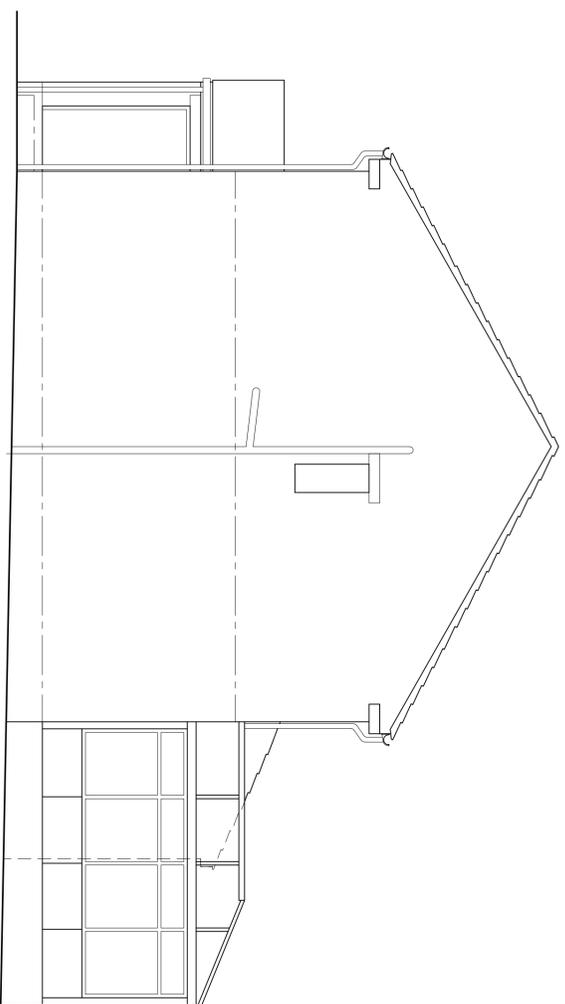
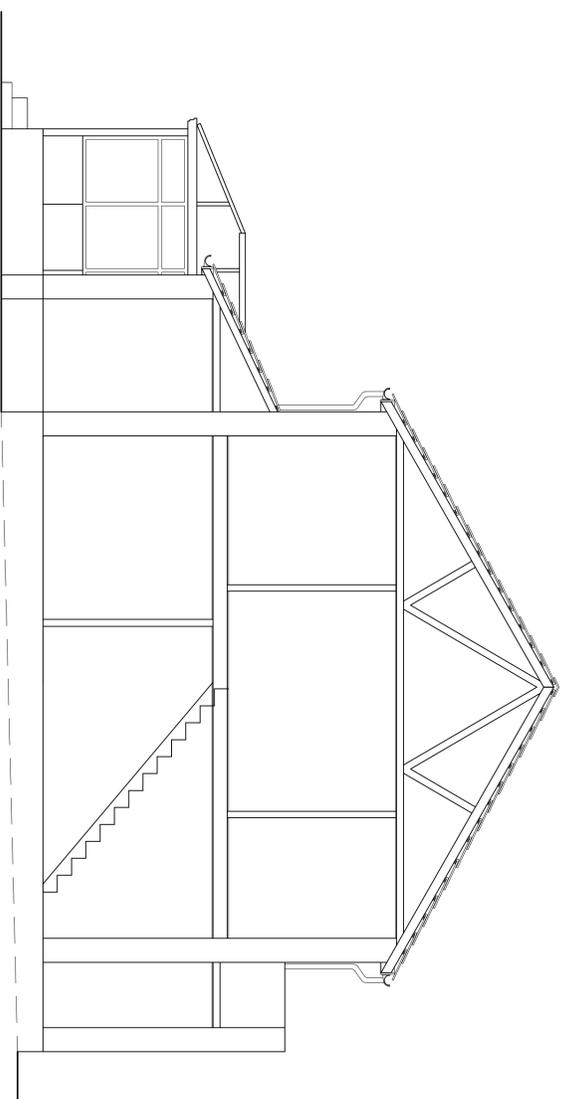




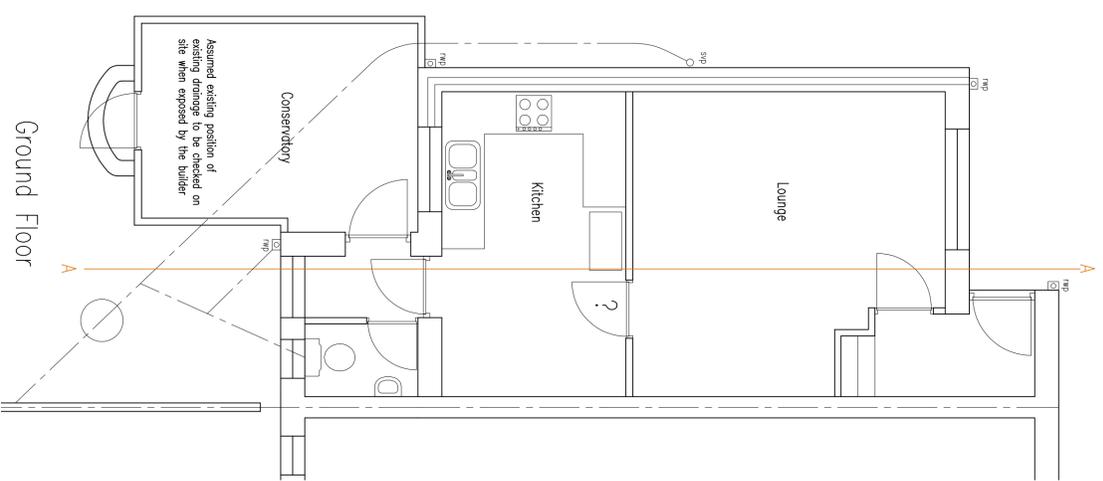
North Elevation



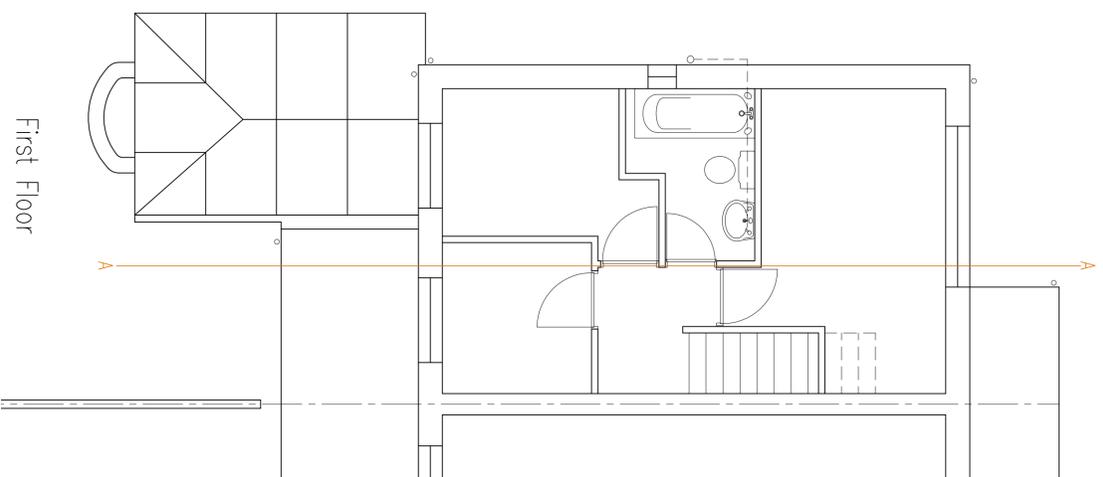
East Elevation



West Elevation



Ground Floor



First Floor

Planning and Building Regulations
Drawings to be read in conjunction with the building regulation notes pages and structural engineers' drawings.
The structural engineers' drawings and calculations supersede information on the T J Coates Ltd drawings.

Any alterations to the design or construction must be approved by the builder and / or the supervising officer.

Builders must scrutinise the official approved plans and notes before commencing work and comply with all the notes therein.

These drawings have been prepared for planning and building regulation submission only and therefore all forms of construction (e.g. materials, methods, etc.) are the responsibility of the builder. T J Coates Ltd design is liability for errors or omissions.

The Contractor / Builder is responsible for checking site dimensions, materials etc. and all building work, such work being checked by Building Control on site, as may be appropriate. T J Coates Ltd assumes no liability for works carried out.

All dimensions to be checked on site before works commence, do not scaled from this drawing.

On no account are any works whatsoever including foundations to be carried out on any part of a site without express permission from the adjoining owner.

Check position and verify, flow direction and invert levels of all existing drainage before work commences on site.

Permission from Property Owners
Tenants must obtain written permission from their Landlords / Owners of the premises before applying for planning permission.

Permission from Adjoining Neighbours
Where necessary owner is to obtain written permission from adjoining neighbours before any works commencing. Any works encroached upon during or after construction.

In principle, when erecting a new building or extension to a building, you can construct it up to the boundary but must not encroach over the adjacent land without the express consent of the adjoining owner.
This means keeping all elements, including temporary scaffolding, the projection of foundations, eaves, rainwater goods, opening windows, beams etc. within the confines of your own land.

Planning or Building Regulation approval does not constitute any invasion of your neighbor's rights of light, rights of way or easements.

In the event of a dispute arising client should obtain legal advice immediately.

The Planning and Building Regulations system can do nothing to assist owners when boundary disputes arise.

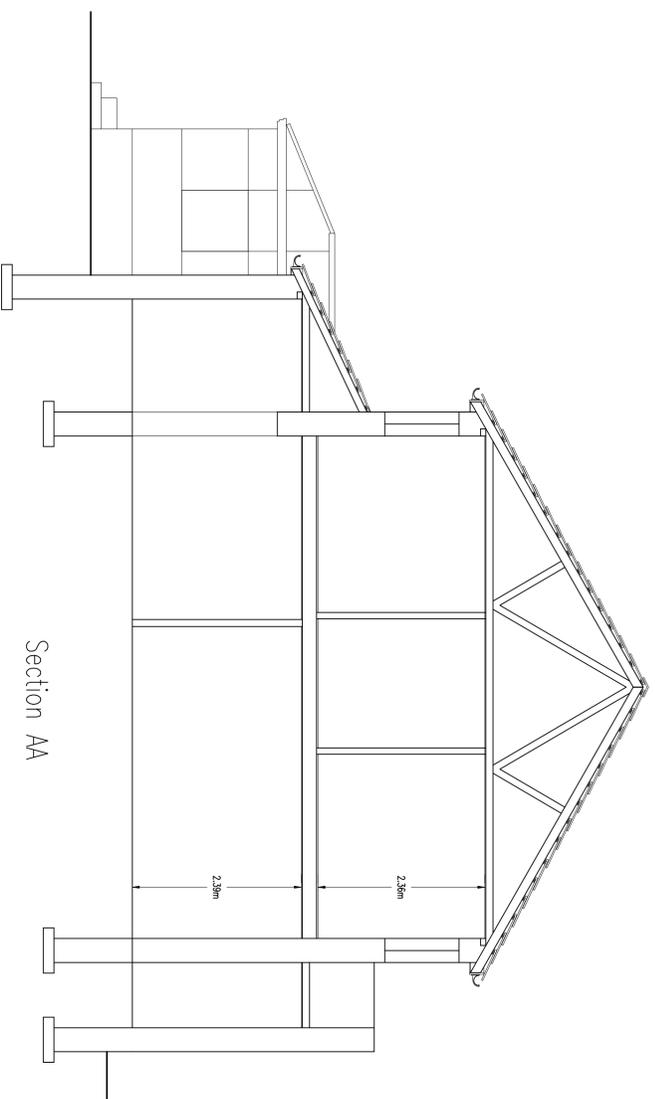
Party wall act 1986
If the building is on a party walling properties, must be in agreement of the construction work and the detail of the construction before works commences on site.

The builder to liaise with and notify adjoining owners if work is to be carried out on adjoining property.

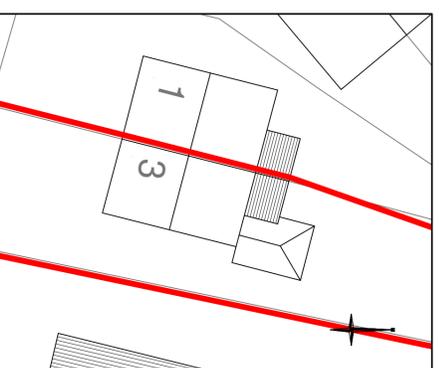
Planning conditions
There may be planning conditions to comply with in accordance with the planning approval notice.

CDM Regulations
The builder will need to comply and include for Health and Safety, Construction Design Management regulations (CDM), please see link below.
<http://www.hse.gov.uk/construction/cdm/2015/domestic-cdm15.htm>

Under the role of the Principal Designer as referred to in the CDM Regulations 2015 (It is the responsibility of the client to ensure that the Principal Designer is appointed in writing prior to the start of the project. The Principal Designer's role is to take to the client / principal contractor) or principal designer T J Coates Ltd one not acting as principal Designer or contractor under the CDM regulations



Section AA



Block Plan

Revision A 04.03.2022
Omit Location plan see drawing P03

TELE 0113252825 Email mjc@mjcdesigns.com DESIGN		T J Coates Ltd 2 Unity Hall Court Haigh Moor Road West Adisley Wakefield WF3 1BE	
CLIENT Matthew and Emma Show 3 Beechfield Avenue Skelmonthorpe HD8 9BZ		SURVEYS - CONSTRUCTION DESIGN, STRUCTURAL ENGINEERS - INTERIOR DESIGN - PROJECT MANAGEMENT	
PROJECT Proposed Extension		TITLE Existing drawings	
SCALE PLANS, ELEVATIONS & SECTIONS 1:50 BLOCK PLAN 1:250	DRAWN BY MC	DATE 20.04.2021	CHECKED BY REVISION
DRAWING NO 430-P01A			