

HOMEWOOD

DESIGN & ACCESS STATEMENT

Erection of new care home & residential development, land at Park Road West & Moorside Avenue, Huddersfield

1.0 INTRODUCTION:-

- 1.1 This statement has been prepared to support a Full Planning Application on behalf of Compass Care Homes Ltd

2.0 PROPOSAL:-

- 2.1 Erection of new care home & residential development, land at Park Road West & Moorside Avenue, Huddersfield

3.0 SUPPORTING DOCUMENTS:-

- 3.1 1:1250 Scale Location Plan
1204/01B - Site Layout
1204/02A - Care Home Plans & Elevations [1 of 2]
1204/03A - Care Home Plans & Elevations [2 of 2]
1204/04A - Residential Plans & Elevations
1204/05A - Site Sections
1204/06 - Cabin Plan and Elevations
MFH Drg.No.01 - Tree Survey
Topographical Survey
Phase 1 Desk Study

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4.0 THE SITE:-

4.1 Ariel image;-



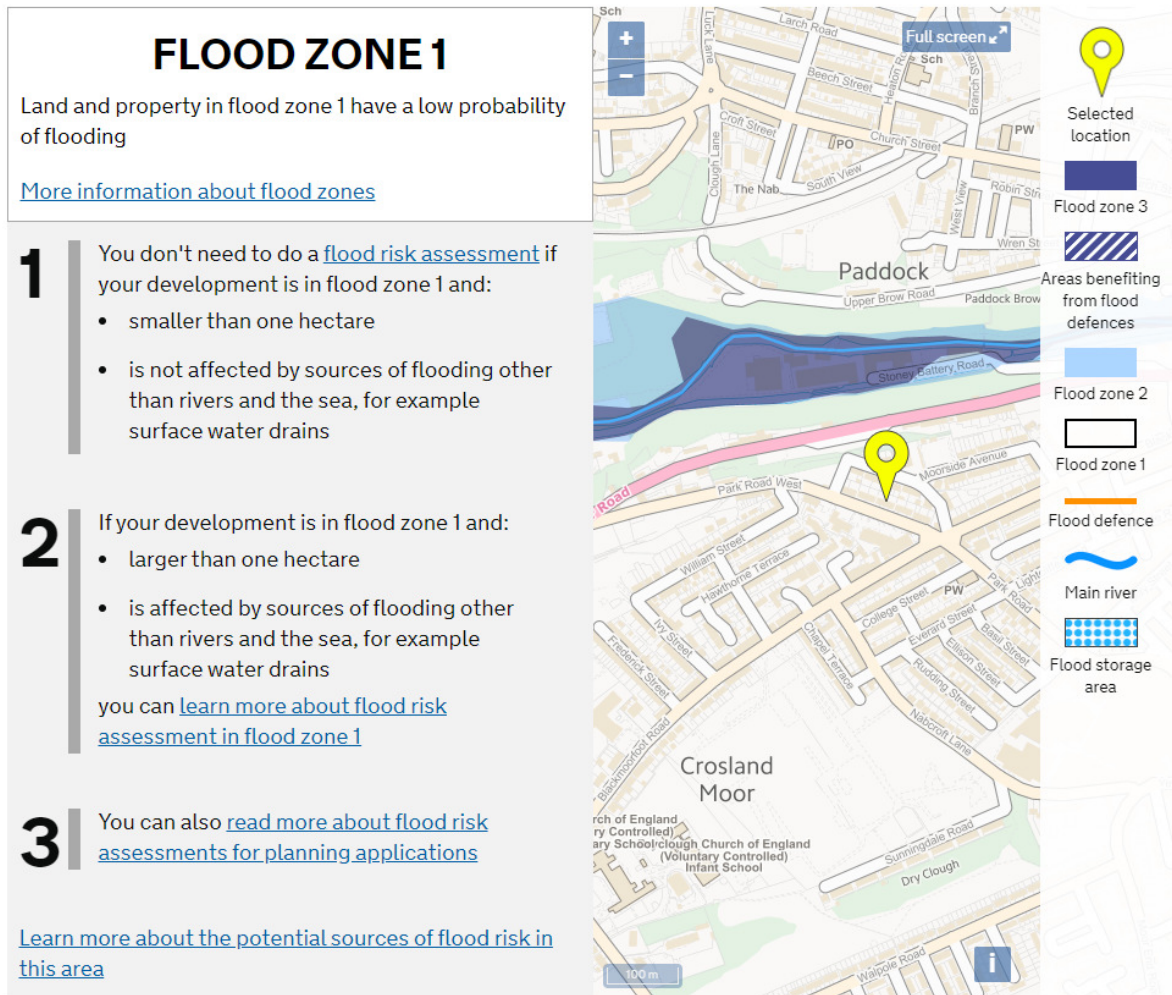
- 4.2 The application site is approximately 0.28ha and is vacant, having previously been used as a stone suppliers/builders yard. There are a number of storage containers on the site together with old plant machinery and piles of materials. The site has previously benefitted from planning permission for residential development, although the last planning permission (2013/93764) has now expired
- 4.3 This is a brownfield site that is unallocated in the Kirklees Unitary Development Plan (UDP) and unallocated in the emerging Local Plan. It is part of a large residential area surrounded by residential development to the east, south and west. The north side of the site slopes down towards Manchester Road. There are a number of existing trees around the edge of the site, except the southern boundary which faces Park Road West. This southern side of the site has an open aspect with a stone boundary wall along the frontage
- 4.4 This is a relatively small site within the urban area that is suitable for more housing which be in keeping with the surrounding area. It is close to an established shopping area and has good links to public transport. There is an established bus route along Park Road West and a bus stop that exists to the site frontage

- 6.2 The residential layout proposed at Outline stage is considered to be independent of the surrounding area offering little relationship to the existing buildings
- 6.3 The proposed layout for C2 Care & C3 Residential on the site aims to continue the build line of houses fronting Park Road West. At the midpoint of the footprint to the proposed care home the build line will then crack around at 60degrees to align perpendicular to the northern boundary of the application site
- 6.4 Whilst the stated finished floor level of 132.00 is some 1.2m lower than the existing footpath level the proposed development will achieve the following;-
- Provide an active continuation of the established frontage to Park Road West
 - Provide a visual point to the application site as it is approached west to east along Park Road West
 - Enhance the area of the open space to the junction of Park Road West and Charles Street
- 6.5 Both C2 Care & C3 Residential will have private amenity to the rear
- 7.0 DESIGN:-
- 7.1 The built form is relatively simple with interest created by the use of a pallet of building materials including facing stone, contrasting brickwork/render, timber/cedral cladding, glazing and slate roof to approved sample
- 7.2 Due to the site of the proposed footprint the roofs are to be fully hipped in an attempt to reduce the overall impact of the built form
- 7.3 It is proposed at this time that the final materials schedule be subject to approval by condition
- 8.0 ACCESS & PARKING:-
- 8.1 Access to C2 Care will be via the existing point of vehicular access to the application site to the western end opposite the junction with Charles Street
- 8.2 C2 Care parking provision with be 6no. spaces plus an unallocated disabled bay with electric car charging provisions
- 8.3 In addition this area will include for storage of refuse and secure area for bicycles

- 8.4 Residential parking provision will be to the rear accessed by new vehicular crossing to Moorside Avenue 9no. spaces are proposed, 2 space/ 3 bed dwelling and 1 visitor space/ 4 dwelling
- 8.5 Refuse and secure storage/garden sheds will be located in individual private gardens
- 8.6 In addition the residential development will have direct pedestrian stepped access point to Park Road West by forming a new opening in the existing stone boundary wall
- 9.0 LANDSCAPING & TREES:-
- 9.1 The site is not subject to a Tree Protection Order & is supported by a tree survey prepared by Martin F. Holland
- 9.2 With exception to stated mature Sycamore tree T5, all existing planning to the eastern boundary with Moorside Avenue is proposed for removal
- 9.3 The group of mature trees to the north of the application site referred to as G1 are to be retained with access for maintenance only
- 10.0 FLOOD ZONE:-
- 10.1 The site within flood zone 1 and has a low probability of flooding please refer to Environmental Agency map below;

Likelihood of flooding in this area

This location is in an area with a low probability of flooding



11.0 CONTAMINATION:-

11.1 The application is supported by a Phase 1 Desk Study prepared by GeolInvestigate with the following recommendations:-

- A Phase 2 investigation including a ground investigation and contamination and gas testing is carried out at the site to establish the actual site conditions and to properly assess the risks from the geology of the site and its historical land use
- The Phase 2 investigation should be designed to focus on the potential contaminants highlighted in the CGHM. As there is potential for hazardous gas to exist at the site, a gas survey may be necessary

12.0 STAFFING:-

12.1 Shifts for the care home will be the following 3 shift patterns;-

- 7.30 - 3.00pm - 2 staff
- 2.30 -10.00pm - 2 staff
- 21.45 - 8.30am -1 night worker and 1 sleep in staff member
- 1 manager full time
- 1 admin part time
- 1 cook full time
- 2 domestic cleaners part time
- 12 support care staff part time

13.0 CARE HOME USE:-

- 13.1 'Compass Care Homes has been established since 1997 we provide residential care and support to adults with Learning and Physical Disabilities. We specialize in older adults with Learning Disabilities but also cater for younger adults too. We are commissioned by Kirklees Council Learning Disabilities team, with whom we work closely to provide positive outcomes for our residents. Some of our residents have the following conditions, Downs Syndrome, Autism, Asperger Syndrome and profound and multi learning disabilities. Compass Care Homes aims to provide accommodation and support to our residents in the local community, we also try to encourage our residents to access and be active in the local community.'

14.0 CONCLUSION:-

- 14.1 The proposal is considered to be of a high standard in design and layout, providing valuable C2 Care for 10 persons and 4no. Residential units
- 14.2 In terms of both residential provisions and employment opportunities the proposal is considered to offer a valuable asset to the local community