

NOTES

All efforts have been made in measuring existing site.
However the contractor / builder is responsible, for checking & confirming all given dimensions on site prior to pricing & works.

Extent of boundary ownership confirmed by applicant.

Proposal -

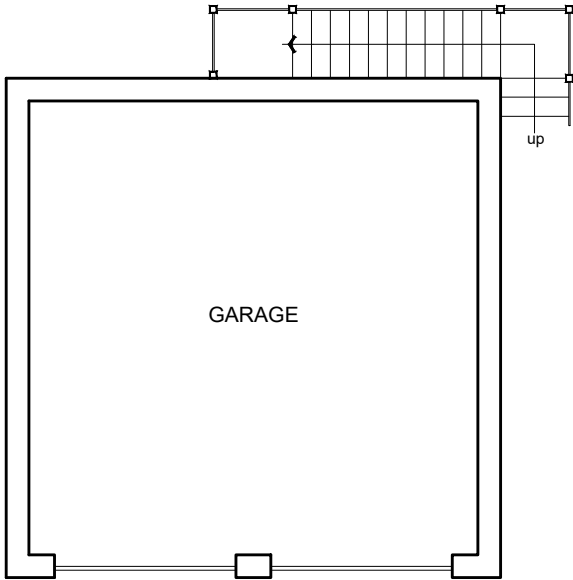
Householder Application for Planning Permission for the proposed single-storey side extension to dwelling and extension to existing garage forming garden room as illustrated on the application plans to meet end-user requirements.

1) GENERAL BUILDING NOTES

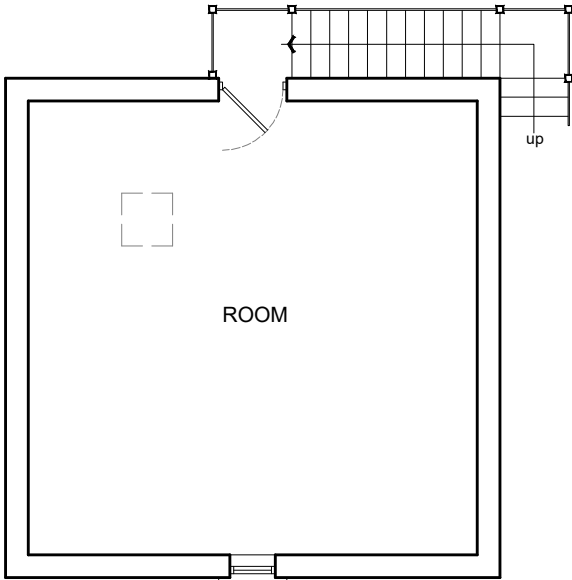
- All works to be in accordance with Building Regulations, current editions and amendments and to the satisfaction of the Building Control Authority.
- All works within the contract and by the contractor must be carried out in such a way that all requirements under the Health and Safety at Work Act are satisfied and maintained.
- All works by the Contractor must be carried out in compliance with the requirements of all British Standards, Codes of Practice etc. and with the requirements of all relevant and current Statutory Authority regulations.
- All structural calculations if required to be submitted by client appointed Structural Engineers and upgraded as necessary as works proceed to suit any clients requirements.
- The contractor must ensure and will be held responsible for the stability of the building structure at all stages of the contract.

2) APPROVED DOCUMENT A STRUCTURE

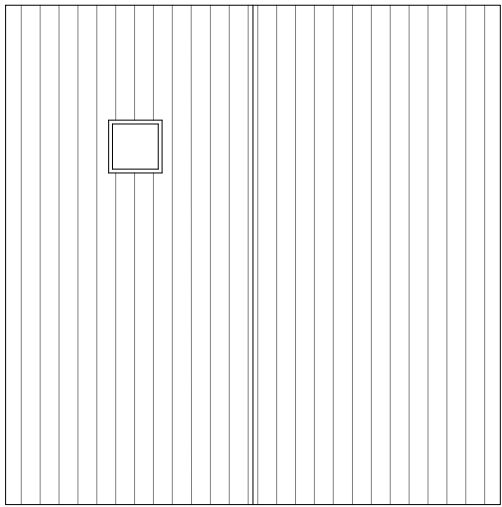
- All structural details and calculations if required to be submitted for approval to Building Control Authority by client appointed Structural Engineer.



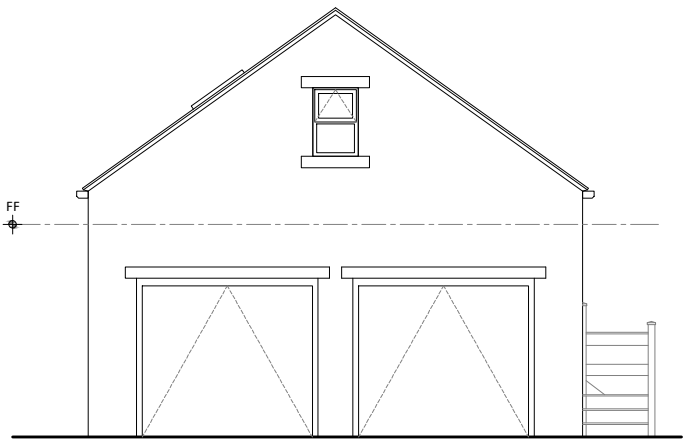
EXISTING GARAGE PLAN
SCALE - 1:100



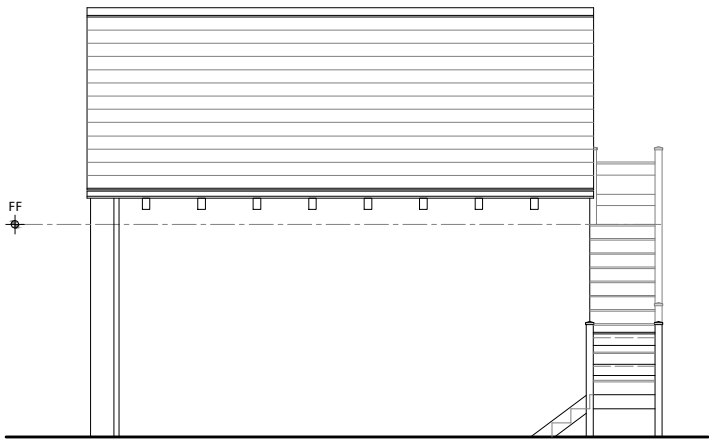
EXISTING FIRST FLOOR PLAN
SCALE - 1:100



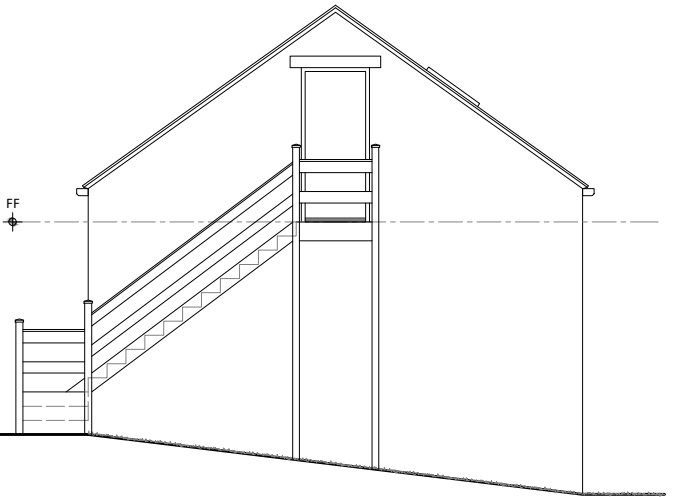
EXISTING ROOF PLAN
SCALE - 1:100



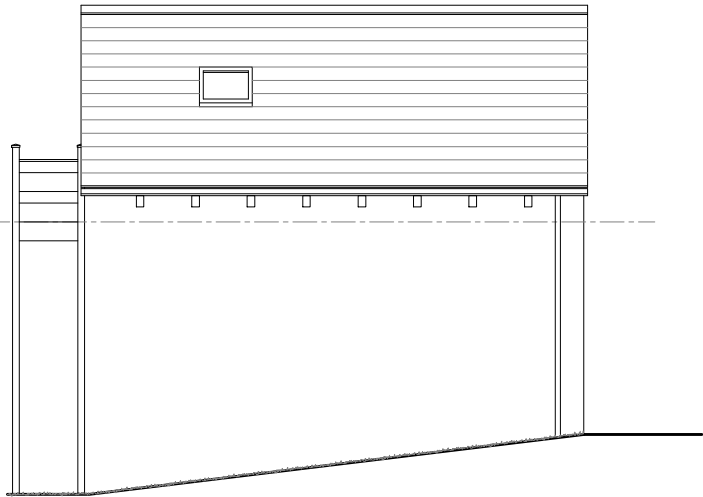
EXISTING FRONT ELEVATION
SCALE - 1:100



EXISTING SIDE ELEVATION
SCALE - 1:100



EXISTING REAR ELEVATION
SCALE - 1:100



EXISTING SIDE ELEVATION
SCALE - 1:100

Materials As Existing -

Walls - Stonework finish to outerleaf.

Doors - Brown up & over garage doors/ brown upvc framed doorset.

Windows - Timber framed casement window unit.

Roof - Stone slate finish.

Fascia/Guttering - Black guttering & downpipes to suit.

CDM 2015

RISKS

- RESTRICTED ACCESS TO SITE.
- SITE WELFARE REQUIREMENTS.
- SITE CLEARANCE.
- EXCAVATIONS/CONCRETE WORKS.
- TEMPORARY SUPPORT.
- WORKING AT HEIGHT.
- INSTALLATION OF TEMPORARY AND RE-ROUTED SERVICES.
- HANDLING LOADS.

PLANNING

Rev	Description	Date	By	App'd
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tractus:dma
architectural design

Headfield Business Centre, Headfield Mills
Savile Road, Dewsbury, West Yorkshire, WF12 9LQ
t: 01924 462 550 m: 07791 717 404
e: asif@tractusad.co.uk

Client
Mr. & Mrs. Tyas

Project
153 West End, Netherthong
Holmfirth, HD9 3EJ

Drawing title
Existing Garage Plans and Elevations

Drawn by	Date	App'd
AM	01/21	-

Drawing no	Project no	Scale @ A3	Rev
EX-04	20-726	1:100	-