

MOA 2111

Conservatory & Patio  
Extension to  
The Strynes, Whitley Road  
Thornhill Edge

**Design & Access Statement**

# Introduction

This Design & Access Statement is submitted in support of a Planning Application by the homeowner to undertake the building of a new conservatory and an extension to the existing patio area and retaining walls to the garden to the rear of the property. The works to the patio are both to provide an extended external amenity space and also to address a failure in the existing construction. This has caused substantial cracking in the surface and the need to carry out remediation work to the patio's retaining walls and foundations. It is not thought that the house structure is affected.

The property is a private dwelling located at:

The Strynes  
Whitley Road  
Thornhill Edge  
WF12 0LR

The proposals comprise:

- Rebuilding of the existing patio retaining wall and reinstatement of the patio paving surface.
- Extension of the patio to the west to provide additional amenity space.
- Incorporation of steps down to the garden area to the rear of the property.
- Incorporation of a storage area to the patio void.
- Landscaping works to introduce a rockery to the patio retaining wall face.
- Construction of a new conservatory to the existing living room gable area, with balcony area to the 1<sup>st</sup> floor bedroom above (with alterations to the 1<sup>st</sup> floor window to suit).
- Replacement of the ageing existing timber balustrades with a new glass system.

This Design & Access Statement includes the following sections:

- Site Location
- As Existing
- Site Appraisal
- As Proposed

# As Existing



The property comprises an existing two-storey dwelling. It is understood that originally the property was single storey and that in the past an additional storey has been added, partially within the roofspace. A similar pallet of materials and window style/finish is evident throughout the existing:

Walls: Facing brick

Windows and doors: Brown wood-effect uPVC double glazing

Roof: Tiled, pitched roof format; flat roof dormer

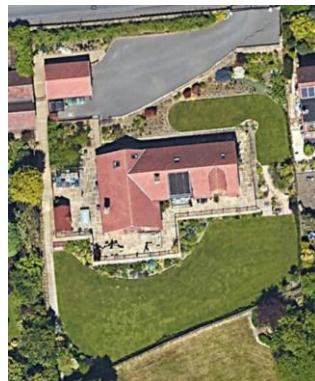
Balconies: Glazed, with timber frames

Patio: Stone wall facing with random stone paving; timber balustrades

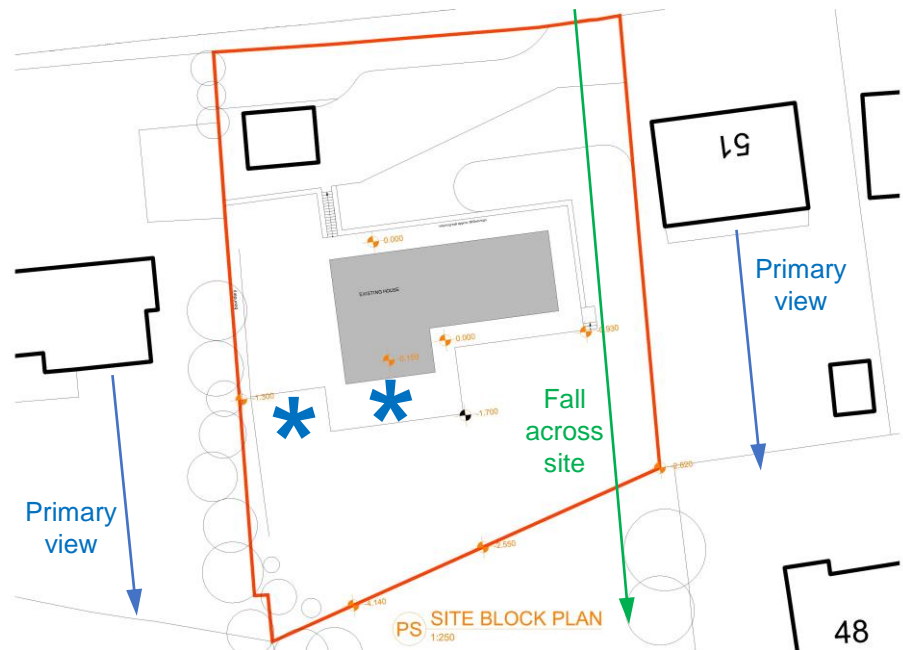
The dwelling is set within extensive landscaped gardens. There is a detached garage with driveway to the north.

The site slopes from north to south, with a crossfall from east to west.

There are neighbouring dwellings to the east and west and also located to the north of Whitely Road, and to the south of the property with a shared boundary.



# Site Appraisal



## Character

The existing dwelling is traditional and simple in character, with facing brick, simple pitched roof format with slightly overhanging eaves and modern uPVC simply styled windows. It is rectilinear in form. Due to the sloping character of the site, the north elevation is set well below the level of the neighbouring houses to the north of Whitely Road, further obscured by a retaining wall to the path immediately north of the dwelling itself. Neighbouring houses to the east and west are substantially separated, and particularly to the west, partially screened by established planting. The neighbouring properties are of a similar scale and relative location within the site.

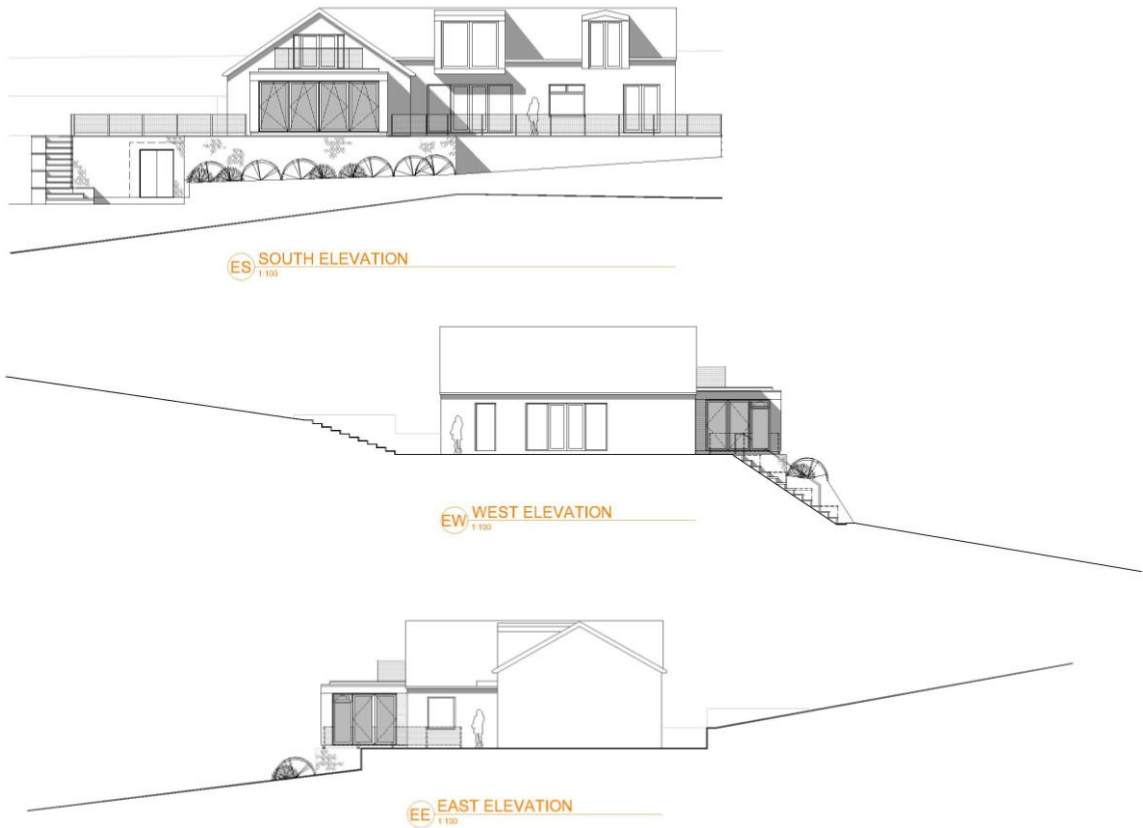
## Scale, size & position

The proposed conservatory is located to the south of the existing dwelling and to an area of existing patio. Its location means it is obscured from view from the north by the existing dwelling and as it is set in line with the existing projecting wing it does not visually protrude when viewed from the dwellings to the east and west. Similarly, the conservatory does not add to the perceived mass when viewed from the south as it sits within the gable elevation.

## Levels

The conservatory is set to provide a new floor level in line within the existing dwelling ground floor and with a base level set as per the existing patio level. The proposed patio extension will be level with the existing. The ground level at the base of the patio and new steps will be set to suit existing levels subject to locally re-grading the ground level to accommodate the storage area access. The storage area has been laid out to minimize the excavations required and rather to work with the existing levels.

# As Proposed

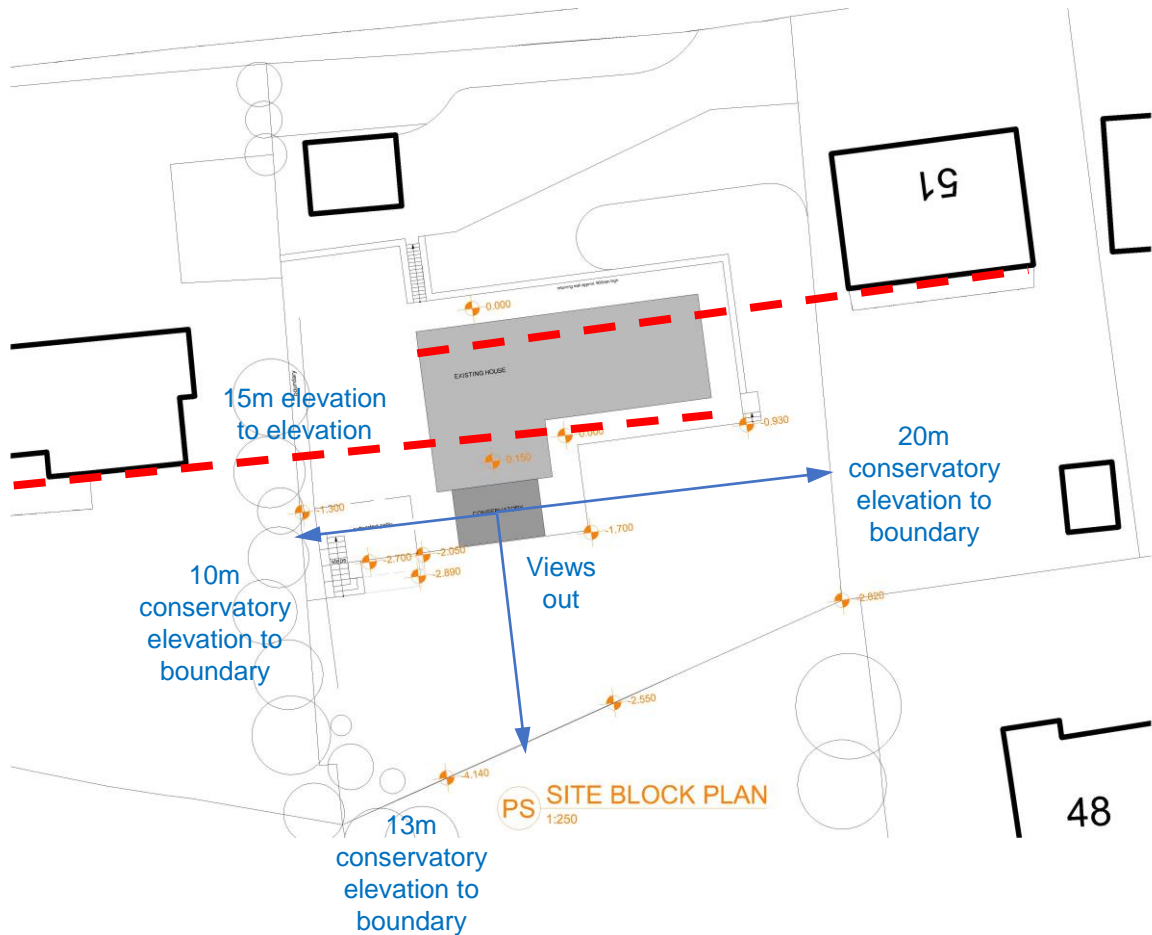


The proposed conservatory design is based on the following principles:

- Materials to reflect the existing dwelling, i.e., use of brick at the junction of the conservatory and existing gable.
- A rectilinear format reflecting the existing forms.
- Flat roof to minimize visual impact of the site and to maintain views from the first floor.
- Extensive glazing to maximize views out.
- Setting the conservatory within the building line of the existing gable to reduce visual impact.
- Introduction of more contemporary materials, i.e., aluminium facias and copings, to reflect a more contemporary feel, in tandem with the replacement of the existing timber guarding to the patio with more contemporary glass.

The patio reconstruction utilises similar materials to the existing for both the walling and the paving to the surface (both in stone). New guarding and handrails will be to match the replacement of the existing patio balustrade – all in glass with steel support posts. This will coordinate with the balustrade to the roof area balcony of the extension.

# As Proposed



## Privacy & windows

The conservatory is located a substantial distance from both the boundaries and the adjacent dwelling elevations. It is not anticipated to have a negative impact upon privacy. The existing gable elevation building line is already set forward of the adjoining dwelling building lines.

## Overshadowing

The conservatory is located a substantial distance from then boundaries and adjacent gardens/dwellings and is single storey. It is not anticipated that it will have a negative impact regarding overshadowing.

## Driveway, parking & bin store

All are unaffected.

## Accessibility

The property is a private dwelling. Accessibility is not affected.

# Contact

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