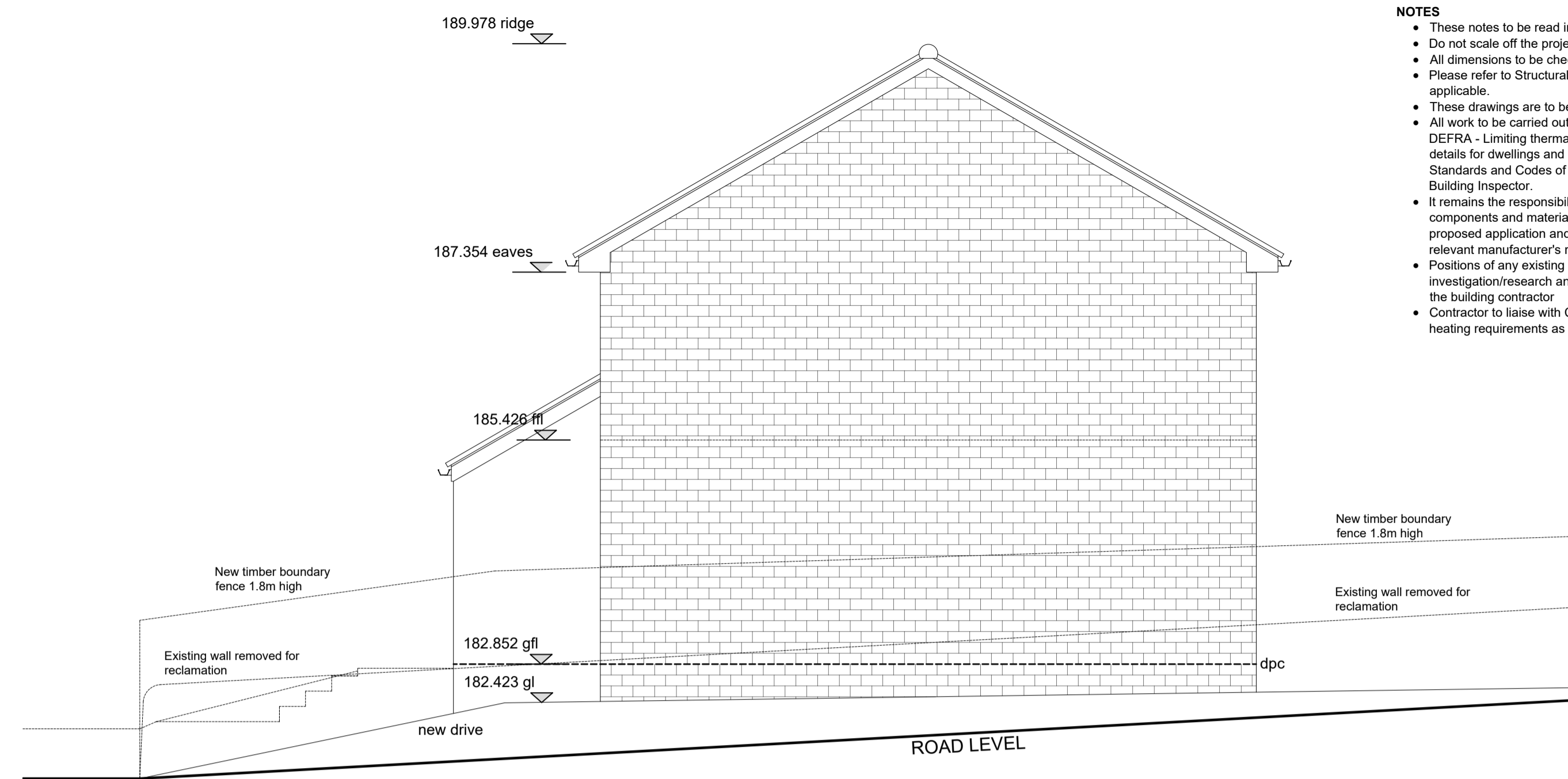


- NOTES**
- These notes to be read in conjunction with latest plans and details.
 - Do not scale off the project drawings. Refer to figured dimensions only.
 - All dimensions to be checked on site. If in doubt ask applicable.
 - Please refer to Structural Engineers drawings and calculations, where applicable.
 - These drawings are to be used for Local Authority Approval purposes only.
 - All work to be carried out in accordance with current Building Regulations, DEFRA - Limiting thermal bridging and air change: Robust Construction details for dwellings and similar buildings together with all relevant British Standards and Codes of practice and to the satisfaction of the respective Building Inspector.
 - It remains the responsibility of the building contractor to ensure that all components and materials used are of specification and size etc. to suit the proposed application and are installed/used in strict accordance with the relevant manufacturer's recommendations.
 - Positions of any existing services and drains etc. are assumed only. The investigation/research and excavation of same remains the responsibility of the building contractor.
 - Contractor to liaise with Client regarding alterations to electrical and central heating requirements as these will generally not be shown on the drawings.



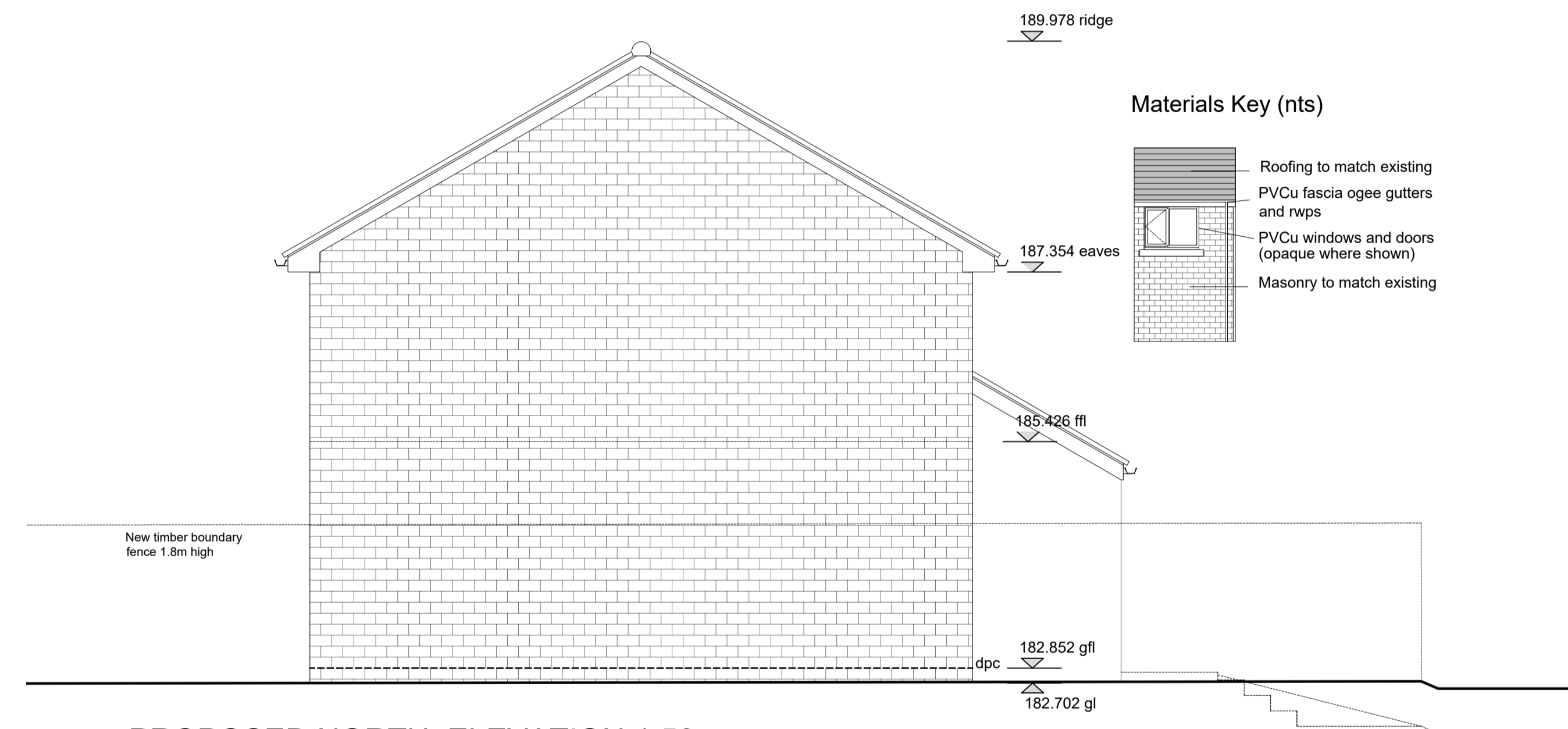
PROPOSED EAST ELEVATION 1:50



PROPOSED SOUTH ELEVATION 1:50

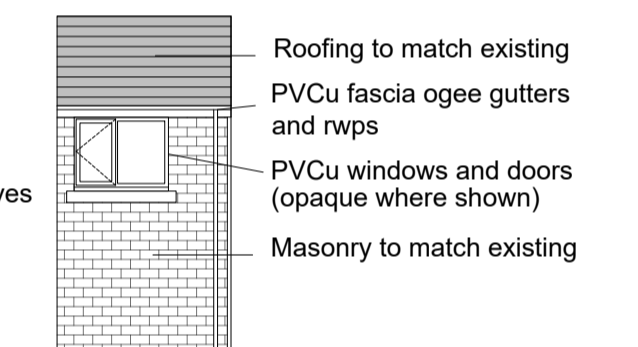


PROPOSED WEST ELEVATION 1:50



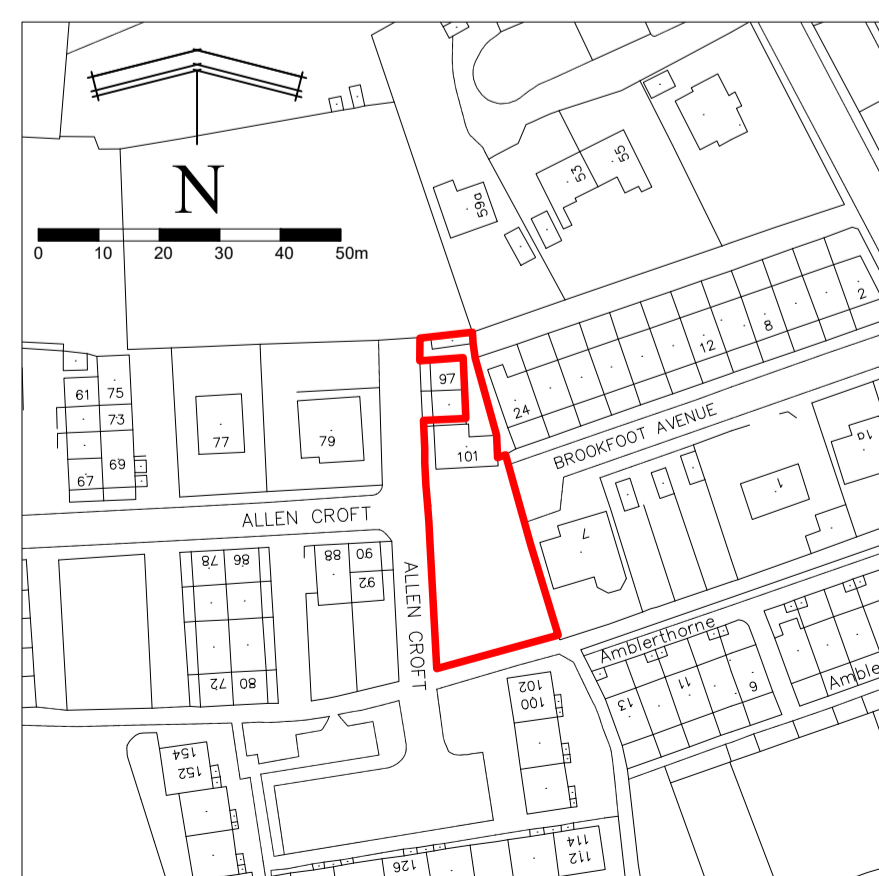
PROPOSED NORTH ELEVATION 1:50

Materials Key (nts)

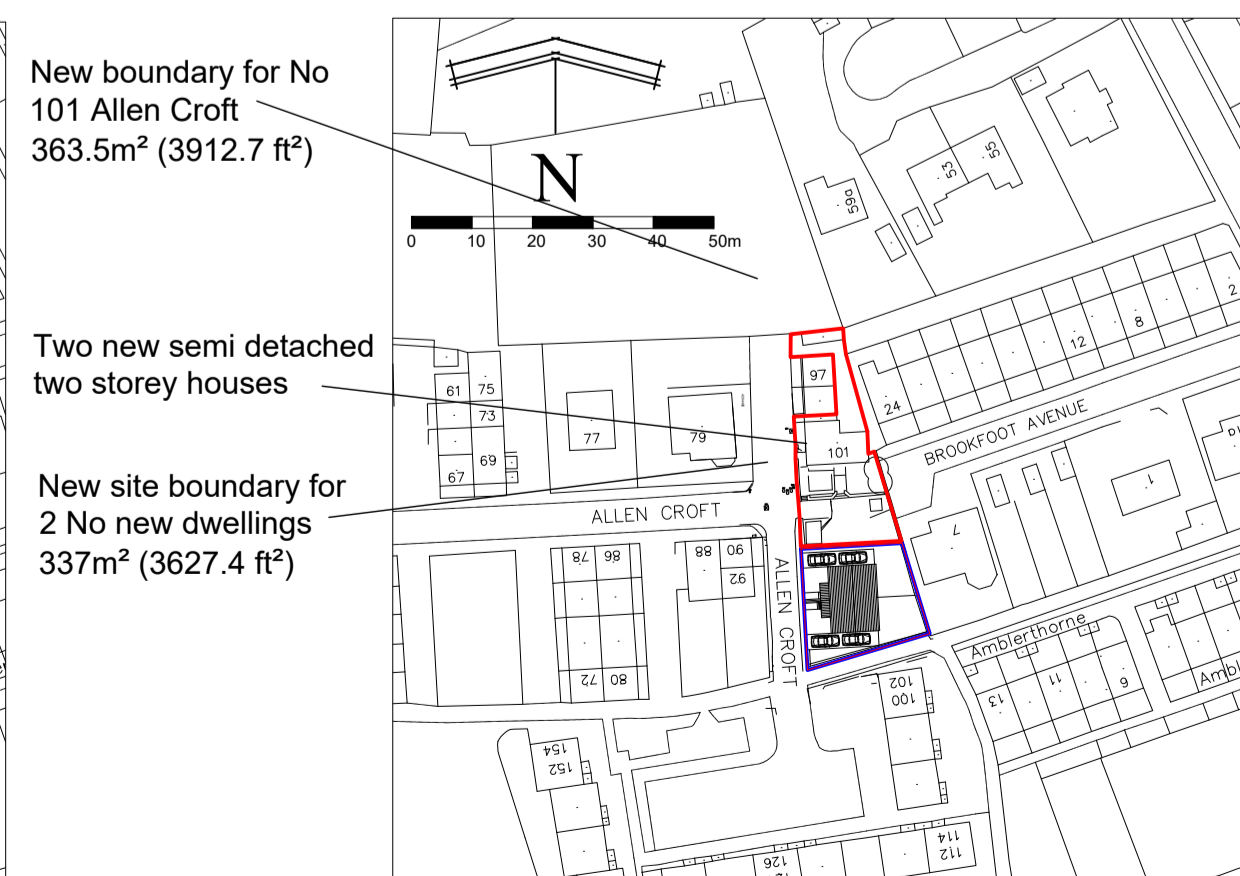


- Roofing to match existing
- PVCu fascia ogee gutters and rwp
- PVCu windows and doors (opaque where shown)
- Masonry to match existing

Map area bounded by: 420383,428333 420525,428475. Produced on 10 September 2021 from the OS National Geographic Database. Reproduction in whole or part is prohibited without the prior permission of Ordnance Survey. © Crown copyright 2021. Supplied by UKPlanningMaps.com a licensed OS partner (100054135). Unique plan reference: p2c/uk/687549/931098



LOCATION PLAN AND EXISTING BOUNDARY 1:1250

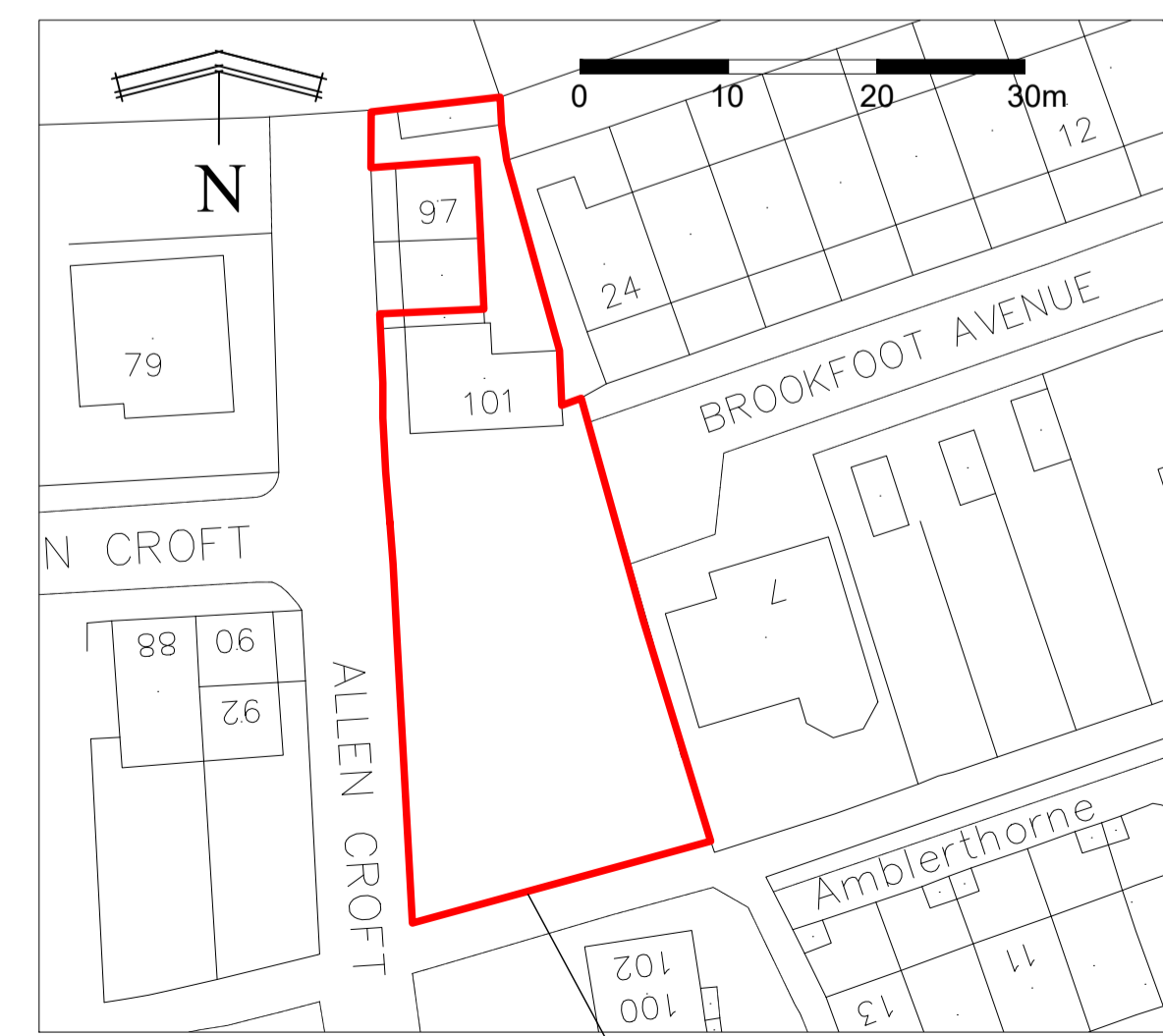


LOCATION PLAN AND PROPOSED BOUNDARIES 1:1250

New boundary for No 101 Allen Croft
363.5m² (3912.7 ft²)

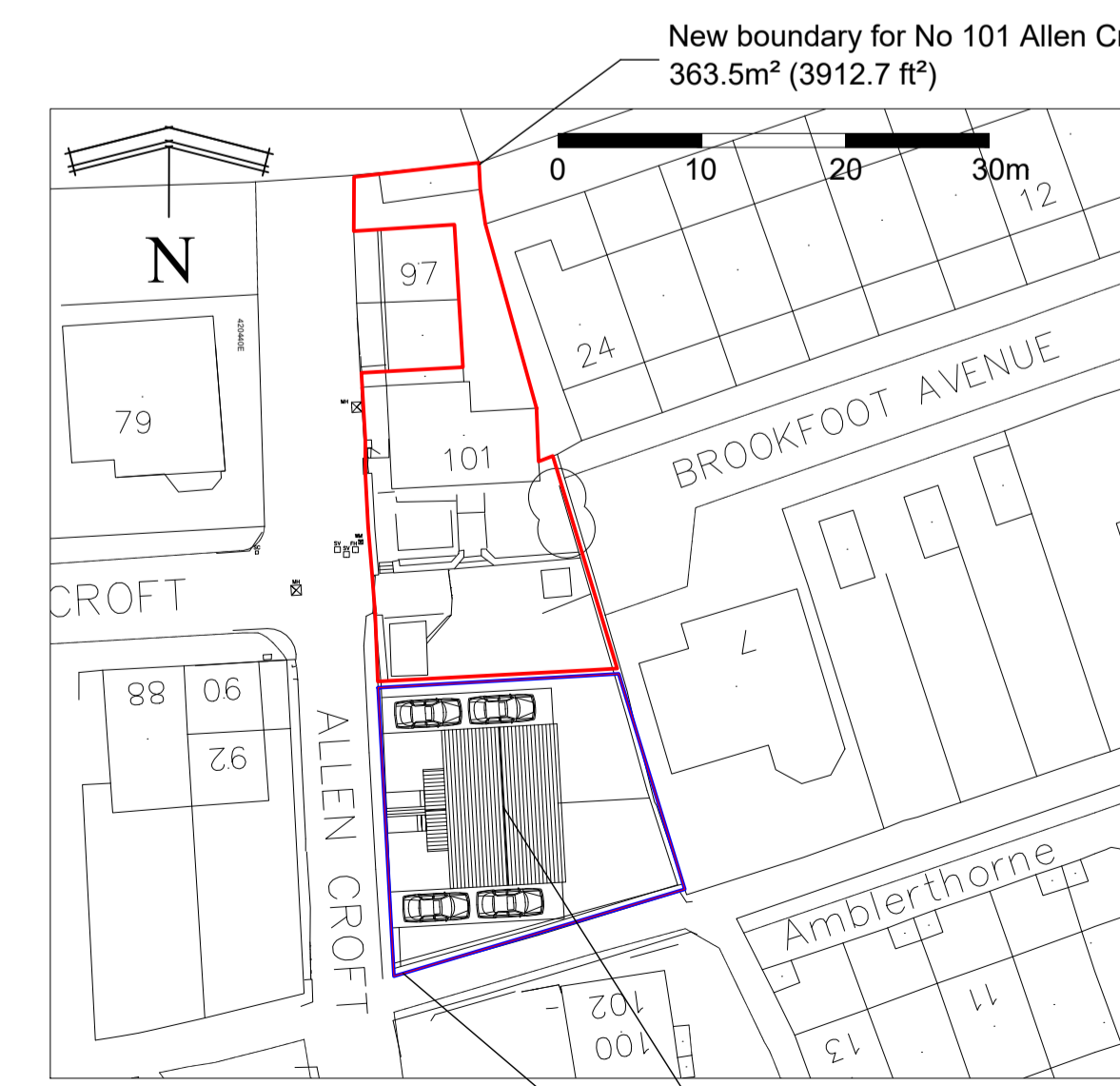
Two new semi detached
two storey houses

New site boundary for
2 No new dwellings
337m² (3627.4 ft²)



EXISTING SITE PLAN 1:500

101 Existing Property Boundary =
700.5m² (7540.1 ft²)



PROPOSED SITE PLAN 1:500

New boundary for No 101 Allen Croft
363.5m² (3912.7 ft²)

Two new semi detached
two storey houses
New site boundary for 2 No new
dwellings 337m² (3627.4 ft²)

Rev A New site boundary colour changed from blue to red. 29/09/21



4 Swift Way
Sandal
Wakefield
West Yorkshire
WF2 6SQ
Tel: 01924 242116
Mob: 07443227172
Facebook: hardyarchtd
Email: hardyclive39@yahoo.com

CLIENT:	MR R TILBROOK
PROJECT:	PROPOSED TWO NUMBER TWO STOREY 3 BEDROOM SEMI DETACHED HOUSES 101 ALLEN CROFT BIRKENSHAW BD11 2AB
DRAWING TITLE:	PROPOSED PLANS
PROJECT REF:	2020 - 205
DRAWING NO:	HAS/20/205/300 DRAWN BY: R HARDY
SCALE:	1:50 @ A1 DATE/REV: Aug 21 / A