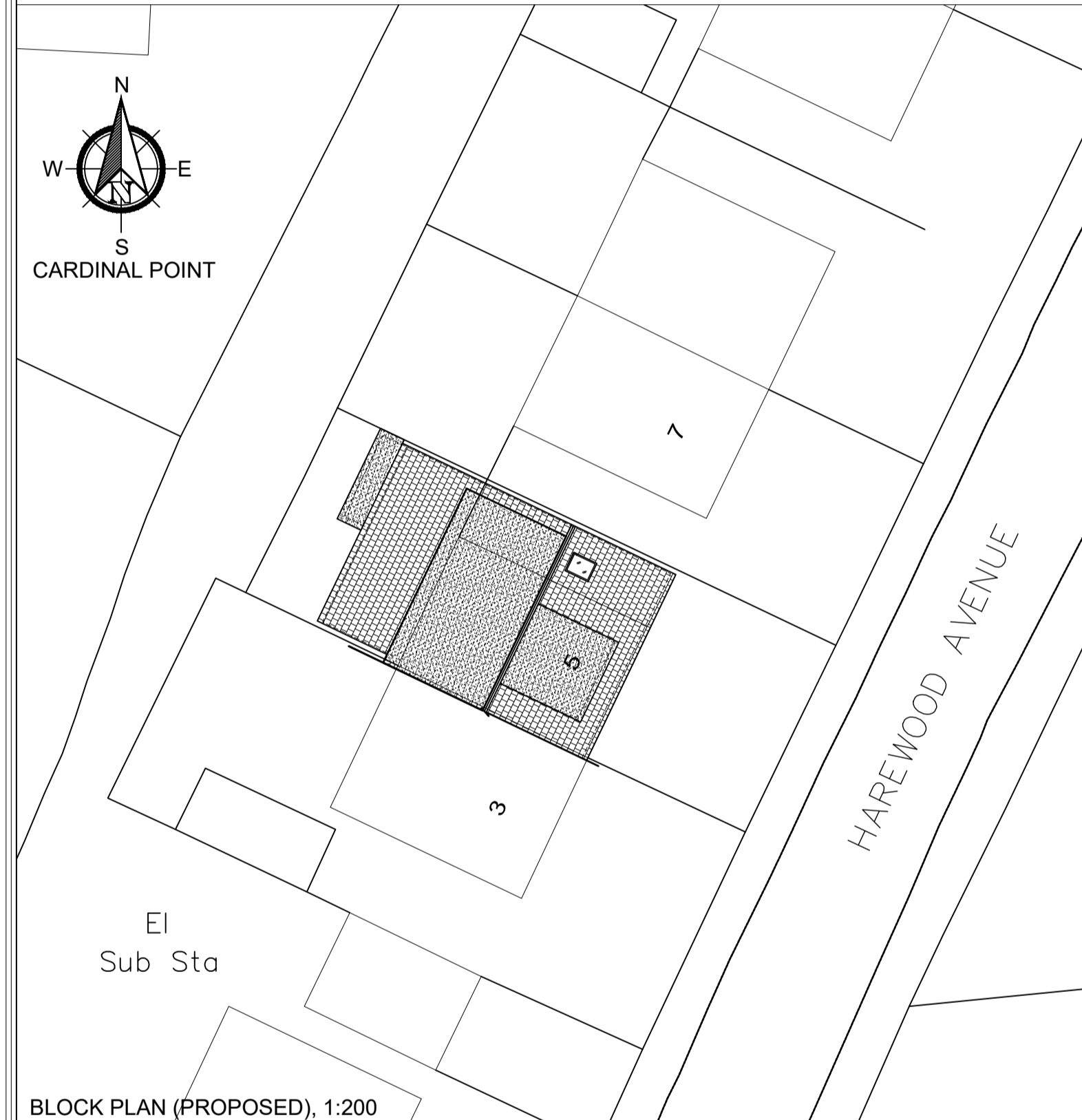


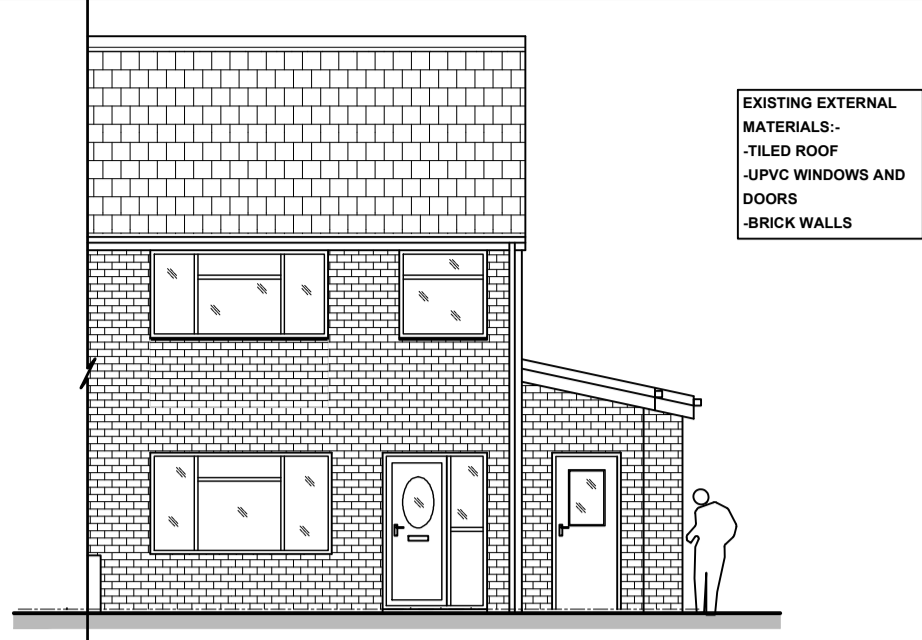
SITE LOCATION PLAN (EXISTING), 1:1250



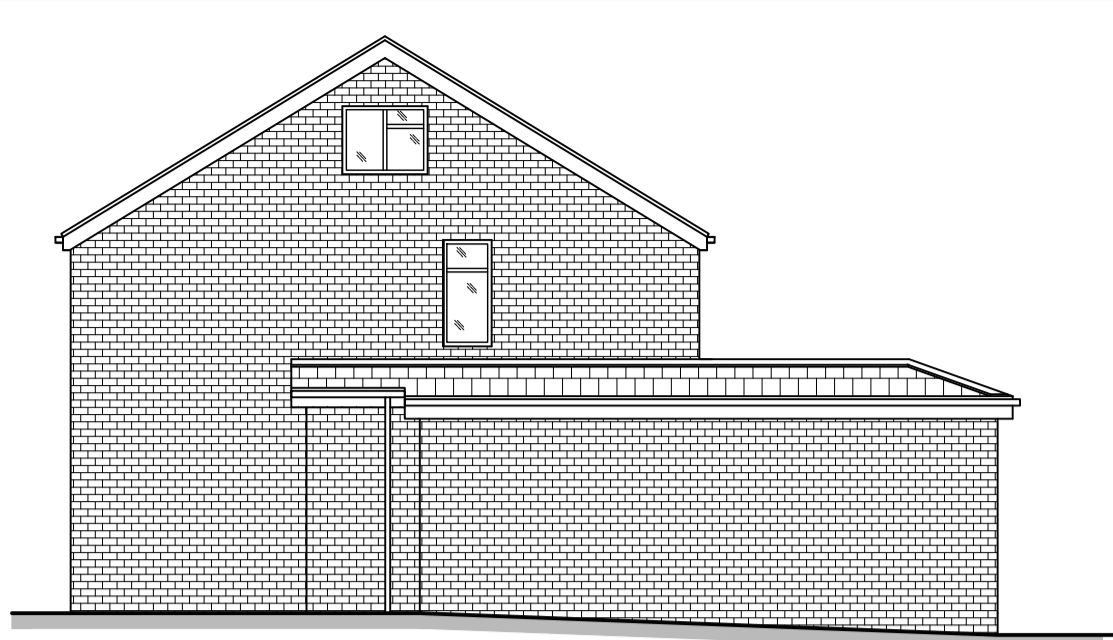
BLOCK PLAN (PROPOSED), 1:200

- 1) GENERAL NOTES**
- All works after Planning Permission is Approved are to be in accordance with **BUILDING REGULATIONS 2010**, current editions and amendments and to the satisfaction of the Local Authority Building Inspector.
 - THE CONTRACTOR MUST ENSURE AND WILL BE HELD RESPONSIBLE FOR THE STABILITY OF THE BUILDING STRUCTURE AT ALL STAGES OF THE CONTRACT.**
- 2) APPROVED DOCUMENT A. STRUCTURE.**
- All Structural Details and Calculations to be submitted for approval by the Local Authority at Building Regulations Stage.
 - All underground pipework passing through a masonry wall is to have a suitable lintel or arch constructed over the pipe to provide a minimum of 50mm clearance around the pipe or to have flexible rocker pipes either side of the wall and the pipe solid bedded.
 - New roof drainage designed to cater for a flow capacity with a downfall intensity of 75mm per hour, and connected into existing system to Local Authority approval.
 - All masonry to be in accordance with BS 5628 part 3, 1983. All masonry supports & stainless steel ties to Local Authority approval.
- 3) APPROVED DOCUMENT B. FIRE SAFETY.**
- All cavities are to be closed with Lamotherm / Thermobate closers.
 - Means of escape is to be in accordance with current building regulations / Local Authority approval.
- 4) APPROVED DOCUMENT C. SITE PREPARATION AND RESISTANCE TO MOISTURE.**
- All glazed screens in the external walls are to be impervious to moisture.
 - Any new below ground drainage to remain connected into existing sewer.
 - Any new below ground drainage to be vitrified clay with flexible joints, ie Hepworths, Naylors, or similar approved, suitably encased to suit location.
- 5) APPROVED DOCUMENT F. VENTILATION.**
- WC accommodation to be mechanically ventilated @ 15 l/s per second to provide a minimum of 3 air changes per hour with a 15 minute over run controlled automatically. 60 l/s per second ventilation @ Kitchen
- 6) APPROVED DOCUMENT G. HYGIENE**
- Hot water to be provided by existing combination gas fired boiler (any new boiler to have sedubk rating of 86 percent class A or B).
- 7) APPROVED DOCUMENT H. -DRAINAGE AND WASTE DISPOSAL.**
- All internal drainage to be vented at the head of the system with approved cage or perforated cover. All utility sinks to have 75mm deep, deepseal re-sealing traps with a minimum 40m dia. waste pipe. Sizes of all waste pipes designed to suit number of connections. All drainage runs to be roddable. Rodding access to be provided on all bends, ends of runs and changes of direction.
- 8) APPROVED DOCUMENT J. HEAT PRODUCING APPLIANCES**
To M & E Consultant's details if applicable.
- 9) APPROVED DOCUMENT L. CONSERVATION OF FUEL AND POWER.**
- Any new masonry openings to have proprietary thermal closers to prevent any thermal bridging.
- 10) APPROVED DOCUMENT N. GLAZING - SAFETY IN RELATION TO IMPACT, OPENING AND CLEANING.**
- New windows to achieve 20th floor area ventilation with multi-point locking mechanism. The double glazed units are internally glazed with Low E glass as standard in a 4-20-4 build up, argon filled cavity, to achieve minimum U-value = 1.6W/m2
 - All glass to comply with BS6206, 1981 and BS 6262 Class C in doors. All glass to be toughened if less than 800mm above floor level and doors and side panels 1.500mm high.
- 11) Health And Safety**
All works to be done under current Hea; And Safety regulations
- ALL ELECTRICAL DESIGN & WORK TO MEET THE REQUIREMENTS OF PART P BS 7671 (ELECTRICAL SAFETY) MUST BE DESIGNED, INSTALLED, INSPECTED AND TESTED BY PERSON COMPETENT TO DO SO (NICEIC).**
- ALL MECHANICAL DESIGN & WORKS BY SPECIALIST TO L.A. INSPECTOR APPROVAL.**

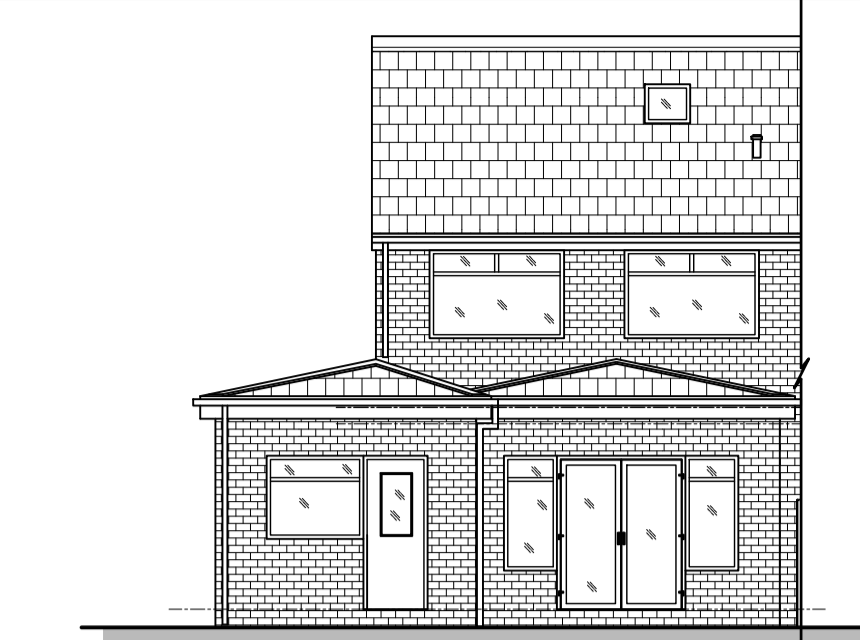
- LEGAL NOTES:**
- IT IS THE CLIENT'S (OWNER) RESPONSIBILITY TO CHECK BEFORE SUBMISSION THAT BOUNDARY LINES SHOWN ON THIS DRAWING ARE STRICTLY AS IN CLIENT'S LEGAL TITLE DEEDS AND THAT THERE ARE NO RIGHT OF WAYS, SHARED SITE SERVICE LINES WITHIN BOUNDARY, ETC. SHOWN OR WRITTEN IN LEGAL DEEDS THAT WILL BE AFFECTED BY PROPOSED EXTENSION WORKS WAS SO EVER.
 - THIS DRAWING IS FOR PLANNING PERMISSION ONLY. ALL WORKS AFTER PLANNING PERMISSION IS APPROVED ARE TO BE CARRIED OUT IN ACCORDANCE WITH CURRENT BUILDING REGULATIONS AND TO THE APPROPRIATE BRITISH STANDARDS AND TO LOCAL COUNCIL INSPECTOR'S SATISFACTION.
 - LOCAL AUTHORITY TO BE NOTIFIED UPON COMMENCEMENT OF WORK ON SITE.
 - FOR GENERAL CONSTRUCTION DETAILS REFER TO APPROVED BUILDING REGULATION DRAWINGS.
 - A DESIGN LTD CANNOT BE RESPONSIBLE FOR ANY DAMAGE TO THE ADDRESS BELOW OR ANY ADJOINING PROPERTY HOW SO EVER CAUSED.
 - THE CLIENT (HIS OR HER CONTRACTOR) IS RESPONSIBLE FOR FINDING LOCATION OF ALL SHARED SERVICE LINES ON SITE & GAINING ALL NECESSARY APPROVAL FROM STATUTORY BODIES FOR REDIRECTION & NEW CONNECTIONS.
 - ALL DRAWINGS MUST BE READ IN CONJUNCTION WITH LOCAL AUTHORITY DECISION NOTICE CONDITIONS. (PLANNING BUILDING CONTROL)
 - THE OWNER MUST TELL NEIGHBOURS OF ANY WORK NEAR OR ON SHARED PROPERTY BOUNDARY AND TO OBTAIN APPROPRIATE AGREEMENT UNDER THE TERMS OF THE PARTY WALL ACT (LATEST EDITION) WHERE NECESSARY (IN CONSULTATION WITH A STRUCTURAL ENGINEER/BUILDING SURVEYOR)
 - ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK COMMENCES BY CONTRACTOR AND DISCREPANCIES REPORTED IMMEDIATELY TO DEVELOPER.
 - EXISTING DRAINPIPES TO BE BRIDGED OVER IF PASSING UNDER NEW WALLS.
 - NEW FOUNDATIONS/WALLS SHOULD NOT TRESPASS ONTO ADJOINING PROPERTY.



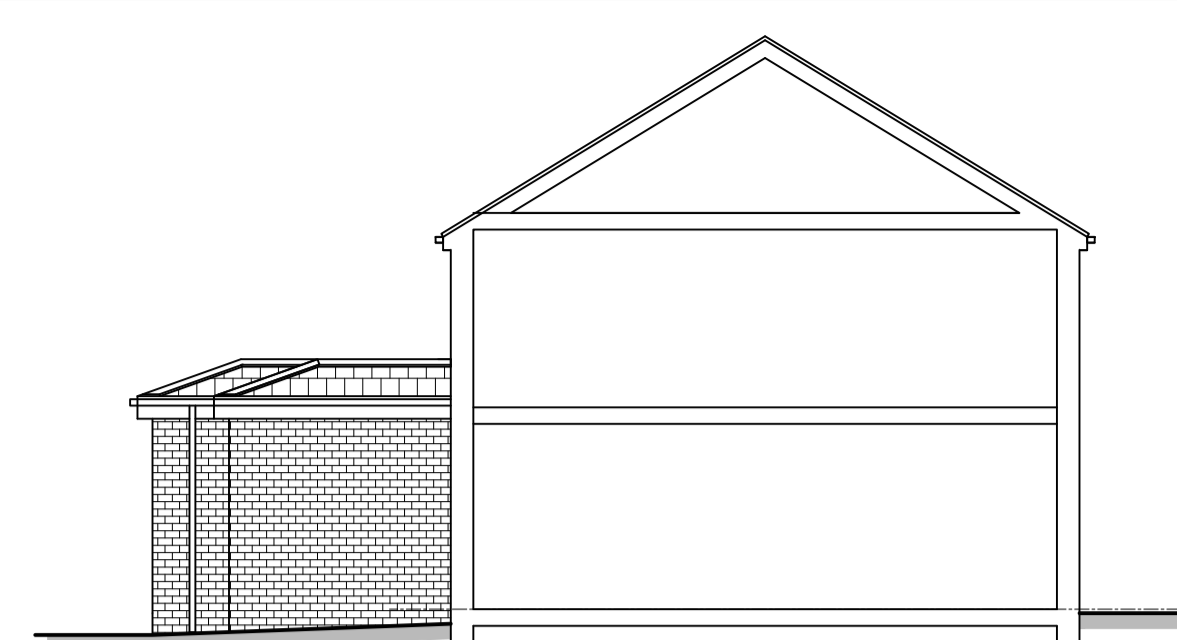
Existing East Elevation, Scale 1:100



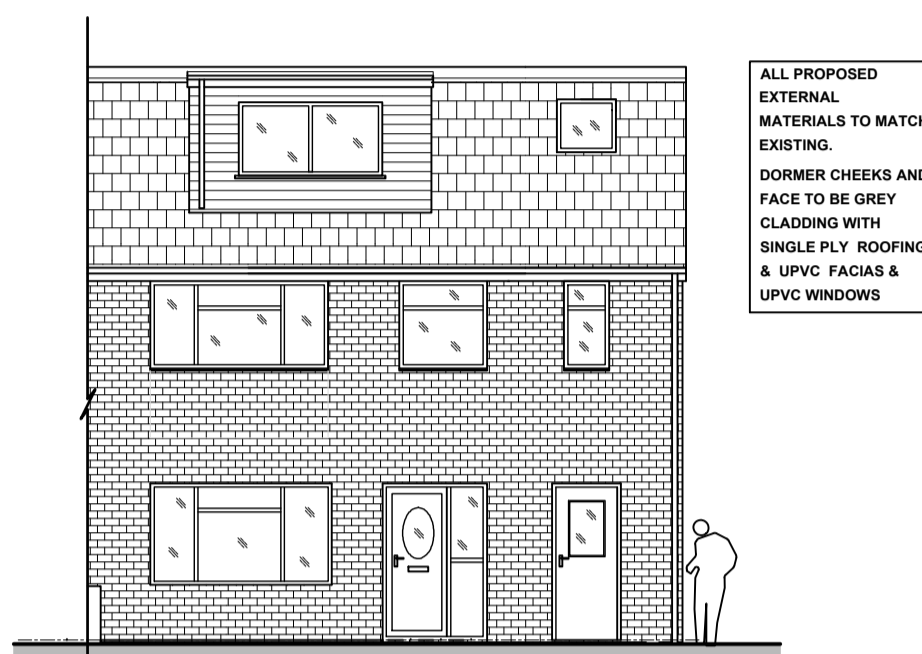
Existing North Elevation, Scale 1:100



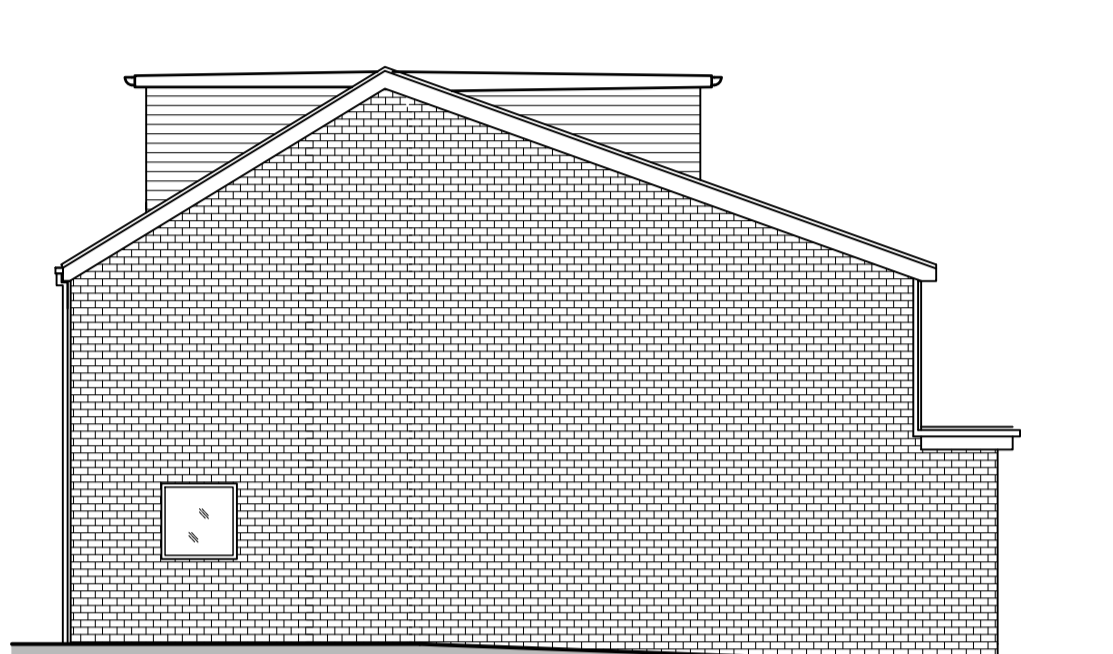
Existing West Elevation, Scale 1:100



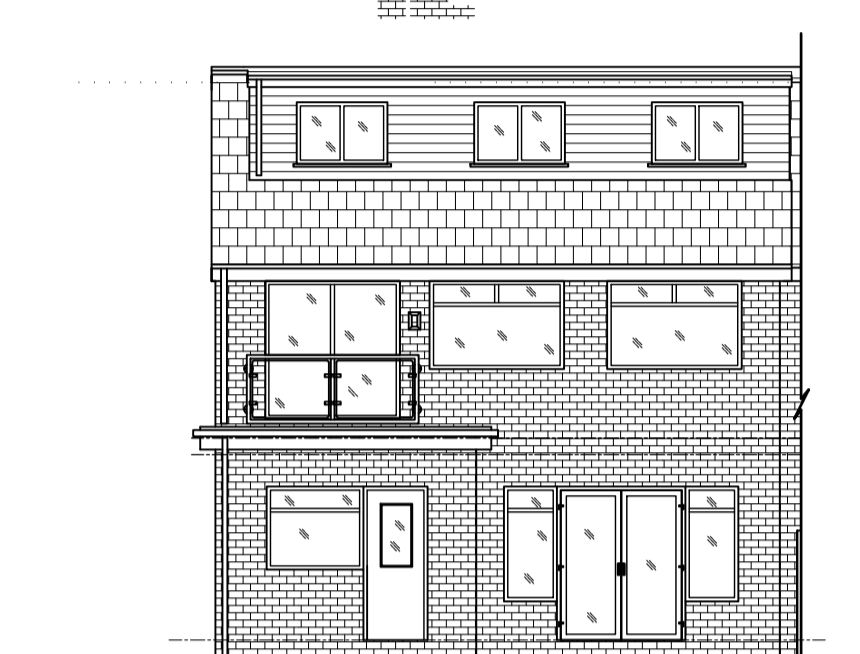
Existing South Elevation, Scale 1:100



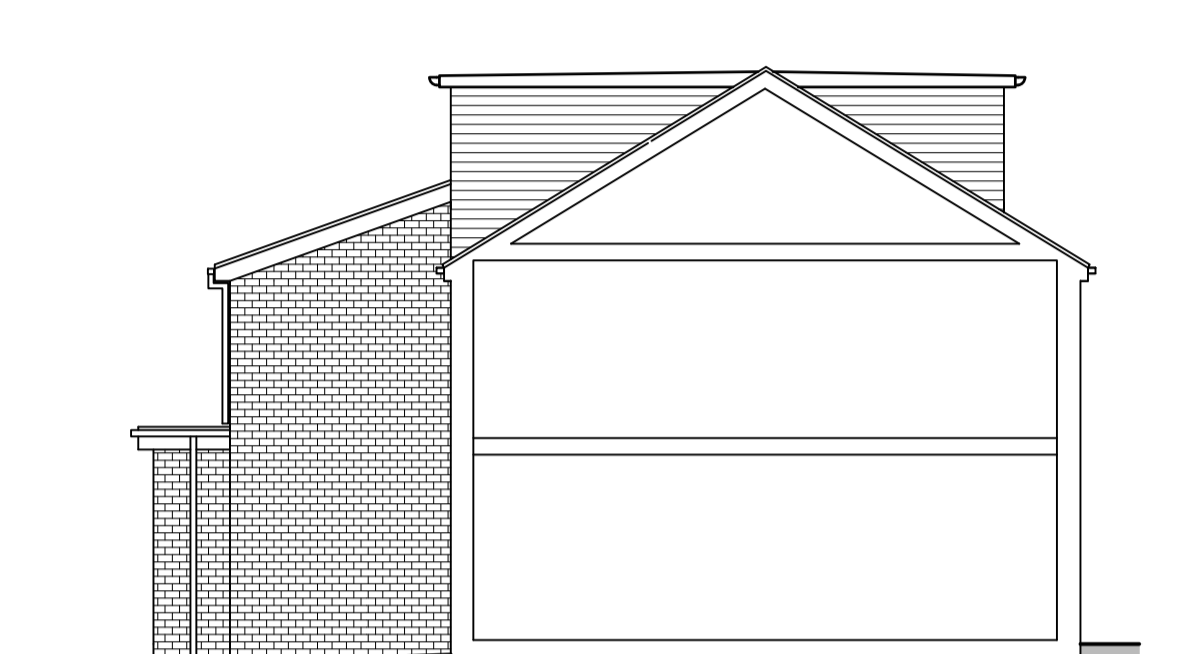
Proposed East Elevation, Scale 1:100



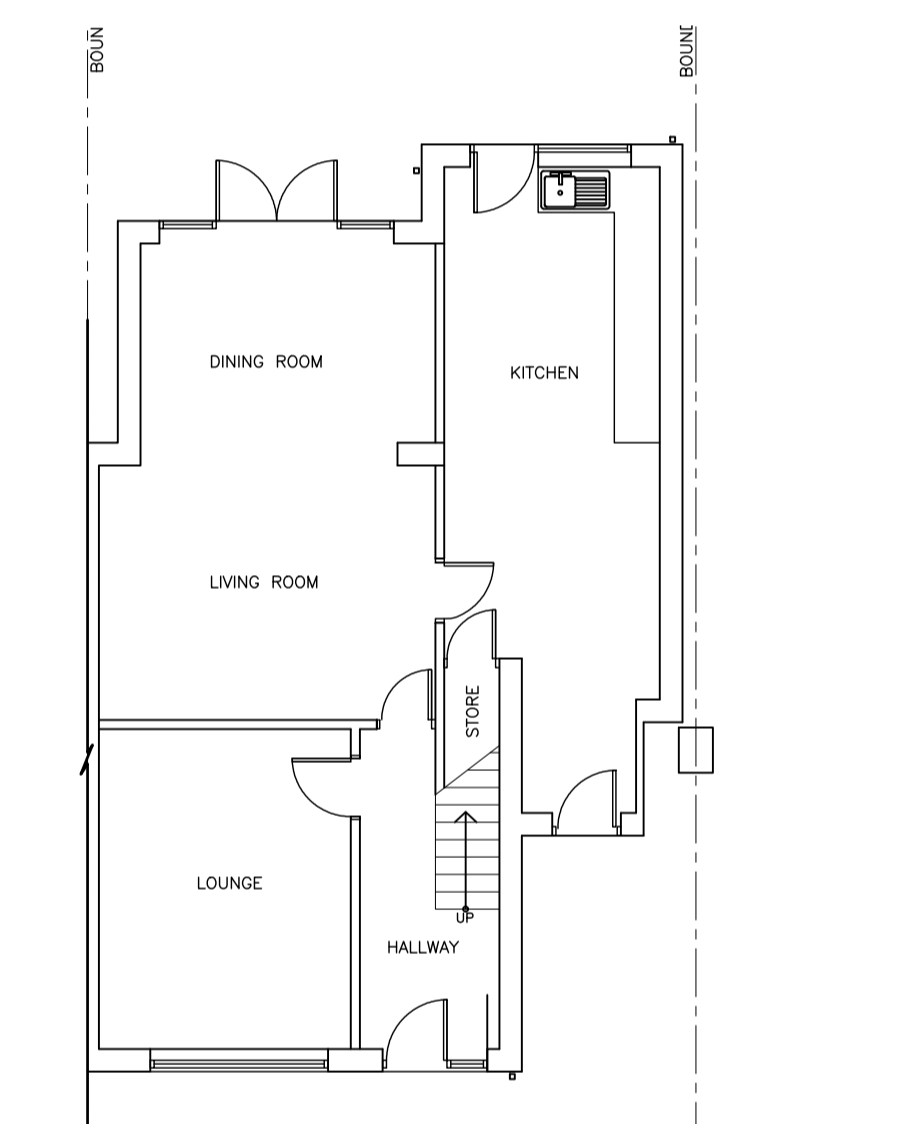
Proposed North Elevation, Scale 1:100



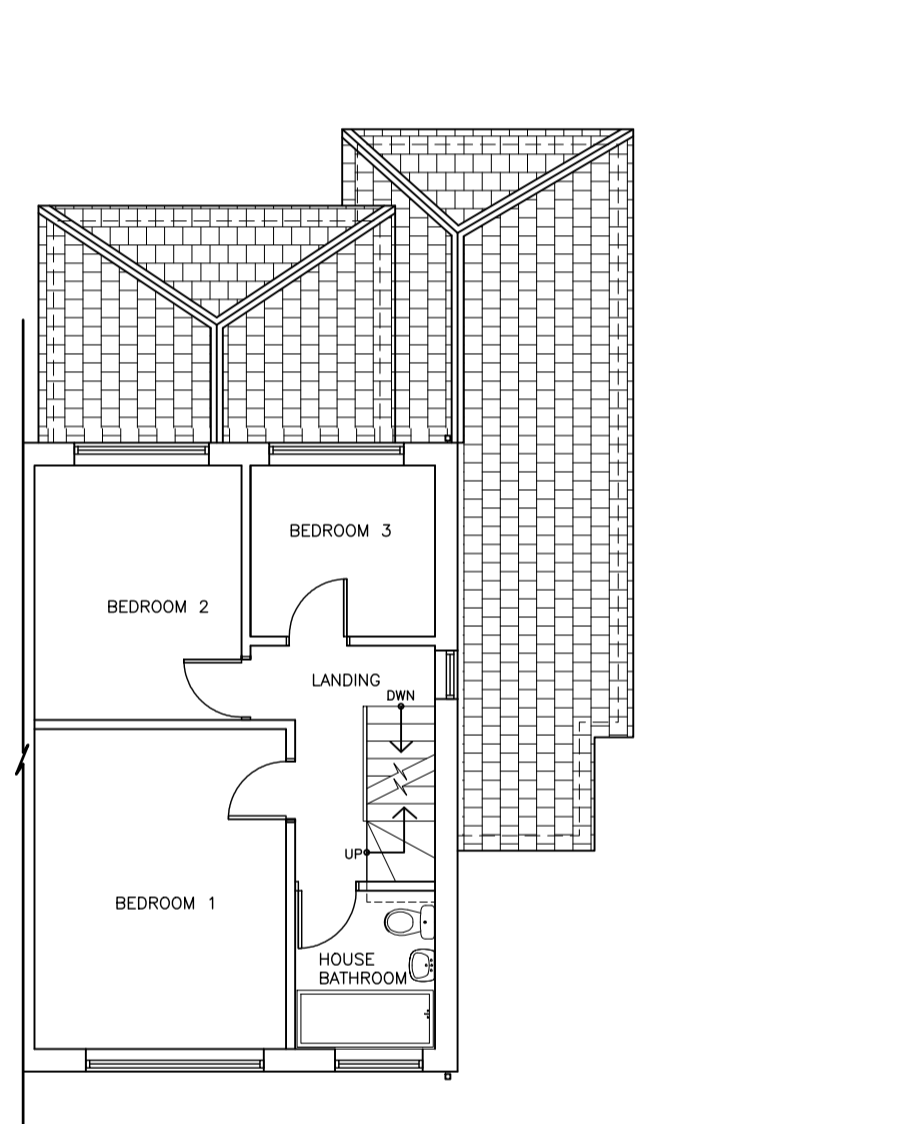
Proposed West Elevation, Scale 1:100



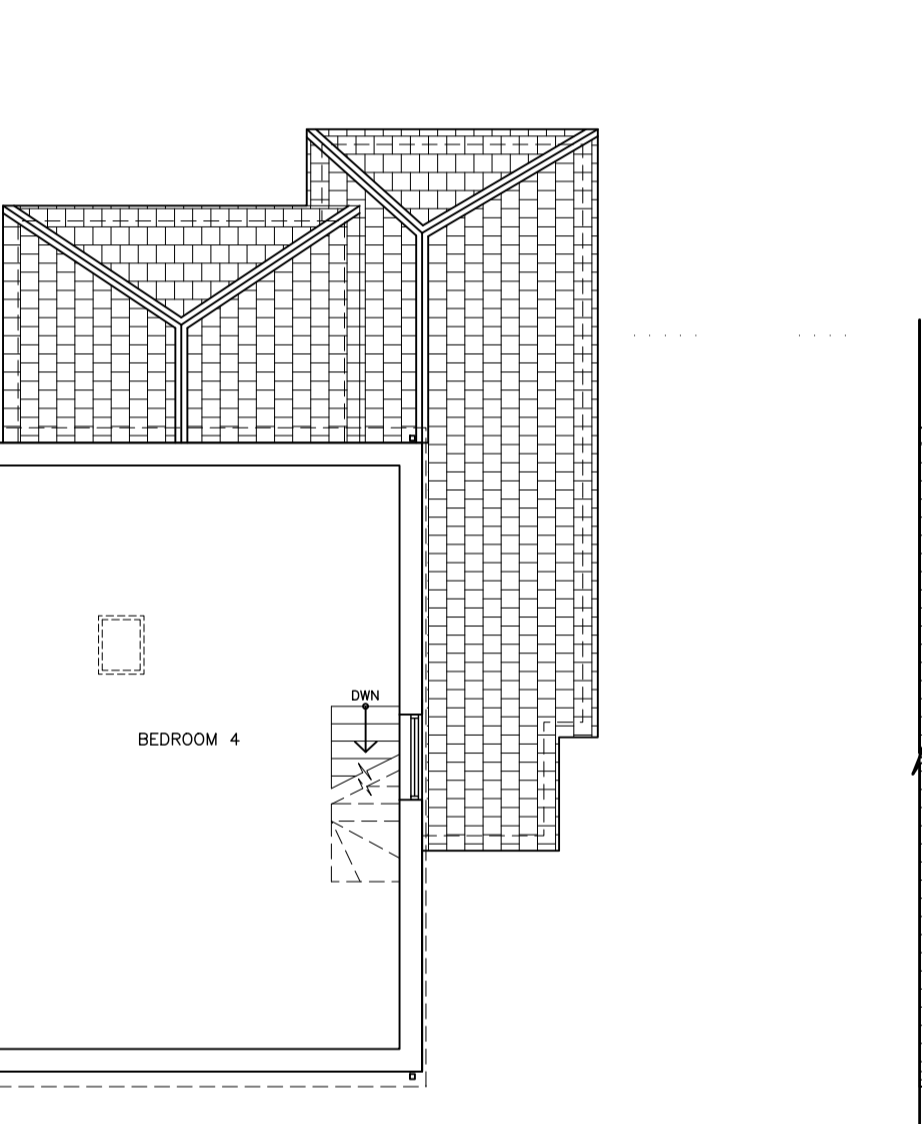
Proposed South Elevation, Scale 1:100



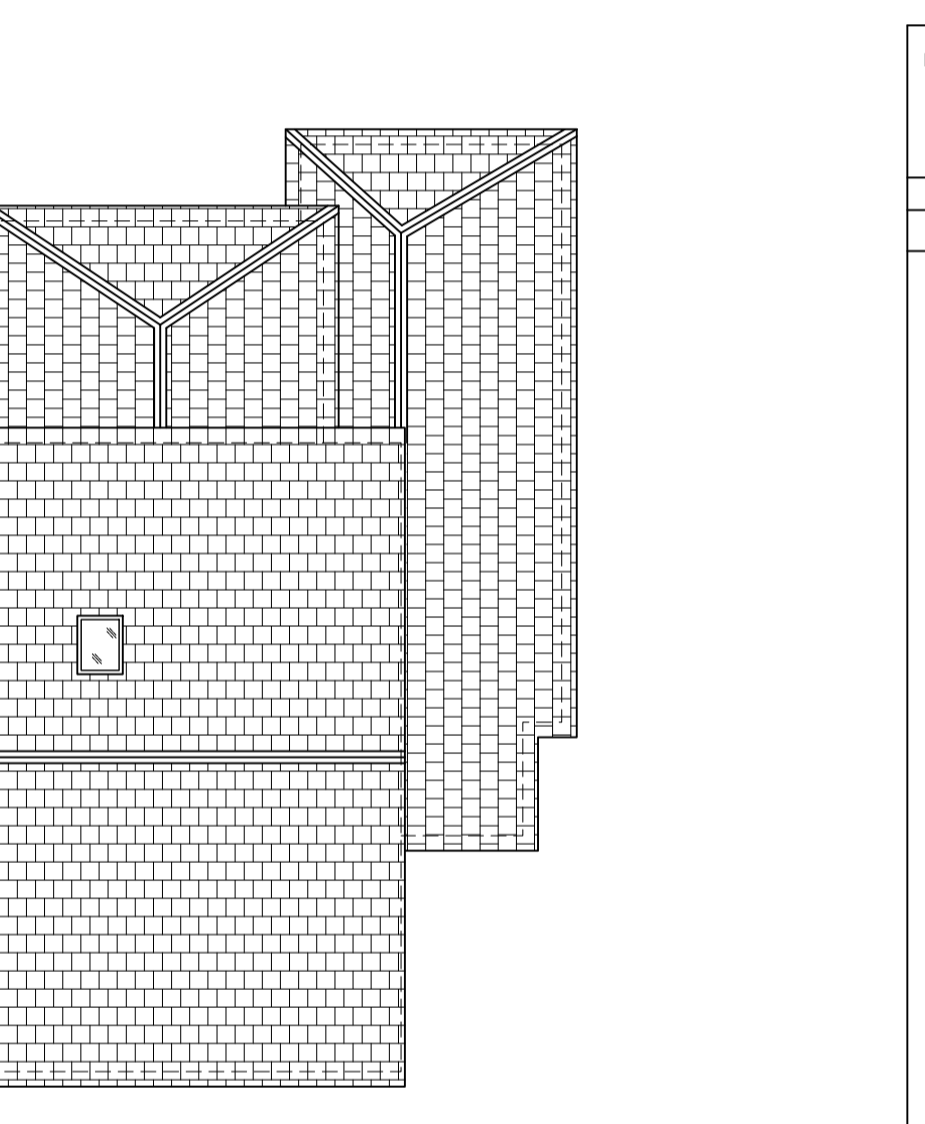
Existing Ground floor plan, Scale 1:100



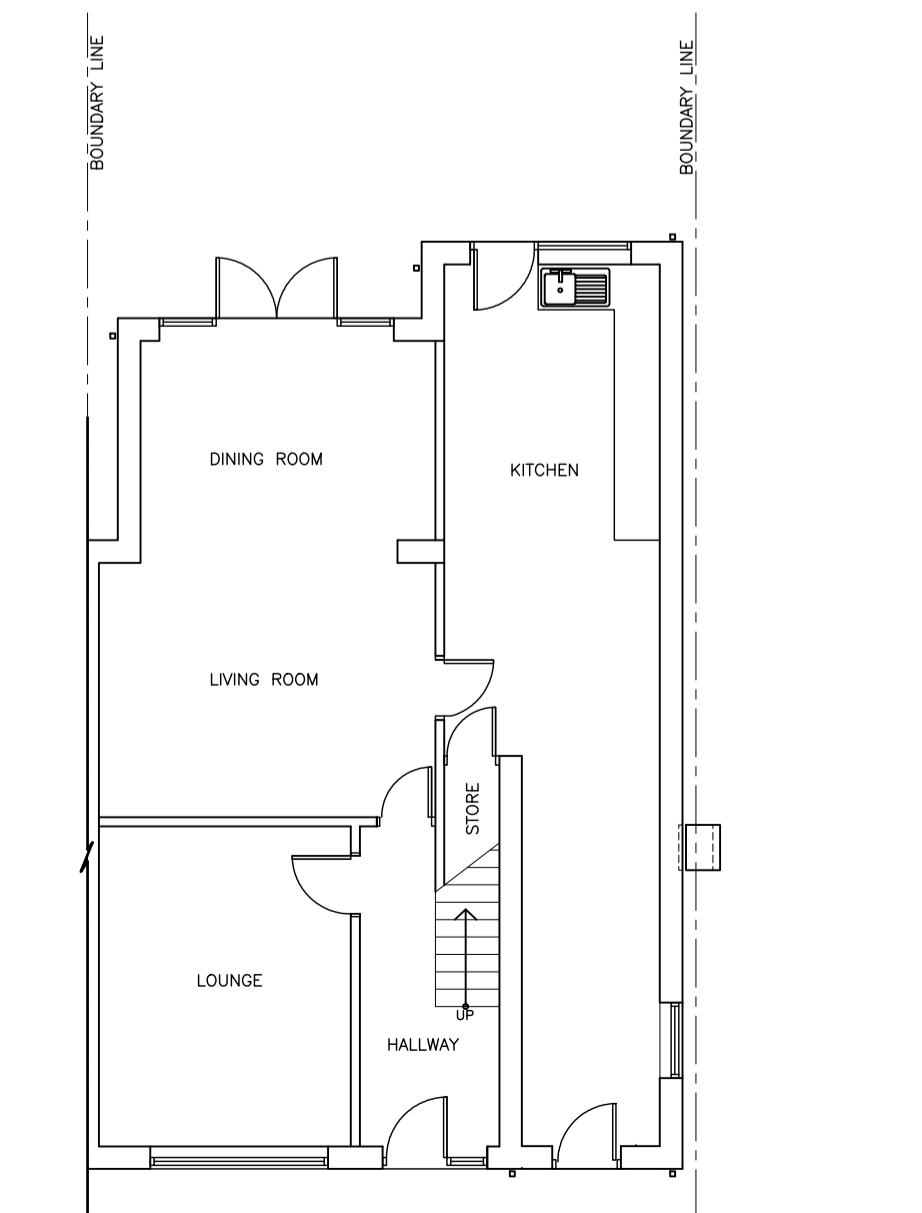
Existing First floor plan, Scale 1:100



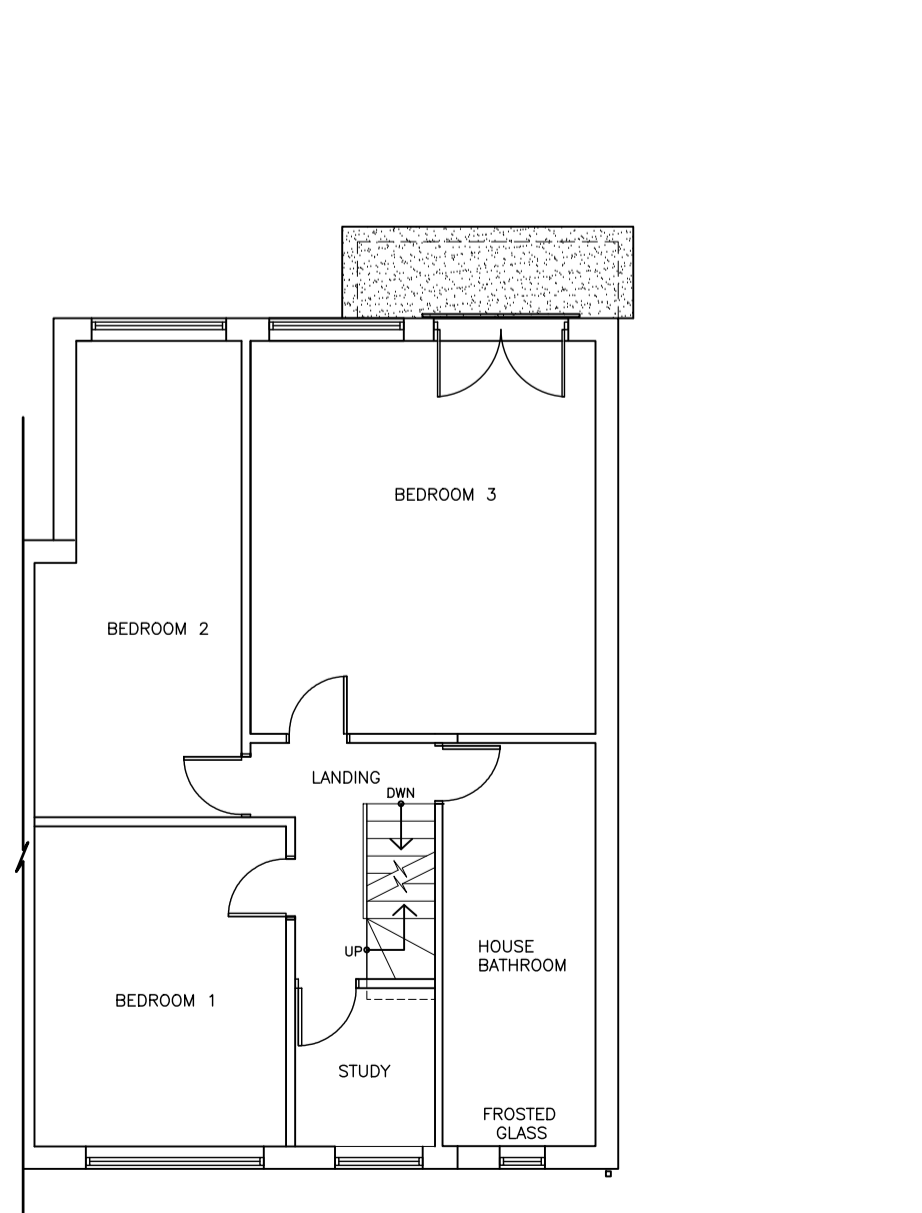
Existing Second (Loft) floor plan, Scale 1:100



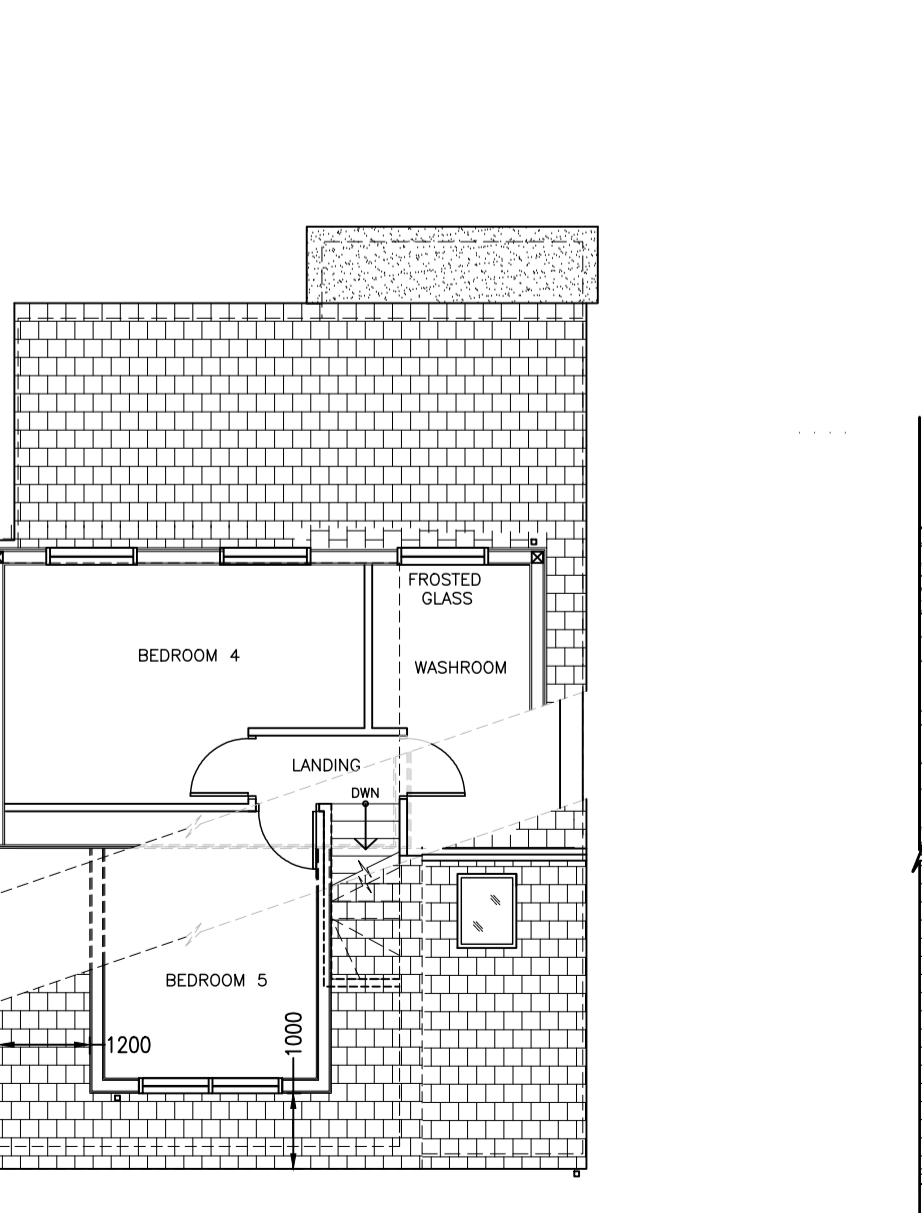
Existing Roof plan, Scale 1:100



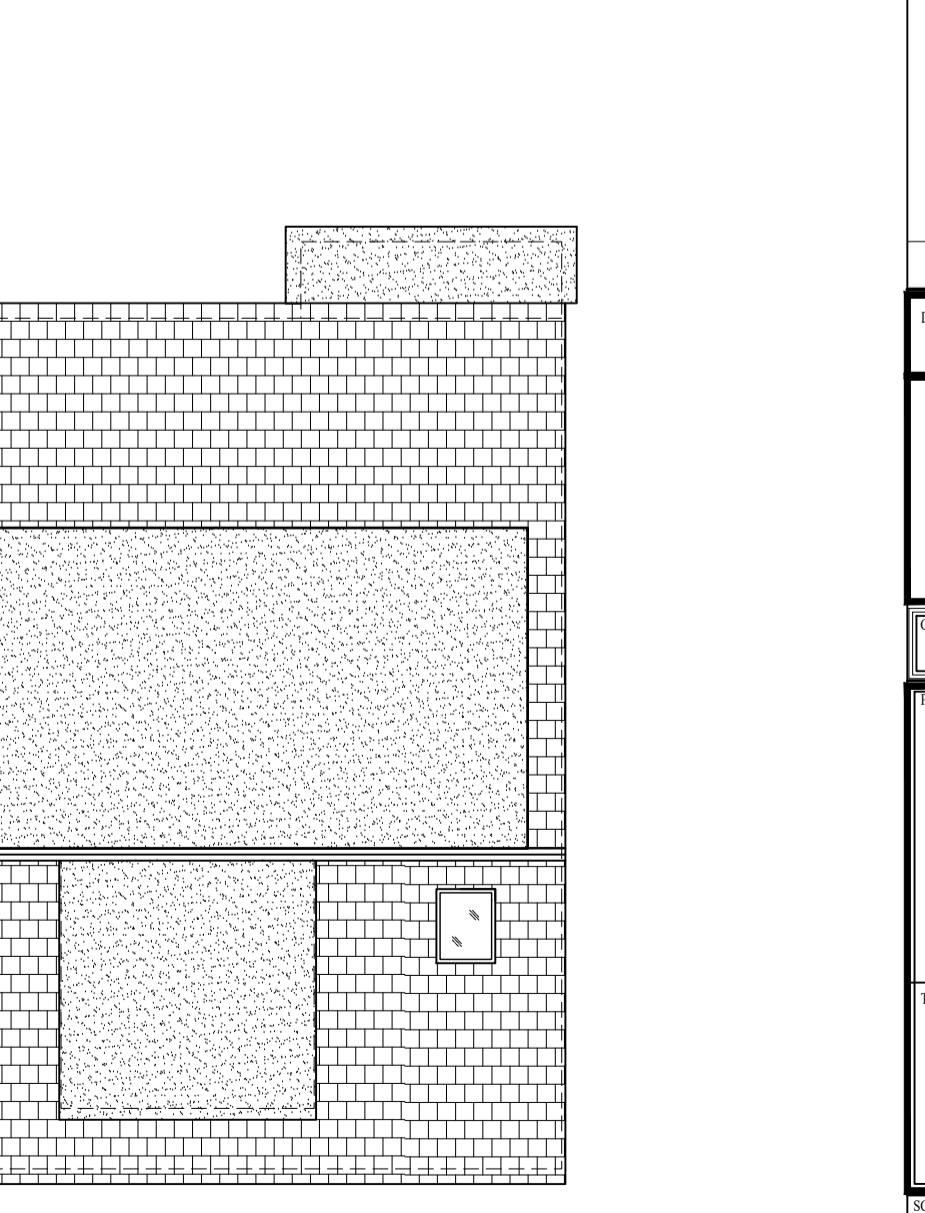
Proposed Ground floor plan, Scale 1:100



Proposed First floor plan, Scale 1:100




Proposed Second (Loft) floor plan, Scale 1:100



Proposed Roof plan, Scale 1:100

Builder/Contractor should not scale from this drawing-should use figured dimensions only. Builder/Contractor must check all dimensions on site before works. Any discrepancy found to be reported to Developer as soon as possible. This drawing or any portion of it may not be reproduced.

A1	
REV	DESCRIPTION
A	21.09.20 PROPOSED EXTENSION, SLIGHTLY REVISED. DORMER SPECIFICATIONS CHANGED TO DARK GREY CLADDING, REAR DORMER MADE WIDER. SIDE EXTENSION BROUGHT FORWARD IN LINE WITH EXISTING BUILDING.
DRAWING STATUS: PLANNING ISSUE	
 Architectural Designs and Consulting Engineers Ltd CONTACT ASIF NEKI MOB: 07970 020 028 EMAIL: asif@andesigns.eu 28 HEADFIELD ROAD, DEWSBURY, WF12 9JE	
CLIENT: MR. M. GULFRAZ	
PROJECT: PROPOSED FIRST FLOOR REAR & SIDE EXTENSION WITH FRONT AND REAR DORMERS AT 5 HAREWOOD AVENUE, HECKMONWIKE, WF16 0DB	
TITLE: SITE & BLOCK PLAN, EXISTING & PROPOSED FLOOR LAYOUT PLANS, ELEVATIONS & ROOF PLANS	
SCALE IN MM @ A1 SIZE: 1:100, 200, 1:250	DATE: JULY 2020
PROJECT NO: GUL-101	DRAWING NO: PL-01a
REV: A	