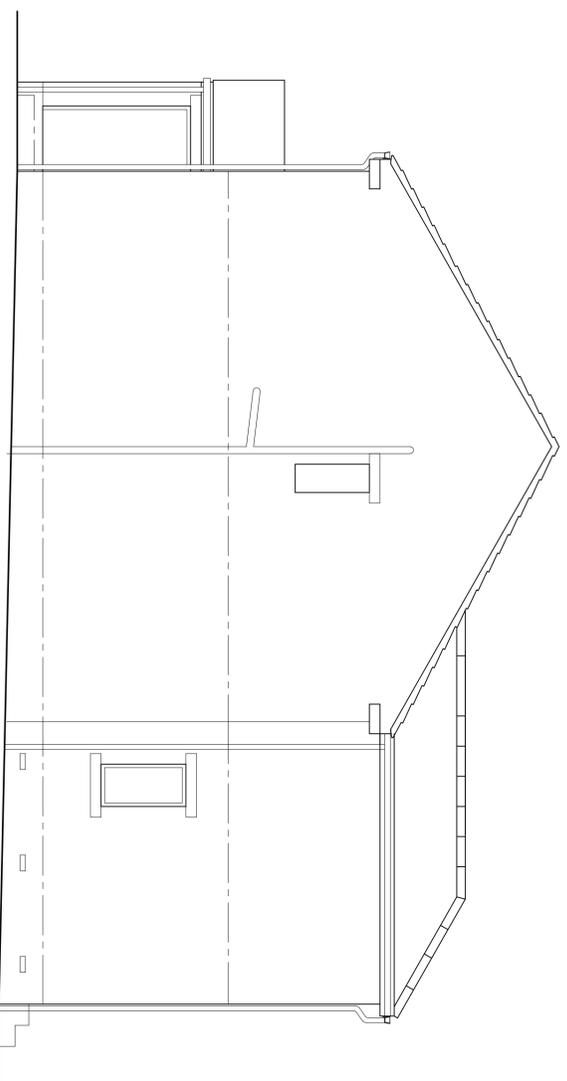
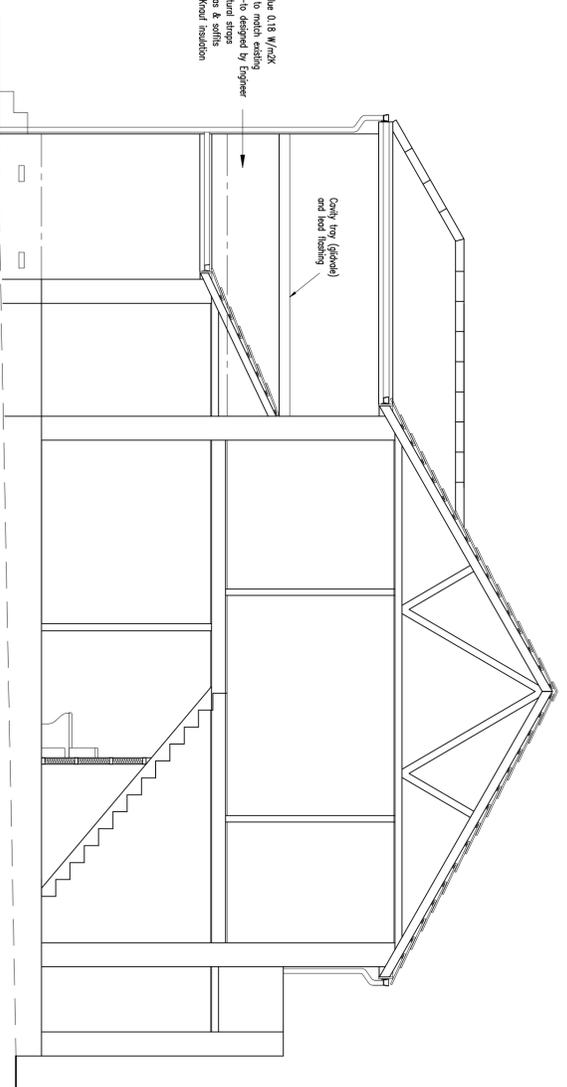


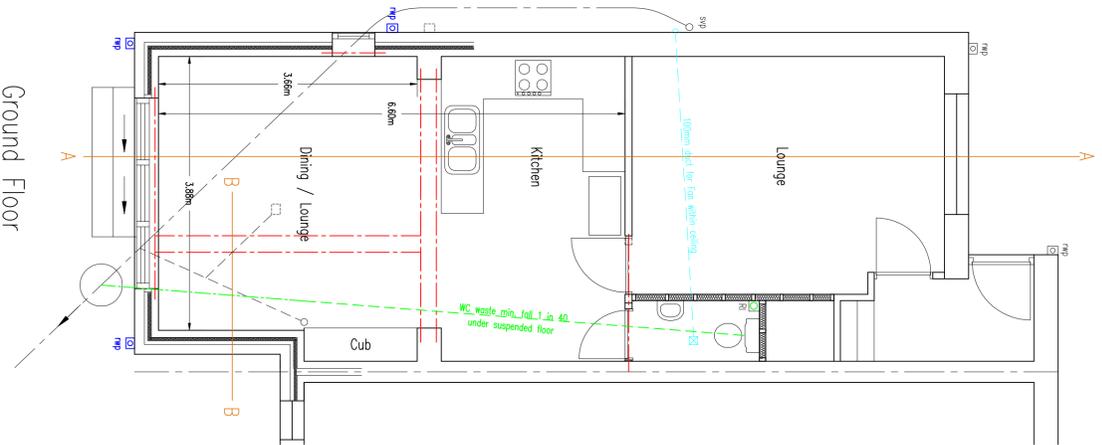
North Elevation



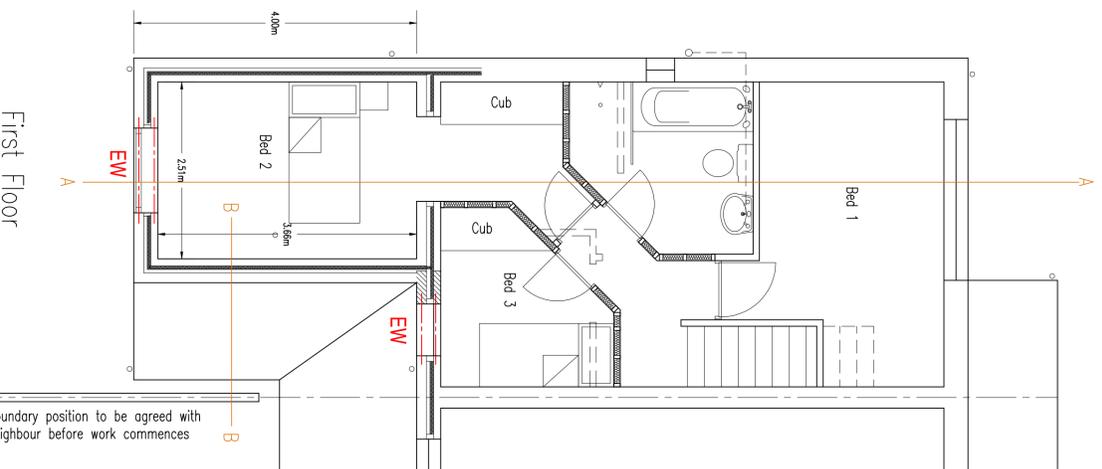
East Elevation



West Elevation



Ground Floor



First Floor

- KEY**
- - - - - Assumed Existing above ground FW
  - - - - - Proposed above ground FW
  - - - - - Assumed Existing FW
  - - - - - Assumed Existing SW
  - - - - - Proposed FW
  - - - - - Proposed SW
  - - - - - Remove drainage
  - - - - - Structural beams designed by Engineer
  - - - - - Extract fan vented to outside
  - - - - - Escape Window

**Planning and Building Regulations**  
 Drawings to be read in conjunction with the building regulation notes pages and structural engineers drawings.  
 The structural engineer's drawings and calculations supersede information on the T J Coates Ltd drawings.  
 Any alterations to the design or construction must be approved by the builder and / or the supervising officer.  
 Builders must scrutinise the official approved plans and notes before commencing work and comply with all the notes thereon.

These drawings have been prepared for planning and building regulation submission only and therefore all terms of construction are subject to the Building Control process. T J Coates Ltd does not accept liability for errors or omissions.

The Contractor / Builder is responsible for checking site dimensions, materials etc. and all building work, such work being checked by Building Control on site, as may be appropriate. T J Coates Ltd does not accept liability for works carried out.

All dimensions to be checked on site before work commences, do not scold from this drawing.

On no account are any walls, walls, including foundations to be undertaken outside the boundary of the site without express permission from the adjoining owner.

Check position and verify, flow direction and invert levels of all existing drainage before work commences on site.

Permission from Property Owners  
 Tenants must obtain written permission from their Landlords / Owners of the premises before applying for planning permission.

Permission from Adjoining Neighbours  
 The proposed works require other permission from adjoining neighbours if the boundary or property may be encroached upon during or after construction.

In principle, when erecting a new building or extension to a building, you can construct it up to the boundary that must not be crossed. This means keeping all elements, including temporary scaffolding, the projection of foundations, eaves, window goods, opening windows, beams etc. within the confines of your own land.

Planning or Building Regulation approval does not constitute any indication of your neighbor's rights of light, rights of way or easements.

The Planning and Building Regulations system can do nothing to assist owners when boundary disputes arise.

Party wall act 1996  
 Where the adjoining properties must be in agreement of the construction work and the detail of the construction before works commence on site.

The builder to liaise with and notify adjoining owners if work is to be carried out on adjoining property.

Planning conditions  
 There may be planning conditions to comply with in accordance with the planning approval notice.

CDM Regulations  
 The builder will need to comply and include for Health and Safety, Construction Design Management regulations (CDM), please see link below.  
<http://www.hse.gov.uk/construction/2015/dsm/cdm-cs15.htm>

Under the role of the 'Principal Designer' as referred to in the CDM Regulations, the contractor must appoint a principal designer or the role of principal designer falls to the client / principle contractor. T J Coates Ltd are not acting as principal Designer or contractor under the CDM regulations.

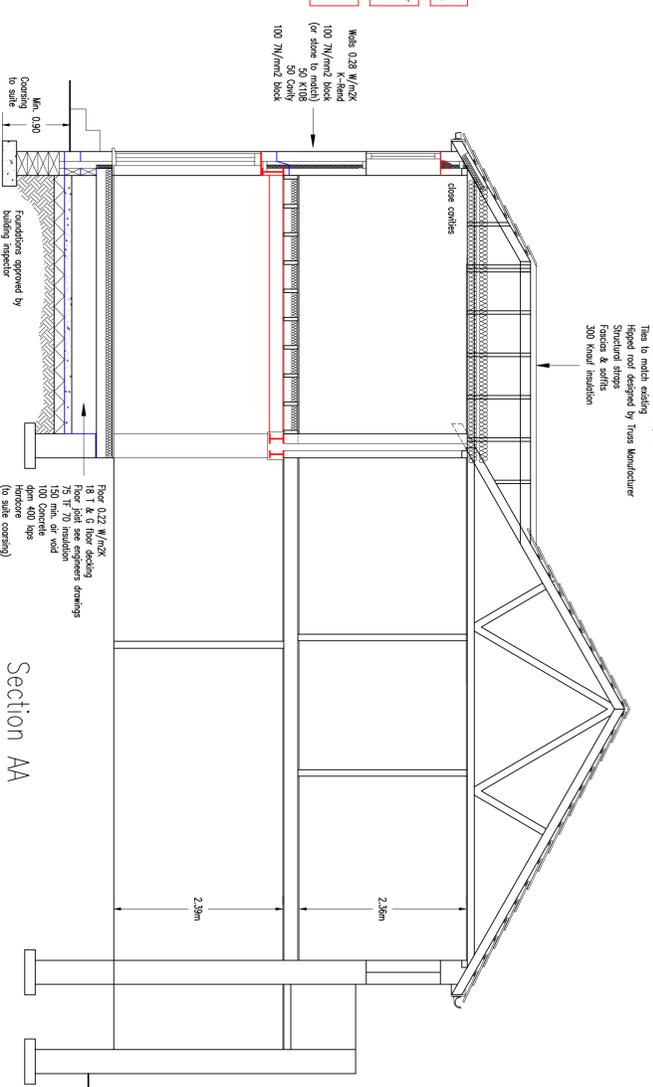
**Foundation, floors, tiled roof, lean-to roof, beams and trunks designed by structural engineer, see structural engineers drawings.**

**Proposed drainage layout to be determined on site by the builder. Proposed existing drainage is exposed and to the satisfaction of the building inspector.**

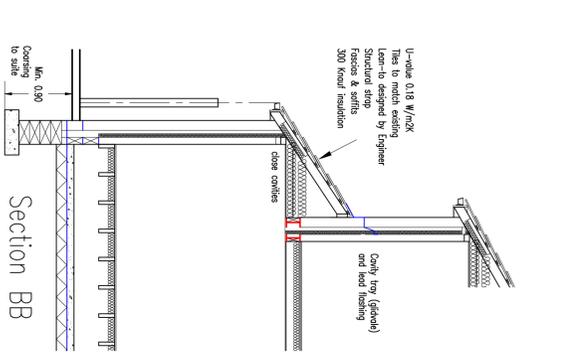
**Proposed first floor extension 1.5m from boundary. Boundary position to be agreed with neighbour (N/A) before work commences on site.**

**PLEASE READ BUILDING REGULATION NOTES IN SEPARATE DOCUMENT IN CONJUNCTION WITH EXISTING AND PROPOSED DRAWINGS AND STRUCTURAL ENGINEERS DRAWINGS.**

- CONTENTS**
- 2 DESCRIPTION OF THE WORKS
  - 4 Management of the Works
  - 4 Quality and Standards / Control
  - 4 CDM Regulations
  - 4 DRAINAGE
  - 5 Above ground drainage
  - 5 Below Ground drainage
  - 5 FOUNDATIONS AND FLOORS
  - 6 Proposed foundations.
  - 6 Overseite concrete
  - 6 Suspended timber floor
  - 6 MASONRY
  - 7 Site-Structure
  - 7 Cavity wall
  - 7 Super-Structure
  - 7 Cavity Walls
  - 7 Beading
  - 7 Stone and leaf option
  - 8 Stone Lintels and Sills
  - 8 Wall ties
  - 8 Damp proof Course
  - 8 Cavity Closer
  - 8 Air gables
  - 8 Bonding new masonry to existing dwelling
  - 8 Lintels
  - 9 Cavity tops
  - 9 STRUCTURAL STEELWORK
  - 9 Temporary propping work
  - 9 Steel Beams
  - 9 Fire protection
  - 9 ROOF COVERINGS
  - 9 Traditional roof
  - 9 Fascia and soffits
  - 10 Roof Covering
  - 10 Structural struts
  - 10 STRUCTURAL CARCASSING
  - 10 First floor
  - 10 Structural strapping
  - 11 Partitions
  - 11 Windows
  - 11 Windows
  - 11 Coving
  - 12 VENTILATION
  - 12 Mechanical extract ventilation
  - 12 HEATING APPLIANCES
  - 12 ELECTRICAL
  - 12 Electrical Installation
  - 13 Early warning system



Section AA



Section BB

Revision A 20.02.22  
 Revised scheme  
 First floor extension set back from boundary 1.5m

<p>CLIENT  <b>Matthew and Emma Snow</b>          3 Beechfield Avenue          Skelmonthorpe          HD8 9BZ</p>		<p>DESIGN  <b>T J Coates Ltd</b>          2 Unity Hall Court          Haight Moor Road          West Lindsey          Wakefield WF3 1BE</p>	
<p>PROJECT          Proposed Extension</p>		<p>TITLE          Proposed drawings</p>	
SCALE PLANS, ELEVATIONS & SECTIONS 1:50	DATE	20.04.2021	
DRAWN BY MC	CHECKED		
DRAWING NO 430-P02	REVISION		