with the bathroom. The master bedroom with an en-suite shower room is in the roof space, with a dormer.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first and ground floor openings to the front, align to emphasise the symmetry and this is helped by the render panel to the bedroom. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and a large window for the living room and small window to the bedrooms above. The bedroom in the roof to the rear has a dormer with a skylight window for the shower room.

There is a parking space in front of the garage and another space to the side against the boundary fence.

GIA 126.1 sqm 1,356sqft

GIA(inc garage) 145.8 sqm 1,568sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

4 Bed Type 4 House



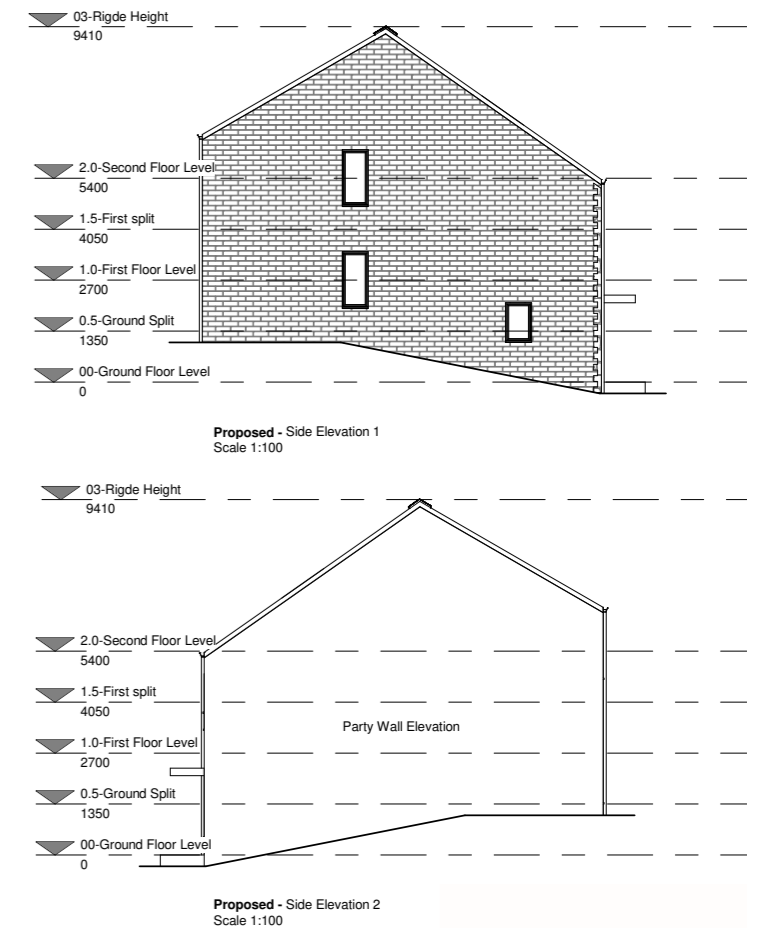
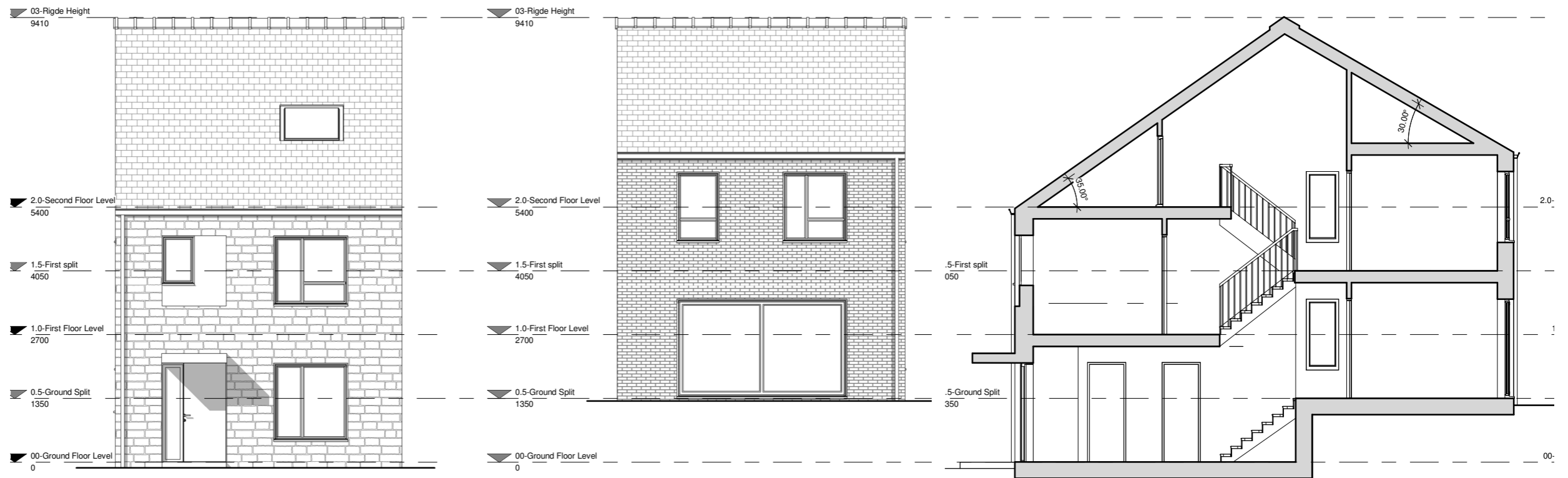
4 bedroom, 2/2.5 storey house used as a semi-detached unit. The house is entered at the lowest level and has 2.5 storeys to the street and 2 to the garden side, using the half storey split level to follow the slope.

The living room is on the lowest level fronting the street. The large kitchen and dining space opens to the garden at the rear. 3 bedrooms are on the split level 1st floor, with a 4th in the roof space.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first and ground floor openings align to emphasise the symmetry and this is helped by the render panel to the bathroom. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and smaller windows to the bedrooms above. There is a skylight to the front roof for the bedroom in the roof space.

The 3 parking spaces are located to the side or front of the house dependent on location.

GIA 127.1sqm 1,367sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

5 Bed Type 1 House



5 bedroom, 2/2.5 storey house used as a semi-detached unit. Integrated garage and with 2 parking spaces in front. House entered at half level up and has 2 storeys to the street and 2.5 to the garden side, using the half storey split level to follow the slope

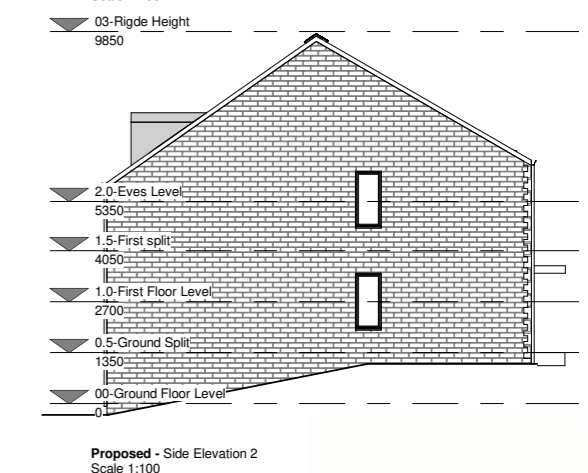
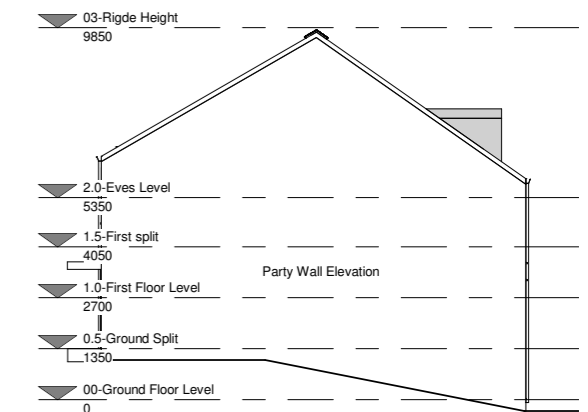
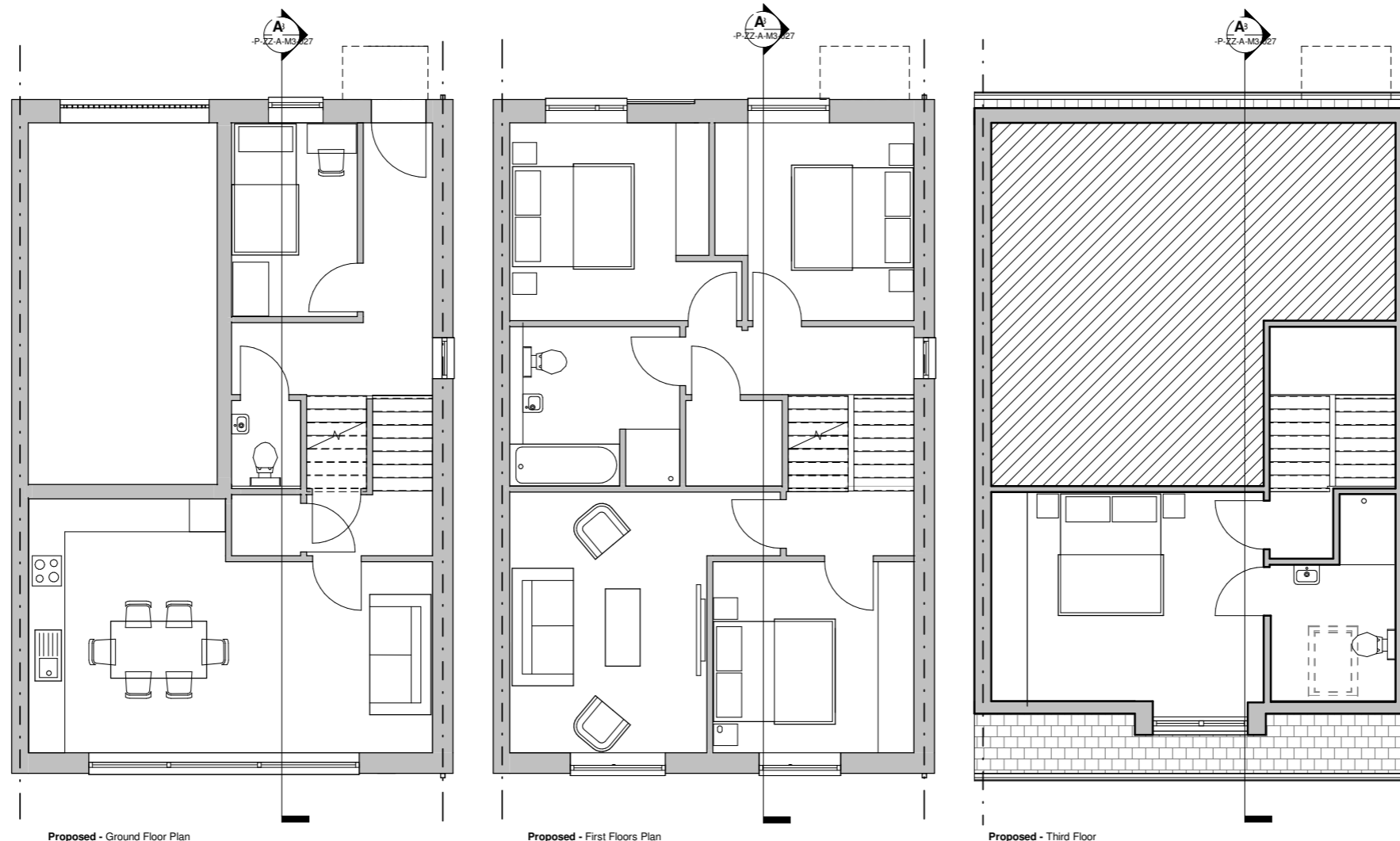
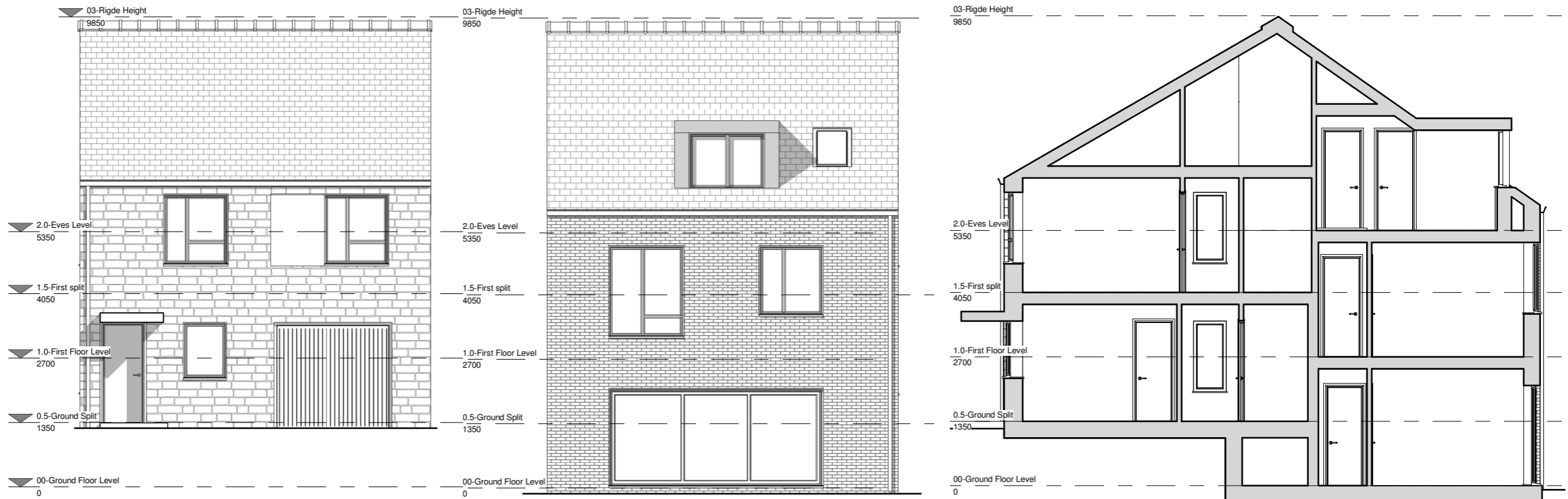
There is a large window to the 1st floor living room. Large kitchen and dining space opens to the garden at the rear. There are 3 bedrooms at 1st floor with the bathroom. The master bedroom with an en-suite shower room is in the roof space, with a dormer. The 5th bedroom is at ground level next to the entrance.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first floor bedroom window and garage door openings align to emphasise the symmetry and this is helped by the render panel. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and a large window for the living room and small window to the bedrooms above. The bedroom in the roof to the rear has a dormer with a skylight window for the shower room.

There is a parking space in front of the garage and another space to the side against the boundary fence.

GIA 146.6 sqm 1,577sqft

GIA(inc garage) 166.5 sqm 1,791sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

5 Bed Type 2 House



5 bedroom, 2/2.5 storey house used as a semi-detached unit. Integrated garage and with 2 parking spaces in front and side. House entered at lowest level and has 2.5 storeys to the street and 2 to the garden side, using the half storey split level to follow the slope.

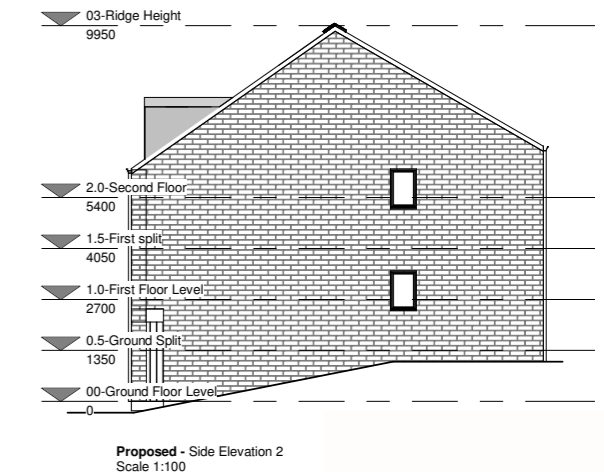
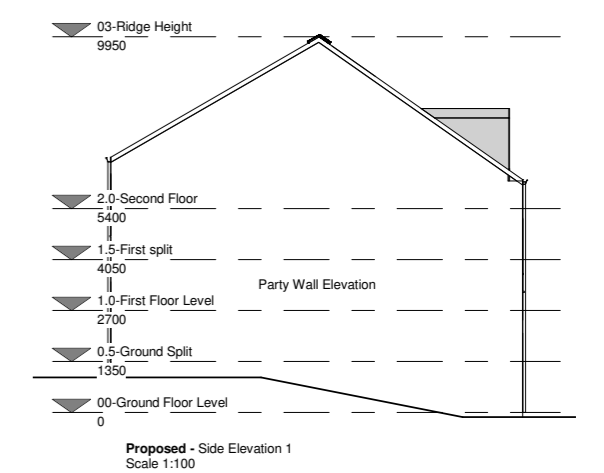
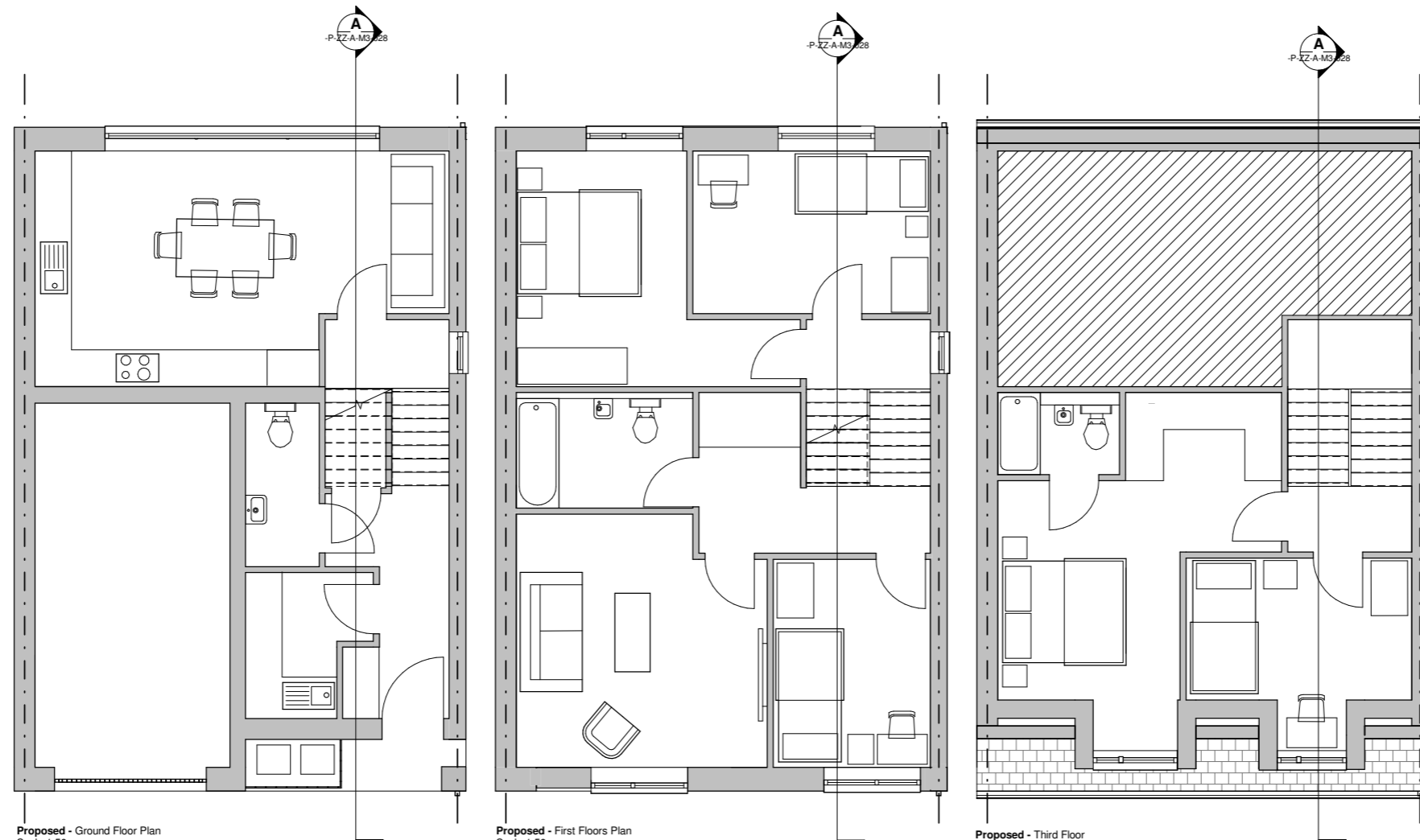
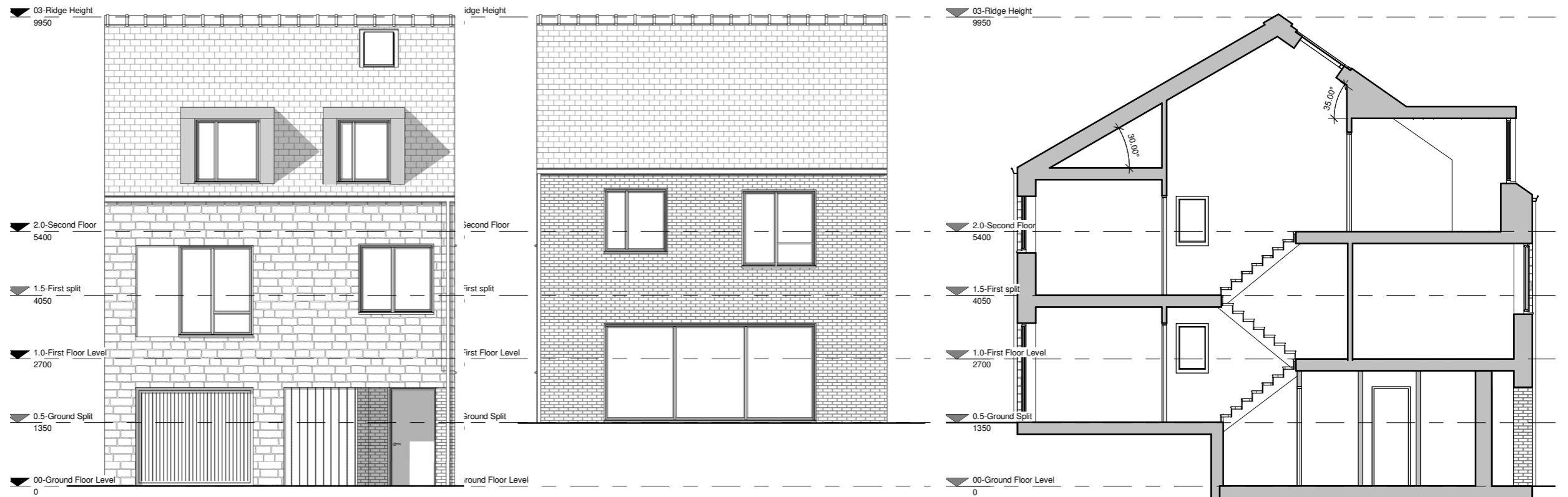
There is a large window to the 1st floor living room. Large kitchen and dining space opens to the garden at the rear. There are 3 bedrooms at 1st floor with the bathroom. The master bedroom and shower room with a single bedroom are located in the roof. A utility room is located next to the front door.

The front elevation is in stone, with the rear and gable walls in red brick. The roof is a slate effect roof tile. The first floor living room window and garage door openings align to emphasise the symmetry and this is helped by the render panel. A small cantilevered canopy is provided to the front door. The rear has a sliding glazed door to the kitchen / diner and small windows to the bedrooms above. The bedrooms in the roof to the front have dormers.

There is a parking space in front of the garage and another space to the side against the boundary fence.

GIA 151.9 sqm 1,634qft

GIA(inc garage) 171.1 sqm 1,841sqft



Drawings at 1:100 @ A3 & 1:200 @ A3

Technical Design

7.0

7.1 Ecology

Brooks Ecological

The proposals have engaged with the NPPF Mitigation Hierarchy and been able to avoid most potential significant effects at the Site. Residual significant effects can be mitigated and compensated on site and secured. An overall net loss in Habitat Units is predicted based on the plans provided, whilst a net gain in Hedgerow and River Units is achievable if the mitigation/ compensation proposed within this report is properly implemented.

Development footprint in relation to existing on-site habitats

The development footprint mapped in black shows the sum extent of proposed built development, as well as re-profiling works required to create the development platforms. Given the Site's topography, banking will need to be created along the eastern boundary. These will represent temporary habitat loss, with existing vegetation removed during the initial Site preparation stage but recreated during construction.

Summary of impacts on existing habitats

Figure 5.2 summarizes the impact of development on existing vegetation, with habitat permanently lost to residential development shown in Red, whilst vegetation temporarily lost during the initial reprofiling operation shown in Orange. 5.5. Habitat retained and protected is shown in Green. 5.6. Areas marked green and orange will be made available for ecological enhancement – details of which would be outlined in the Site's Biodiversity Management Plan (BMP).

Development Footprint in Relation to Existing on-Site Habitats



Summary of Impacts on Existing Habitats



7.1 Ecology

Brooks Ecological

Post Development Habitats

The predicted change in Biodiversity score has been calculated using the Natural England Biodiversity Metric 2.0 Calculation Tool- Beta Test December 2019 Update.

The figures generated are based on the habitats that could be created under a Biodiversity Management Plan. If a BMP is not produced or properly implemented, the predicted change in Biodiversity score shown in the Headline Results can not be relied upon, and an overall Net loss is likely to be incurred.

This exercise identifies an overall Net Loss of -6.11 Habitat Units (-35.04%), and a Net Gain of +1.77 Hedgerow Units (+214.30%) and +0.64 River Units (+24.41%).

Conclusion

An overall net loss in Habitat Units is predicted and offsetting will be required to achieve a net neutral or net gain for biodiversity. Net gains are achievable for Hedgerow and River Units if the mitigation proposed is undertaken.

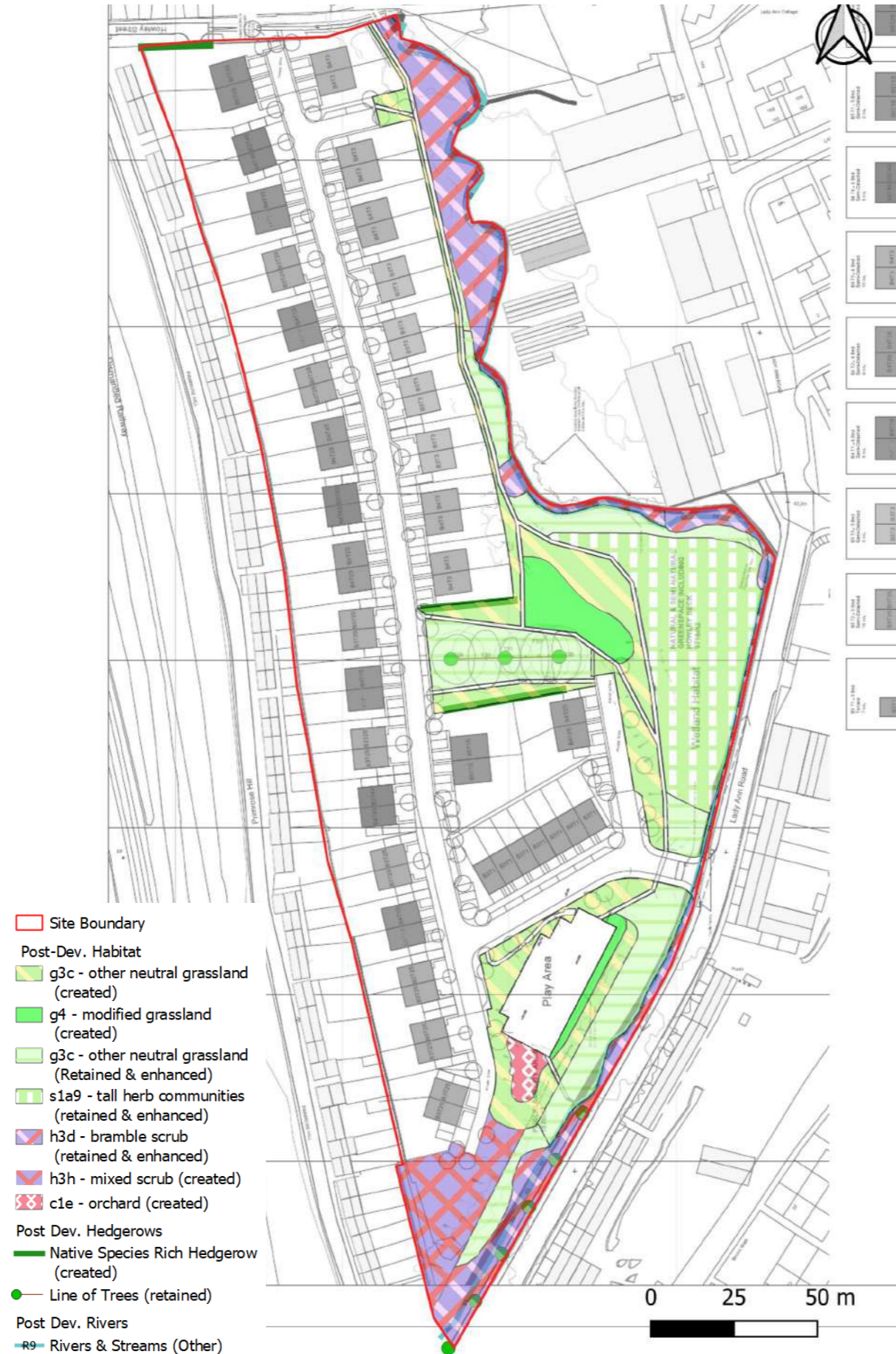
A full Ecological Impact Assessment has been produced by Brooks Ecological and is part of the substitution documentation.

Biodiversity Management Plan

A full Biodiversity Management Plan (BMP) has been produced by Brooks Ecological and is part of the substitution documentation.

The BMP meetshabitat condition objectives, and presents all the measures included to maximise the value of the Site for fauna, in particular to maintain suitable habitat for water vole.

Post Development Habitats



7.2 Landscape

Topia Landscape Architect

Existing Landscape Features

The land slopes down from the rear of Primrose Hill at approximately +66m AOD to the east near Howley Beck at +58m AOD. The Site contains several trees located within the centre of the site protected by the Tree Preservation Order No 72/91/g1, a collection of semi-mature trees, mainly sycamore. There are a few scattered hawthorn and ash saplings within the southern part of the Site. A group of semi-mature trees overhang onto the Site on the eastern boundary from the Lady Ann Mills. The remainder of the site is covered with ruderal vegetation such as bramble, grasses and willow. The proposal is to retain the existing vegetation on the streamside and lower slopes, retaining wildlife interest and providing instant maturity to the proposed development. The Site is used informally by local residents, with an informal footpath from Lady Ann Road connecting up with the PRoW on the northern boundary.

Site Analysis

The Site is used by local residents for informal recreation, dog walking and natural play. The existing vegetation of trees, scrub and grassland provide a green framework to views across the valley encouraging wildlife into the surrounding housing areas from the wider countryside to the north. The low lying land alongside Howley Beck offers opportunities for attractive views along the streamside which can be further exploited within the design of the open space. Within the Batley Ward, there is a shortage of public open green space and children's play facilities.

Landscape Strategy

The aim and objective of the design for the public realm is to provide a variety of types of quality, multi-functional spaces, which offer residents and visitors opportunities for enjoyment of the outdoor environment. The following principles form the strategy for the design of the public space:

Retention of existing vegetation where feasible with new attractive planting to create a green framework. A mixture of native tree, shrub and grassland vegetation to encourage wildlife interest for residents health and well-being;

Creation of green infrastructure throughout the development by adding small to medium size street trees and low formal hedges alongside the main street;

Enhancement of the existing informal footpaths by constructing a wider safer route alongside Howley Beck. This route will act as a link between the town centre to the open country-



Open Space Typology

	Area
Amenity Greenspace	3,177m ²
Children & Young People Provision	873m ²
Parks & Recreation	0m ²
Natural & Semi-natural Greenspace	7,623m ²
Howley Beck	930m ²
Allotments	140m ²
Outdoor Sports	0m ²
Total Public Open Space	12,743m²

7.2 Landscape

side to the north.

Use of a mixture of ornamental and native plant species for shrub borders and hedgerows to create an attractive environment for residential living which provides screening for privacy and encourages wildlife interest;

Creation of a range of habitat, from woodland, scrub, wildflower meadow to wetland areas to enhance the local biodiversity;

Tree planting in rear gardens to assist in filtering of views from the existing surrounding housing towards the proposed scheme and to further enhance local biodiversity;

Creation of a variety of parking solutions, from off road parking, to in-house parking, each of which adds to the local townscape character.

Provision of open space for children's natural play, with formal play provision and Orchard, to initiate a community garden for residents;

Secure by design principles followed to ensure a safe secure environment for residents and visitors;

An underground attenuation tank will be positioned below the play area to limit conflicts with highways and street tree planting. Materials

Hard Materials

Paving

A range of paving types will be used to define the hierarchy of street from the Main Street, to the access highway to the informal public footpath/cycle routes. Materials selected would be robust and hard wearing.

Boundary Treatments

The boundaries to neighbouring properties will be bordered by either the existing perimeter fence or new fencing with or without a native hedgerow. There will be a clear definition between public and private landownership, provided by fencing or low hedgerow.

External Lighting

Suitable street lighting would be provided to ensure security to adjacent residential streets and open spaces.



Landscape Plan

7.2 Landscape

Soft Materials: Planting palette

The existing trees protected by TPO would be retained. New planting would be introduced to create a green infrastructure within the development as follows:

An avenue of small to medium sized Street Trees would be planted on the main street. The trees would create an attractive setting, adding character and greenery and encouraging wildlife for increased health and wellbeing. Clonal plant material would be used of these ornamental and native species to ensure a formal standard effect.



Tree and shrub planting within public open space, and front and rear gardens. A variety of ornamental and native plant species would be introduced for added colour, texture and seasonal interest.



Native hedgerows would be added to protect rear garden boundaries

Native woodland tree, shrub and wildflower meadow planting would be added to encourage a wider biodiversity and introduce wildlife interest into the green spaces within the site;



Small size ornamental trees and low groundcover would be used at the front of residential properties to define the private space of each property.



1. Precedent planting
2. Native hedgerow
3. Wild flower meadow
4. Path with planting
5. & 6. Community orchard
7. Wild grasses
8. & 9. Street trees and front gardens

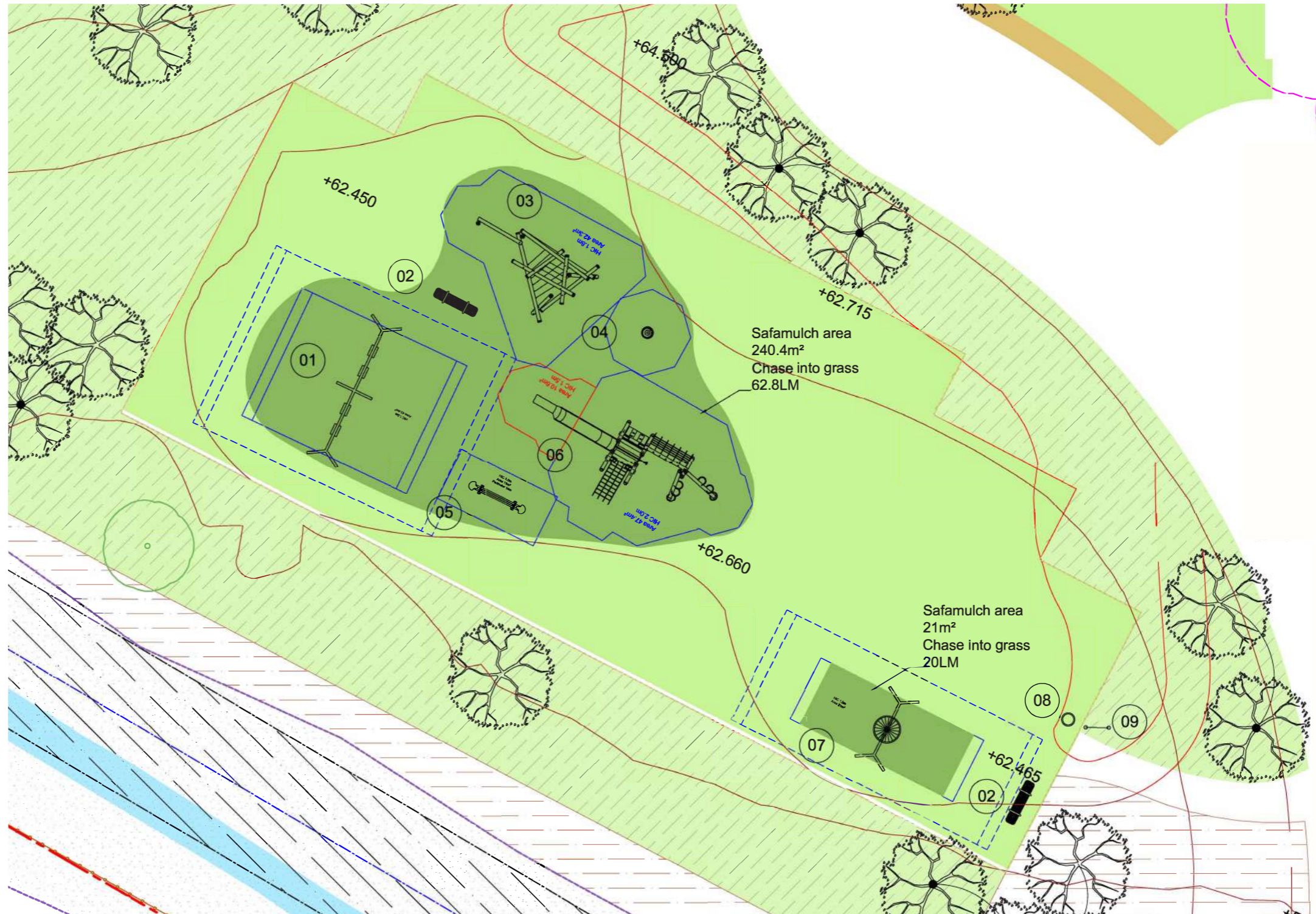
7.3 Play Area

Topia Landscape Architect
Children's Play and Allotment Provision

There would be opportunities for natural play within the range of habitats to be provided from meadow to scrub, woodland and streamside. Formal play provision of a LEAP facility with appropriate safety surfacing would be provided. An Orchard of fruit trees would provide an opportunity for development of a local community garden for residents.

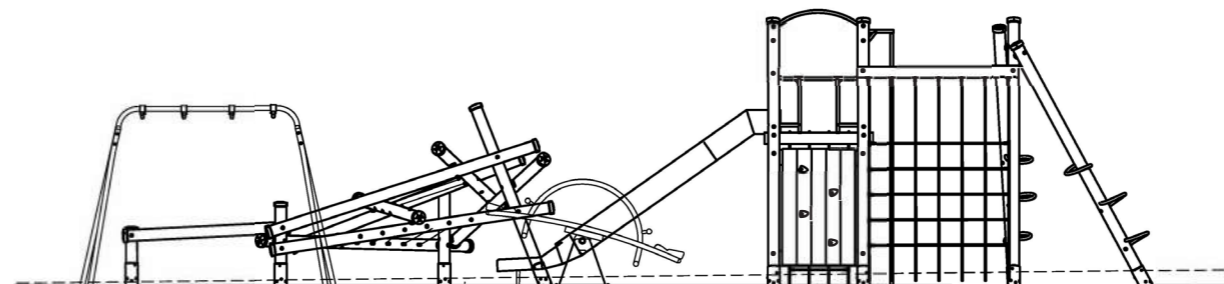
Habitat creation

The existing vegetation alongside the streamside will be retained. The tree, shrub, low groundcover, mown grass, wild-flower meadow and woodland understorey offer a range of different microhabitats. The proposed planting of ornamental and native species of herbaceous, bulb, wildflower meadow, shrubs, hedgerow and trees would provide shelter for nesting and roosting birds, flowers with nectar for insects and fruit for birds and small mammals.



Equipment List

No.	Code	Description
01	SWB084Z	2.4m high Swing with 2 x Bumper Seats 2 x Pod Seats
02	FUB000Y	2 x Benches
03	ORW300	Orchard Timber Tangle
04	SWD720	Hula
05	TNB030	Small Seesaw
06	OTW103	Orchard Rex
07	SNS080Z	Nest Swing
08	FUL100Y	Litter bin
09	---	Playground sign

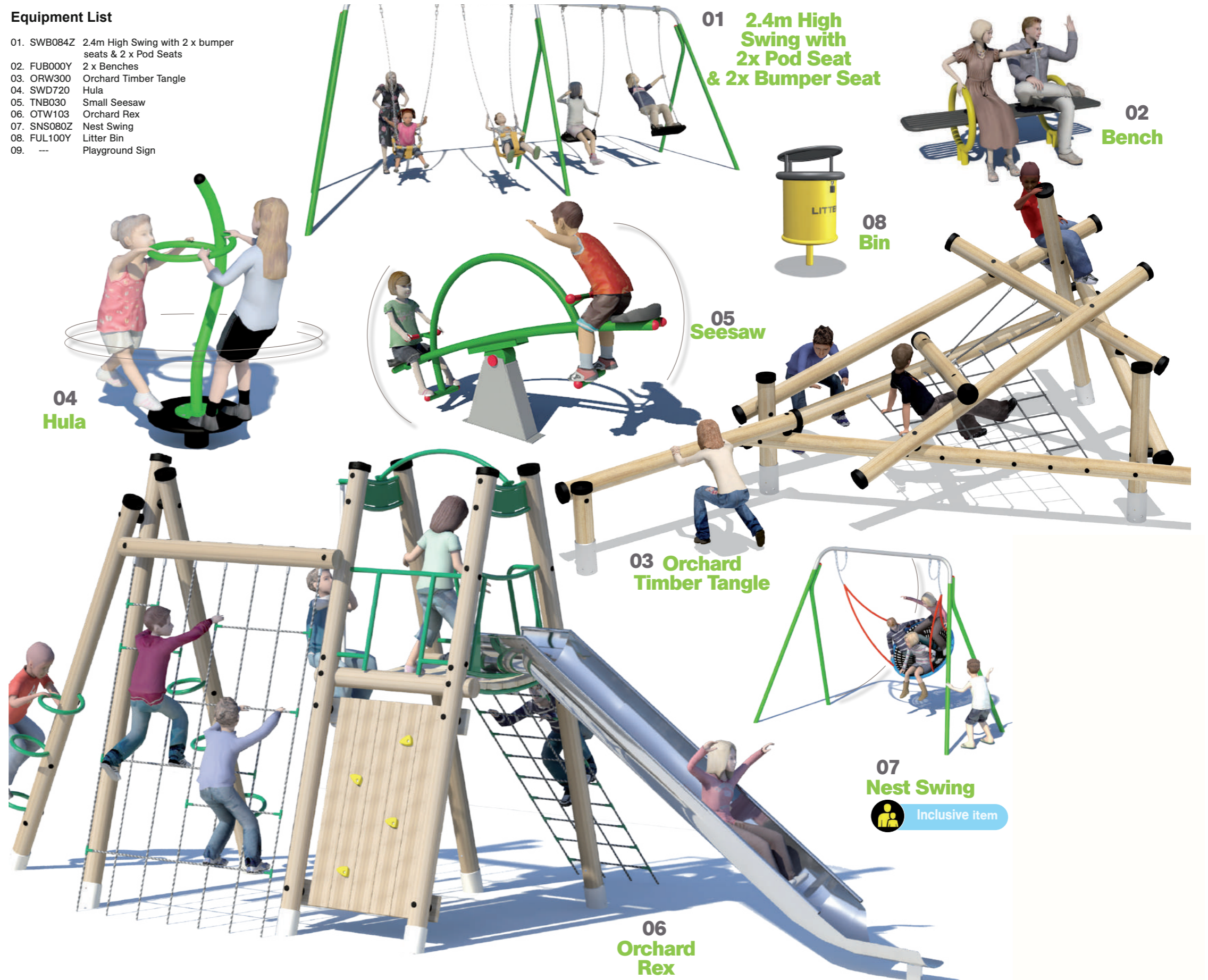


7.3 Play Area



Equipment List

- 01. SWB084Z 2.4m High Swing with 2 x bumper seats & 2 x Pod Seats
- 02. FUB000Y 2 x Benches
- 03. ORW300 Orchard Timber Tangle
- 04. SWD720 Hula
- 05. TNB030 Small Seesaw
- 06. OTW103 Orchard Rex
- 07. SNS080Z Nest Swing
- 08. FUL100Y Litter Bin
- 09. --- Playground Sign



01 2.4m High Swing with 2x Pod Seat & 2x Bumper Seat

02 Bench

08 Bin

05 Seesaw

04 Hula

03 Orchard Timber Tangle

07 Nest Swing
 Inclusive item

06 Orchard Rex

7.4 Food Risk

JOC Consultants Flood Risk Consultant

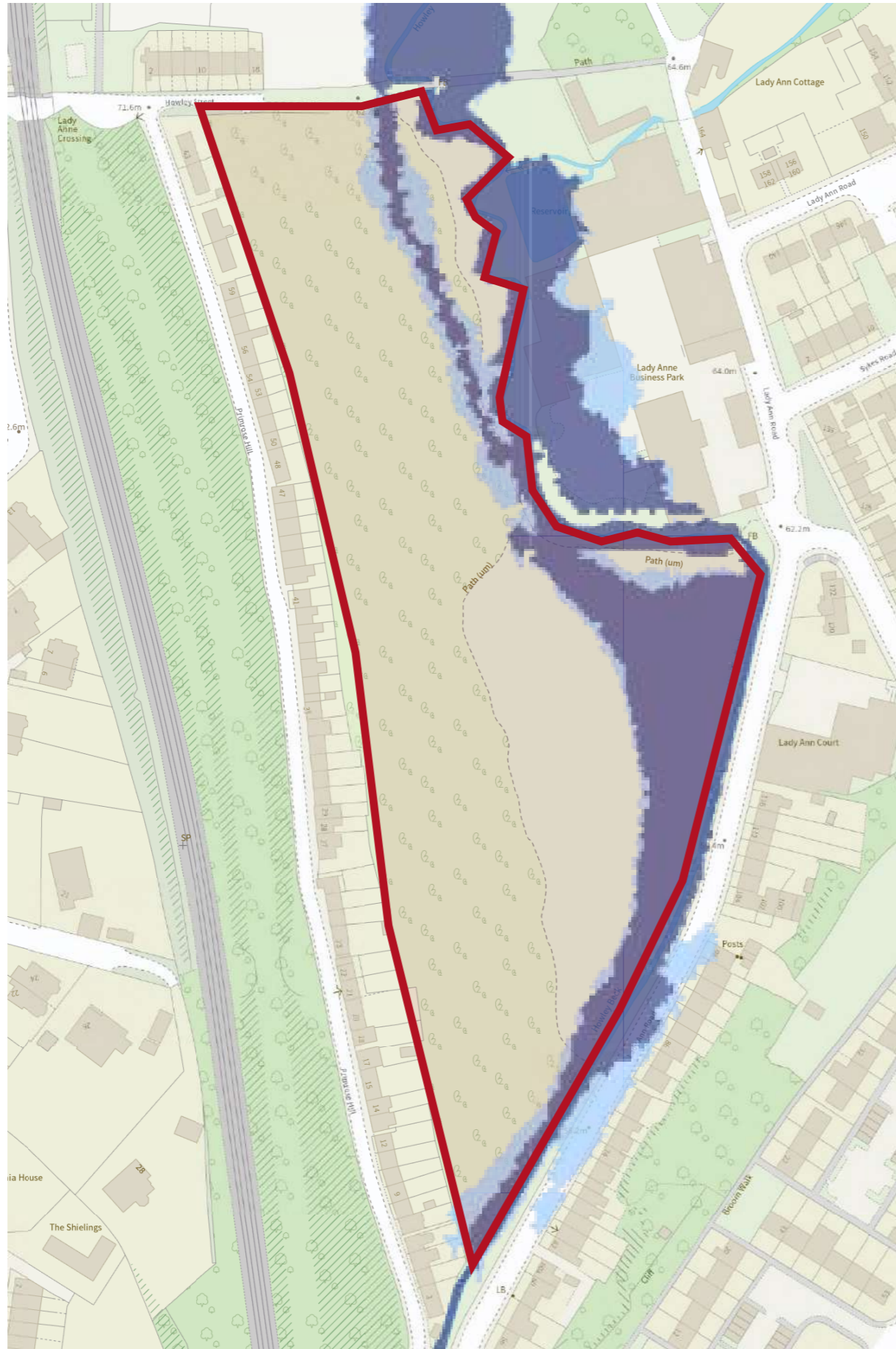
A revised Flood Risk Assessment by JOC Consultants Ltd. This has been revised following discussions with the Environment Agency and Kirklees Flood Risk Team, including a meeting with all parties in September 2021. The Flood Risk Assessment now demonstrates that proposed development will not result in flooding to the proposed properties, the proposed access road or any exacerbate the risk of flooding to existing properties in the area.

Conclusion from JOC Report

The development is classified as More Vulnerable major development. It is not within 20m of a Main River.

Most of the development of 65 dwellings is in flood zone 1, but 6 plots are in flood zone 2 and 11 plots are in flood zone 3. As it is proposed to raise ground levels in order to achieve the required finished floor levels, the annual probability of fluvial flooding would be reduced to less than 0.1%.

The risk of fluvial flooding is from Howley Beck which enters the site at the northern and eastern boundaries. This results in overland flow towards the south of the site. Existing ground levels are generally above the estimated 1% AEP flood levels in Howley Beck except at the northern end of the site between plot numbers 37 and 45 where overland flow occurs. This flow is prevented from returning to the beck by a raised earth bund in the northern part of the site. Removal of this bund will restore natural flow paths and will have no adverse effect on Howley Beck or on flood risk elsewhere. Following removal of the bund and re-profiling of the restored floodplain as recommended in this report, the development will result in a net gain in floodplain storage of approximately 66m³ based on the 1% AEP_{23%} CCA flood level.



7.5 Access

Advice and vehicle tracking from traffic consultants, Paragon Highways has been incorporated into the final scheme to improve road safety and accessibility. Likewise comments from Kirklees Highways officer relating to the previous schemes have been reviewed, with the final layout revised to reflect residential and visitor parking numbers and layout, access and storage for refuse and recycling vehicles and general road layout.

The site is entered from the junction to Lady Ann Road, which has been designed with wide radiuses and good visibility splays. The road crosses Howley Brook and climbs the hill, with a junction to a side road for two house. At the top the T junction access the cross road that extends only 15m to the South and 270m to the North. At the Northern end of the road there is a turning head. The roads in front of plots 1-4 and 64-65 are private road.

The principal roads are 5.5m wide with 2m pavements on the access road and then the pavement becomes a 0.7m berm on the cross road.

The pathways and approaches to the houses will be designed to give precedence to the pedestrian over the car. Dropped kerbs occur where pedestrian routes and vehicular access points cross. All non-adopted pathways on the development will be a minimum of 900mm wide, with gradients not exceeding 1:12 (existing topography permitting) and of solid construction to be firm and even. All approaches to dwellings will have level or ramped access from the car parking /drop off points in full accordance with Part M of the Building Regulations.

The houses all have a w.c. at entrance level in accordance with Building Regulations Part M.



7.6 Parking



A mix of parking arrangements and house types avoids car-dominated frontages.

The 3 bed semi-detached houses have 2 parking space each and no garages, with the spaces to the side of the houses allowing a generous front garden. The 3 bed terraced houses have a dedicated parallel space in set off the road and a second designated end on parking space, in the row of spaces at the ends of the

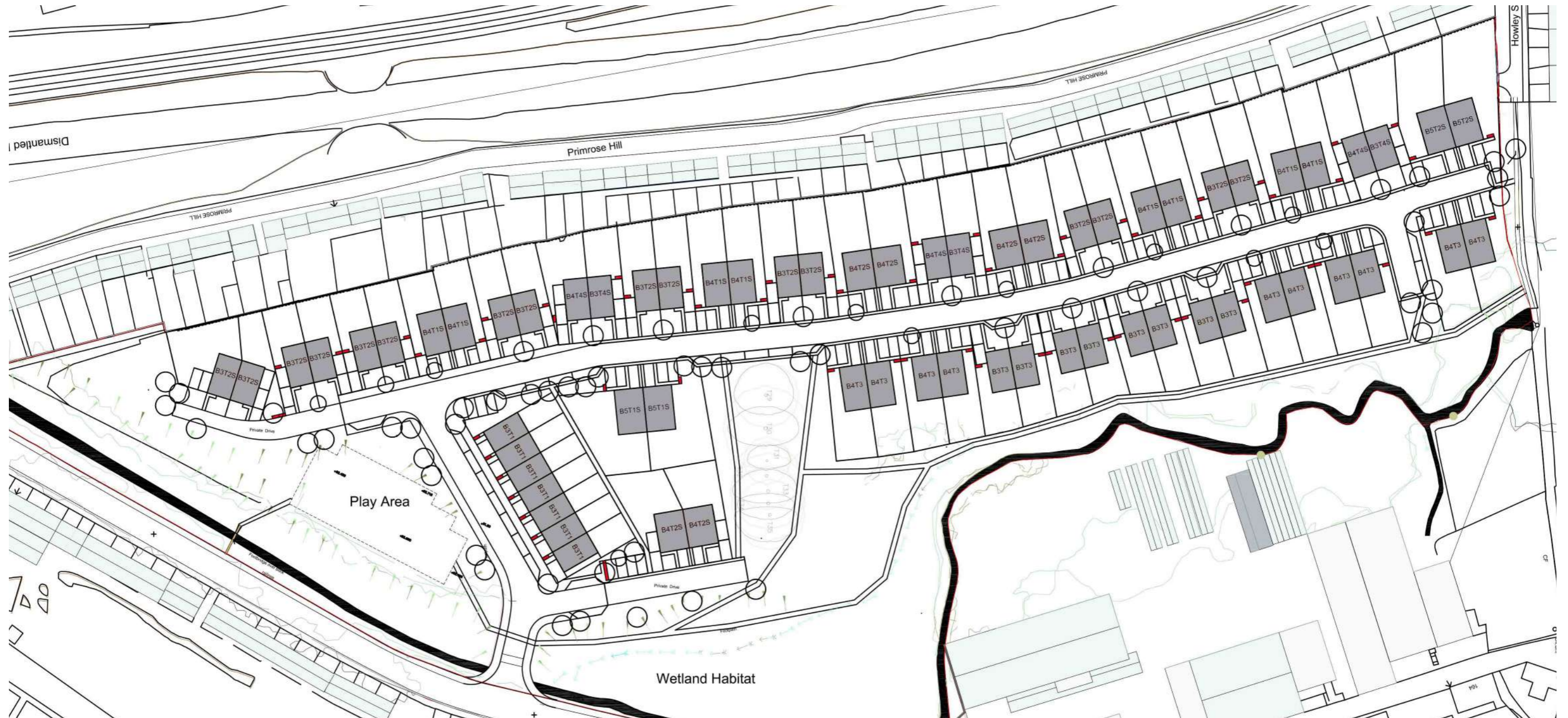
terrace.

The 4 and 5 bed houses have a garage, with 2 external spaces. One space is generally in front of the garage and the second is to the side of the house. This still allows some front garden to the houses. The 5 bed houses having generous gardens that wrap around the houses. The 4 bed Type 4 house does not have a garage and has 3 parking spaces to the side.

16 visitor parking spaces are provided all in parallel spaces spread across the site, so most houses are within 25m of a space and the furthest is 45m.

- Visitor Parking
- Terrace B3T1 Parking
- Semi Parking Space
- Garage Drive & Parking Space
- Drive No Parking Space

7.7 Refuse



The tracking plans show how a refuse vehicle can turn and access the site for rubbish collections. The small sections of private road in front of plots 1-4 and 64-65, allow a refuse vehicle to reverse up to the start of them. Bin stores for plots 1-2 and 64-65 will be located close by.

The majority of the houses are provided with a timber bin store located at the back of the parking space and to the

side of the house. The bin store is to be 1600 x 700mm, to accommodate 3Nr 80L bins.

House types B4T2 and B5T2 have bin stores integrated into their recessed porches, with timber panels and doors.

The terraced houses B3T1 have their timber bin stores located to the boundary side of the entrance path in the front garden.

7.8 Security



The layout of the residential development has been carefully designed to promote safety and security.

Where necessary, new 1.8m high close boarded vertical timber fencing will be erected along boundaries.

Existing walls and fences along these boundaries to residential boundaries will remain with localised repairs to be carried out where necessary to maintain the integrity and security of the site.

To the front of the plots fronting on to Lady Ann Road, we have employed landscaped banking that soften the visual impact and provide a natural edge to this wild area.

Secure gates to rear gardens and side paths will be provided with 1.8m high privacy fencing between properties, dropping to a 1500mm high post and rail timber fence between back gardens. The fencing to the rear of the back gardens backing onto the path along the brook will be 1500mm high, to allow for overlooking and natural security.

600mm black metal railing will be provided along the boundaries between plots to the front gardens.

The access path to the rear of the terraced houses will be secured with a robust gate with a digital lock.

7.9 Schedule



The scheme delivers 65 houses with the house mix is:

3 Beds

Type 1	102.4 sqm/1,101sqft (no garage)	7
Type 2	105.7sqm/1,137sqft (no garage)	16
Type 3	105.7sqm/1,137sqft (no garage)	8
		31

4 Beds

Type 1	122.9 sqm/1,322sqft (inc garage 142.4 sqm)	8
Type 2	129.8 sqm/1,396sqft (inc garage 147.9 sqm)	6
Type 3	126.1 sqm/1,356sqft (inc garage 145.8 sqm)	10
Type 4	127.1 sqm/1,367qft (no garage)	6
		30

5 Beds

Type 1	146.6 sqm/1,577sqft (inc garage 166.5 sqm)	2
Type 2	151.9 sqm/1,634sqft (inc garage 171.1 sqm)	2
		4

Total **65**

The most of the 4 & all the 5 bed houses have an integrated garage and 2 external off street parking spaces. The 3 bed houses have 2 external off street parking spaces. The type 1 3 bed has two dedicated spaces, one, side on space, in front of the house and the second at one of the ends of the terrace.

16 visitor car park spaces are provided.

Summary & Conclusion

8.0

8.1 Summary & Conclusion



The proposed housing development has been created as the result of an extensive and collaborative design development process with the client, Kirklees Council and the design team.

The design responds successfully to the context in terms of form, materiality and typology and also responds to the detailed feedback from KC, through the application process and previous submissions for the site.

The scheme has been radically re-designed to respond to the extensive feedback from consultancies and KC, in regard to respecting the topography and vernacular context, in the form and placement of the houses. The numbers of houses has been reduced by 2 to 65 and detached units removed, with only terraces and semi detached houses now provided. The space between houses has also been increased from 2m to 5.5m and the land allocated to open green spaced significantly increased.

All the house types have been re-designed with the 2/3 storey houses that read as 3 storeys from Lady Ann Rd omitted and replaced with 2 storey or 2/2.5 storey houses. All 3 bed houses are 2 storey and the 4 and 5 bed houses are split level 2/2.5 storeys, with rooms in the roof space, but the houses read as 2 storey from Lady Ann Rd. The look of the houses follows the vernacular use of stone for the main facade and red brick for the others.

The technical design has been amended to incorporate all the consultancies and KC's recommendations in regard to flood risk, roads and parking, biodiversity and landscape. The landscape around the TPO trees has been increased and an amenity lawn introduced.

In conclusion the development is a sensitive insertion of much need housing into the area and will provide quality dwellings, while retaining a large area of open land and creating new external amenities for the wider community.

Locations



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