

Design and Access Statement

Proposed Phase I -

Access Road and Plateaued Development Plots

North Bierley, Cleckheaton

Introduction

This Design and Access statement is submitted as part and in support of a reserved matters planning application.

The current site benefits from outline planning consent 2016/60/92298/E

The proposal seeks to develop the site for industrial use which incorporates car parking and yard areas within an attractive landscape setting. The design and layout has been informed by the comments made during the pre-application process.

The purpose of this document is to explain the development of the scheme proposal, describe how the design has been influenced by an assessment of the local context and character and how the proposals will respond to the setting.

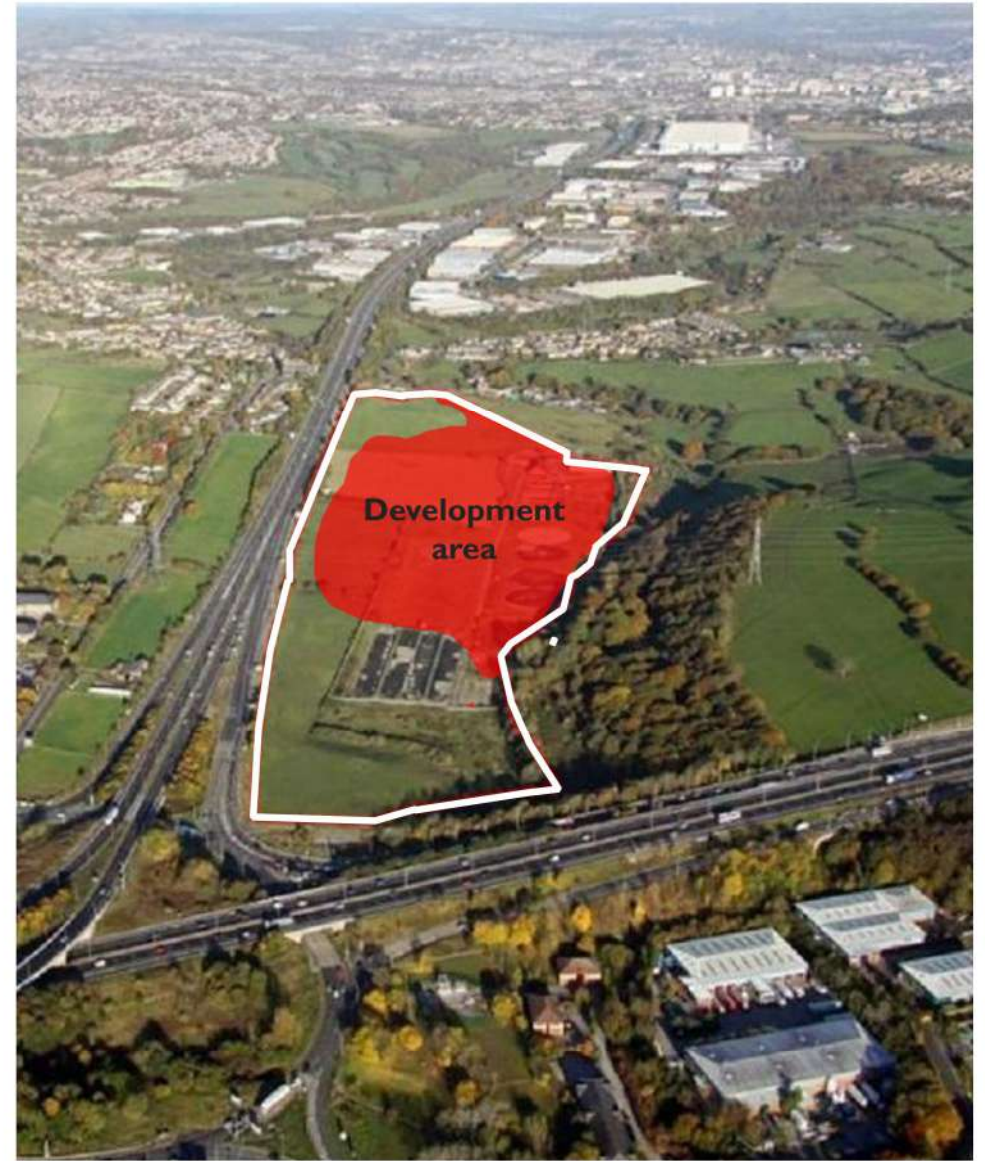


Site Context

The site is a former Yorkshire Water waste water treatment works. Much of the existing plant areas are surplus to requirements and are been removed as part of the redevelopment works. The remainder of the site is made up of low quality agricultural land.

The sites boundaries are defined by a mixture of fencing, landscaping and vegetation.

Access to the site is via Cliffe Hollins Lane. The site is located adjacent to junction 26 of the M62 and is bound to the west with the M606. The site is 23.2 HA (57 acres) and gently slopes away from the west boundary.



Note: development area and boundary shown indicatively for illustrative purposes

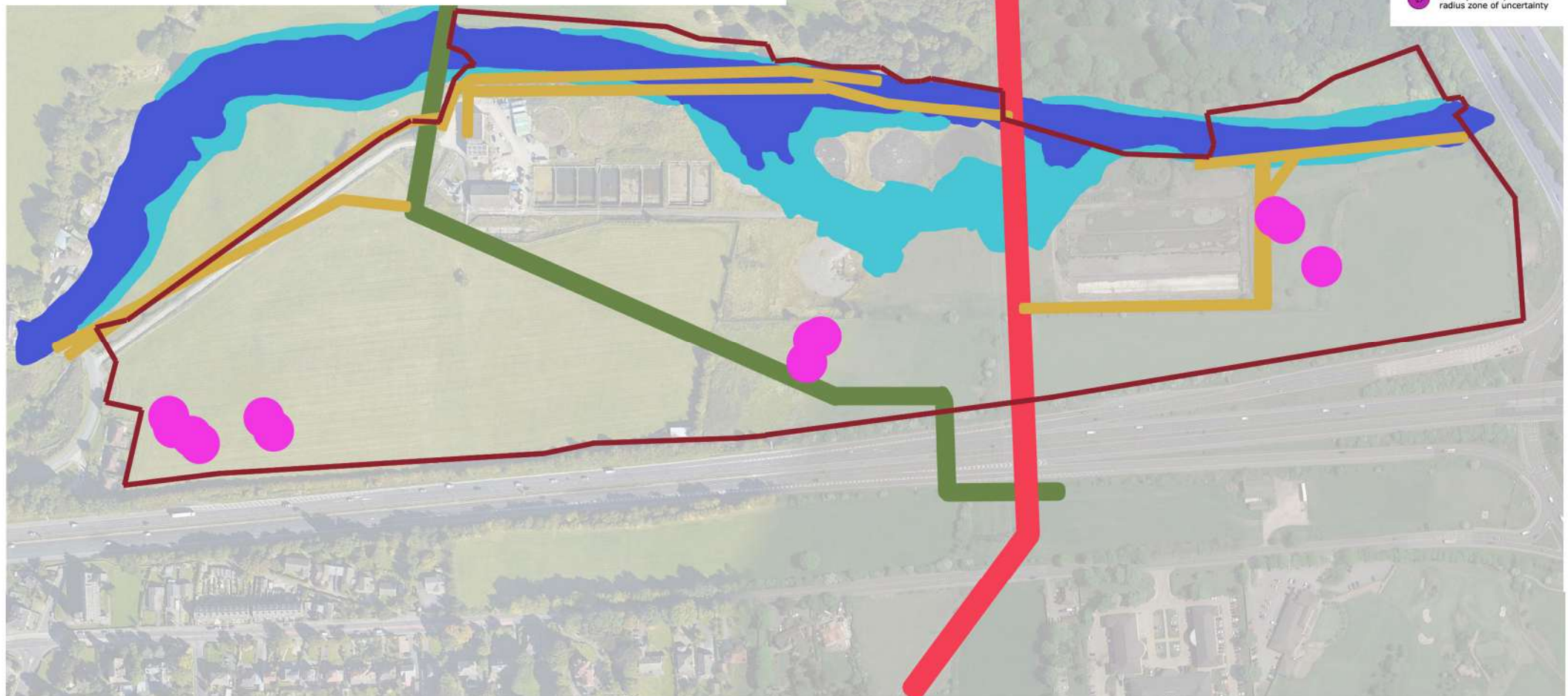
Site Photos



Site Evaluation

The site is ideal for redevelopment of this type given its proximity to the major road network and prominent location.

There are a number of existing services that run through the site which includes gas, overhead electrical cables and existing drainage easements. Part of the site also lies within flood zone 2 and 3 and there a number of old mineshafts located on the site.



Consultation

Extensive pre-application consultation has been carried out with Kirklees Council in relation to the reserved matters and discharge of conditions applications.

Prior to the submission of a pre-application request, an initial meeting was held with Mathias Franklin to discuss the wider context of the application and the associated benefits. Following this, a meeting was held with Glenn Wakefield and Councillors Mr and Mrs Pinnock. Subsequently, a pre-application presentation was given to the Strategic Planning Committee, where support was shown for the scheme.

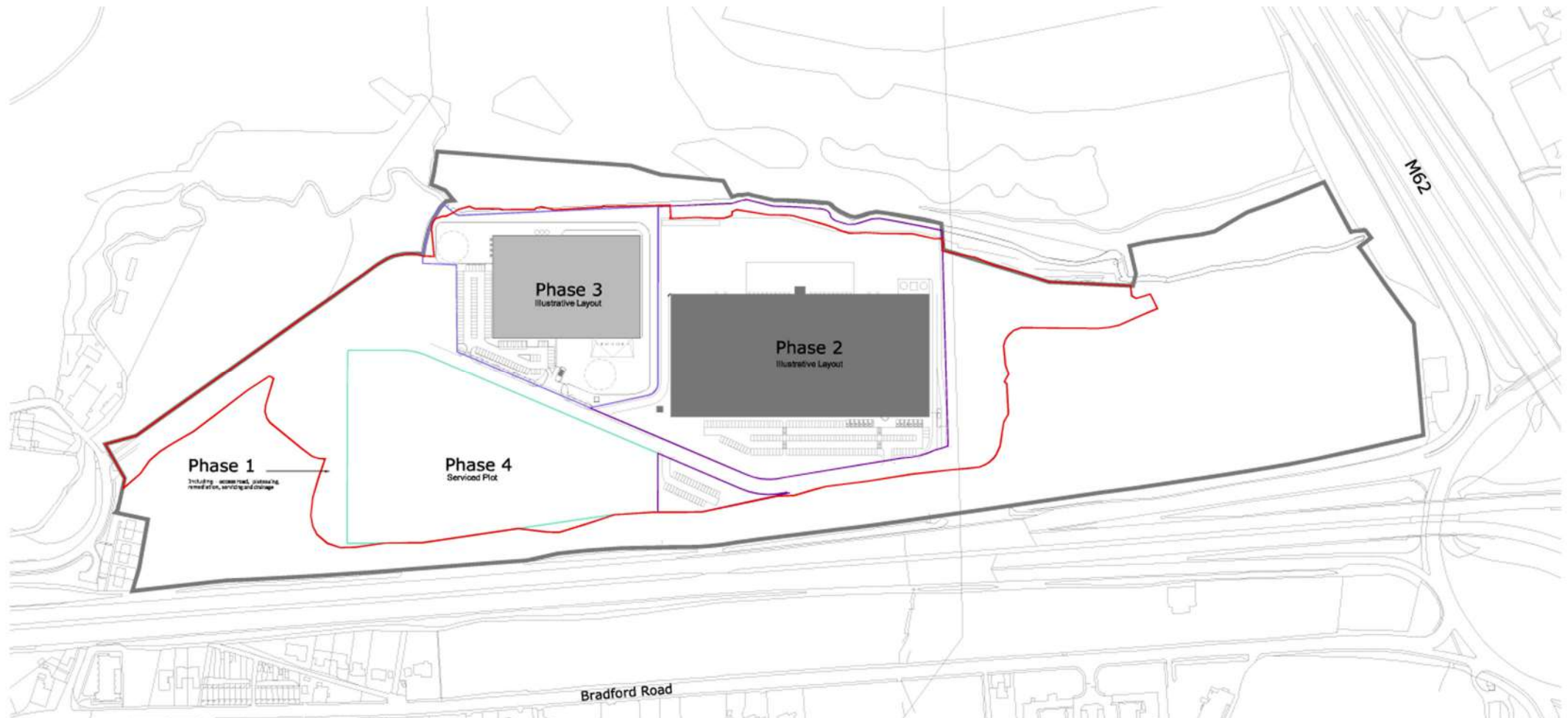
A reserved matters and discharge of conditions applications have now been submitted to Bradford Council for the school car park.



Proposed Site Phasing

Due to the size of the scheme the proposals will be a number of phased developments.

This application deals with phase 1 of the proposed overall development



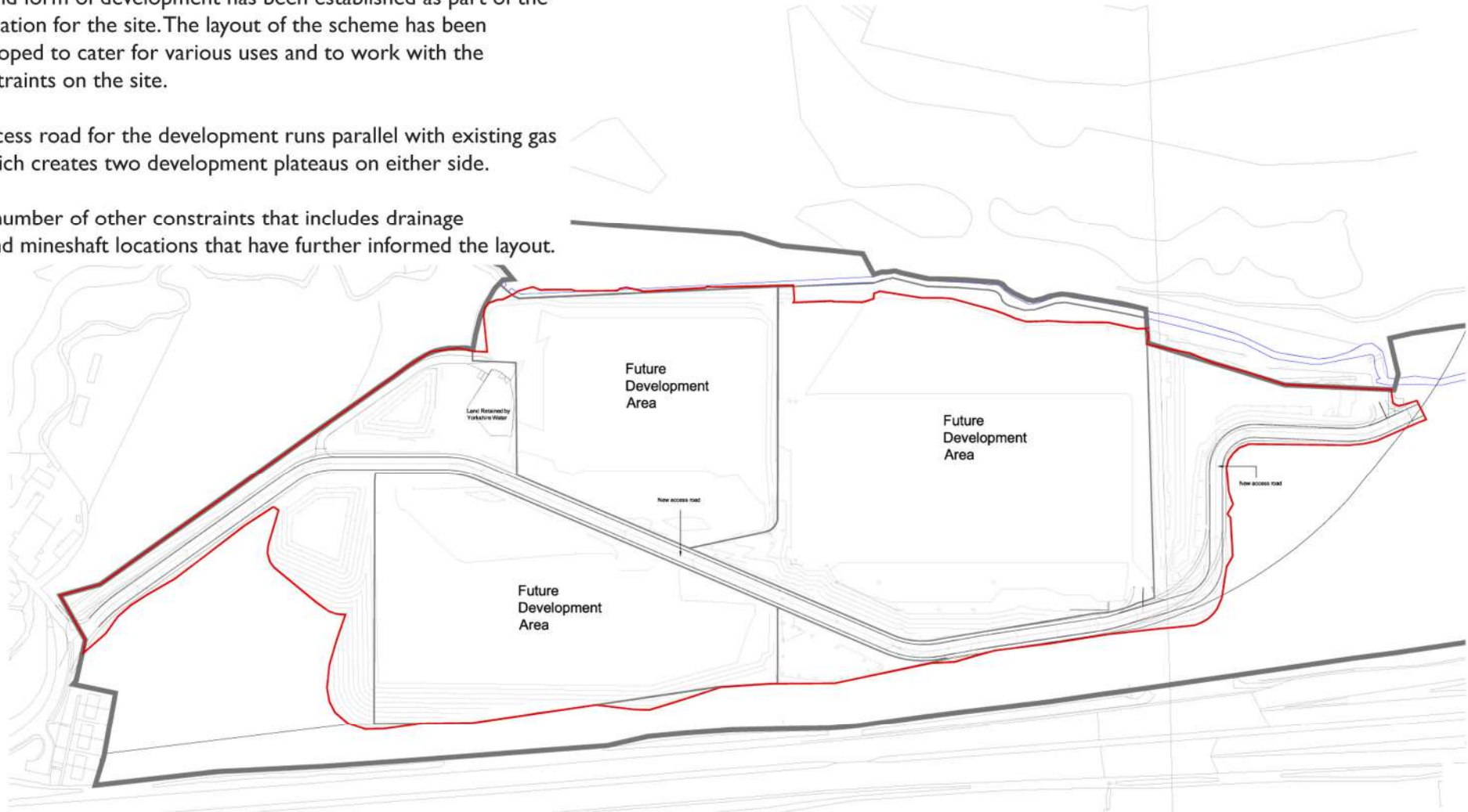
Phase I

Phase I of the proposed development includes the formation of the access road, plateauing, remediation, servicing and drainage.

The access and form of development has been established as part of the outline application for the site. The layout of the scheme has been further developed to cater for various uses and to work with the existing constraints on the site.

The spine access road for the development runs parallel with existing gas pipe lines which creates two development plateaus on either side.

There are a number of other constraints that includes drainage easements and mineshaft locations that have further informed the layout.



Access

The vehicular access has been designed to accommodate the sites density. Pedestrian access is also taken via Cliffe Hollins Lane with minimum path widths of 2m into the site with optimum pedestrian footpaths within the site designed to create direct access suitable for all users.

The proposal is designed with consideration to the latest legislation and good practice guidance on accessibility available at the design and construction stages.

These include, for example, BS 8300:2001 (Design of buildings and their approaches to meet the needs of disabled people), The Building Regulations Part B (Fire Safety), Part M (Access to and use of buildings) and Part K (Protection from falling, collision and impact), and BS 5588 - part 8 (Fire precautions in the design, construction and use of buildings).



Landscaping

The proposed landscape concept attempts to create a balance between maintaining an element of the current open nature and to create desirable external space for the users.

Boundary treatments will be carefully considered, providing screening where required or retaining open views where it is desirable.

Street lighting will be introduced as necessary with appropriate provision for street furniture.

A full detailed landscaping scheme will be submitted with future reserve matters applications.

