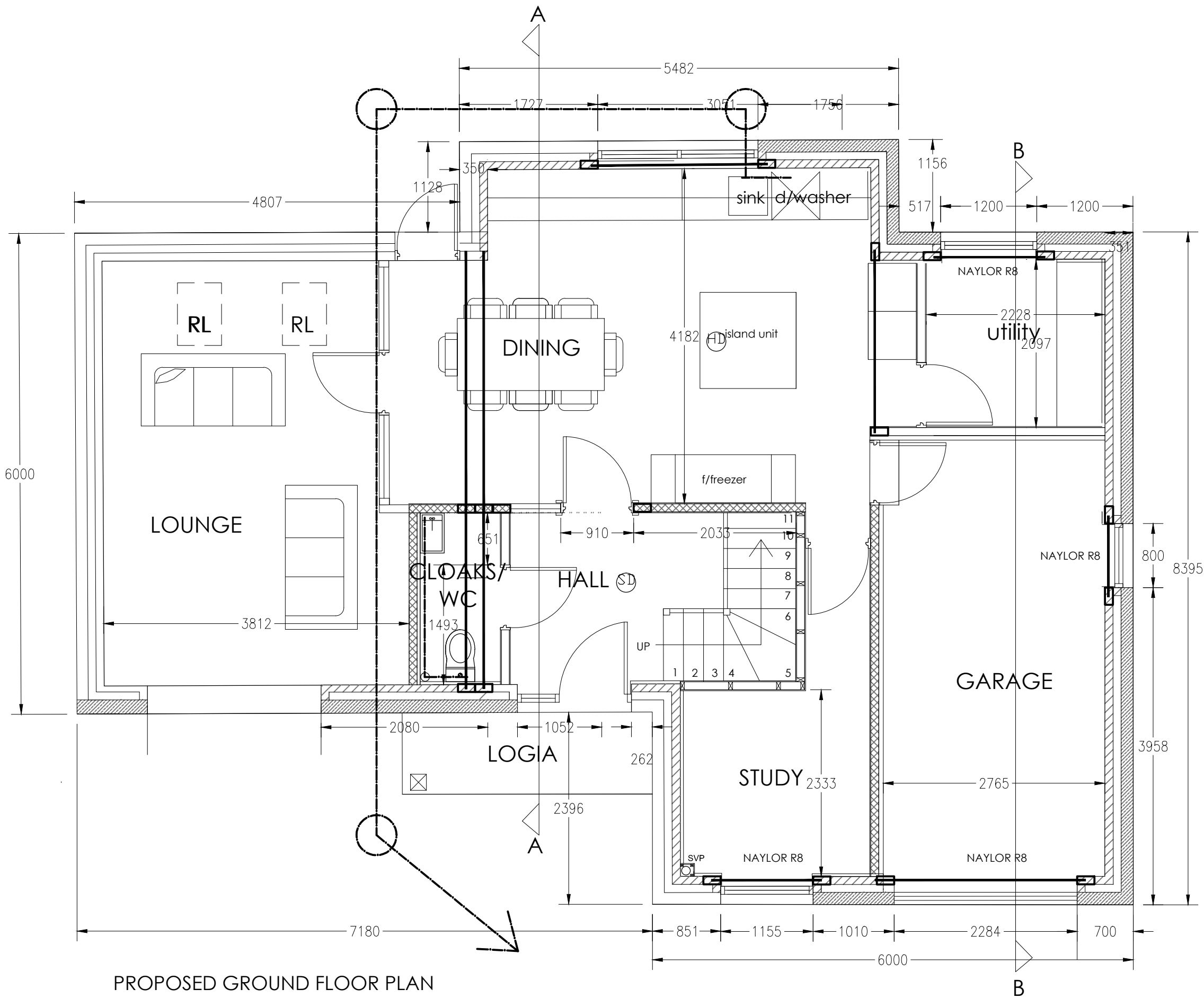
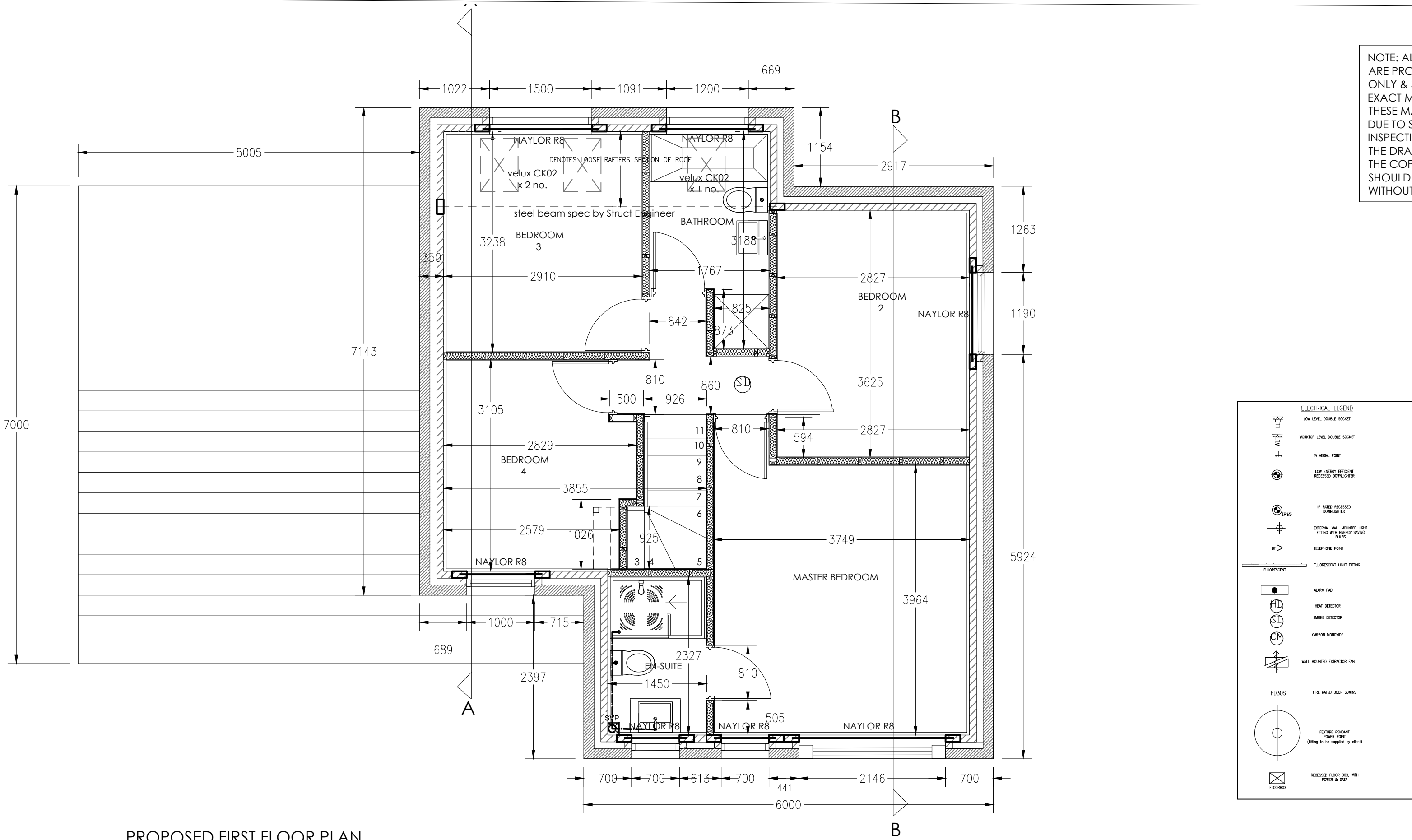




PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

BUILDING REGULATION NOTES FOR HILLCREST

APPROVED DOCUMENT A - STRUCTURE

Concrete foundation to Structural Engineers design & Building Control Officers approval.
All foundations are to be 1:3:6 design mix concrete to comply with BS 8004 refer to S.E details for correct specification.
All cement to be sulphate resisting to BS4207.
All aggregate to comply with BS 822, parts 2:1983 and BS1047.

NEW FOUNDATION WALLS

To be installed in complete accordance with S.E details and specification.
Generally to be built in 140mm concrete blockwork to outer wall and 140mm concrete blockwork to min 225mm below dpc, 7N/m2 strength and 1:3 cement / sand mortar.
Type 1 Mortar to be used. Stainless steel ties at 750 centres horizontally and 450mm centres vertically and staggered.

FLOORS

Ground Floor
Bison beam & insulated block construction. Bison Beam spacing to be determined by to Struct Eng. calculations.
Block specification to be solid, concrete, tongueless, size 400 x 215 100mm, manufactured to BS 6073 PART 1:1981 with a minimum compressive strength of 7.0N/m2.
All joints to be sealed with 2mm gap around perimeter with radon gas and damp barrier (all joints lapped and taped) 100mm Kingspan TPI10 Thermaflex or equivalent manufacturer & 65mm of flexible Lafarge Gykon screed suitable to be used in conjunction with wet under floor heating system.

NEW EXTERNAL WALLS

Ground Floor
External outer face to house comprises 150mm coursed stone, 100mm cavity, 7N 100mm inner blockwork. Cavity insulation to be 50mm thick Kingspan K10 cavity board or equivalent manufacturer. All perimeter external walls to use 37.5mm Kingspan K17 insulated plasterboard to walls and reveals to use 25mm insulated board and skim and painted finish. All joints taped and staggered to increase airtightness with 3mm skim finish.
Wall ties at 750mm horizontally and 450mm vertical c/s. Mortar 1:1.5 cement / lime / sand.
Lime to Ground floor openings except where noted to be Naylor R8. SE to confirm final specification as stated. Joints to blockwork inner leaf to be completely filled with mortar to ensure best air pressure test result.
Movement Joints placed in complete accordance with Warranty providers standards, movement joints to be expressed fully in internal finish to ensure continuation of joint through fabric.

Natural Stone Ashlar, heads, cills, mullions and quins positioned and detailed as indicated on masonry drawing.

INTERNAL WALLS

New stud internal partitions used on internal non-load bearing walls are formed using 12.5 plasterboard both sides of 100 x 50 x 50 studs at 600mm c/s with noggin at 1200mm c/s to then receive plaster skim (3mm finish) and paint finish. Void filled with 50mm Rockwool Flex insulation. Where stud walls are around bathroom areas (plasterboard) is to be Gyproc Moisture Resistant type, skinned both sides and then receive paint finish.

Blockwork internal walls to be min 7N 100mm or 40mm concrete blocks with dot and dab plasterboard 12.5mm both sides of wall plaster skim and paint finish. Concrete Linings as per S.E Details, shown on L'Arche drawings for information only.

CEILING

Ground first floor - 12.5mm Gyproc Duplex Wallboard fixed to underside of ceiling or floor joists 37.5 mm Kingspan K17 insulated plasterboard with integral VCL to underside of the rafters to bedrooms & bathroom area with noggin to suit free ends & multi finish skim coat (2mm) all filled in accordance with manufacturers instructions. ceilings to be insulated with 100mm Rockwool Flex between J/A joists

AROUND STEELWORK
To achieve 30 min fire resistance clad in 2 no layers of 12.5 mm plasterboard and skim (3mm).

ROOF TO MAIN HOUSE & GARAGE
Slate roof on battens and counter battens, specification of roof truss construction by Specialist roof truss manufacturer, please refer to S.E design drawings for details, with BSA approved treatable roof membrane, roofthel or equivalent. Roof to be insulated with 150mm thick between rafters and sealed securely in place fitted tightly to the rafter edges with underside of rafters under drain with 37.5mm insulated K17 or equivalent plasterboard / skim finish to underside and paint finish.

Gutters to properly to be square profile to match existing profile, aluminium gutters and aluminium downpipes and rainwater goods, all by guttercost or equal and approved in black mill finish.

LINTELS

Specialist lintels please refer to SE details for specification, any sizes shown on L'Arche Drawings to be checked against those specified on the Structural Engineers drawings.

WINDOWS & PATIO DOORS
To be PVC high performance argon filled cavity, low-E double glazed units with frames to achieve min U value set out in SAP calculations patio doors a minimum of U value set out in SAP calcs. All fitted with high security locking & latches to meet Part Q1. Windows and doors to be PAS 24 certified and must be ordered and supplied and fitted as so. Trickle vents not to be fitted to comply with planning condition 6 of approval 2015 90663

ROOF LIGHTS - N/A

All to be Velux rooflights fitted in between rafters and to finish flush with slate roof finish. U Values to be confirmed by manufacturer, with trimmers to suit manufactures sizing details and SE details. All with high security locking mechanism.

STEELWORK

Steel beams to Structural Engineer detail design. It is very important to refer to positions shown on SE details, sizes, positioning and location to be as shown on SE detailed drawings.
All steelwork to be enclosed with 2 no layers of 12.5mm plasterboard with 3mm skim finish. All steelwork to be confirmed & measured on site prior to manufacture.

APPROVED DOCUMENT B - FIRE SAFETY

Category 1 (b) Residential (dwelling)

PROVISIONS FOR ESCAPE

New windows to all gym to be provided with emergency egress opening forminormy.

SMOKE ALARM CARBON MONOXIDE ALARMS

Smoke detectors to be positioned as indicated on the drawings. 2 no. to ground floor, heat detector to be positioned in the kitchen area. Carbon Monoxide Detectors, to be positioned in lounge, & snug area of kitchen, where above/ceiling are located.

FIRE DOORS/EXIT DOORS

FD30 & FD30S Fire doors with self closer as indicated on plan drawing if required.
All Patio doors to be high performance 4mm, 15mm air filled cavity and 4mm, low-E double glazed units with engineered timber frames.
Min U value of 1.6 W/m2K. All with high security locking mechanisms.

CLASSIFICATION OF LININGS

Wall and ceiling linings to circulation spaces are generally to be Class 1.

APPROVED DOCUMENT C - SITE PREPARATION AND RESISTANCE TO MOISTURE

ORGANIC MATERIAL

Turf and other vegetable matter to be removed to areas to be covered by new build to a depth sufficient to prevent later growth.

DPC & RADON BARRIER

Walls and floors to be constructed with damp proof course and membrane where applicable.
All openings in external walls to be provided with dpc / dpm at head, sill and reveals.

Insulated dpc to window and door reveals. Dampcor or similar with 9mm SUPALUX cavity closers to cavity walls.

Radon barrier to be installed to the ground floor area of the new extensions in the form of a dual purpose DPM Radon Barrier.

APPROVED DOCUMENT D - TOXIC SUBSTANCES

UREA-FORMALDEHYDE FOAM

UF foam will not be used.

APPROVED DOCUMENT F - VENTILATION

Extraction fans to Ensuite, Bathroom & cloak and Shower/wc via ceiling/wall mounted mounted grilles to achieve 30 litres / second extraction rate.

Kitchen extractor hood to be fitted over range cooker/hob and extract fan in the utility to achieve 30 litres / second extraction rate.

Background ventilation achieved with night latches & operable windows due to imposed planning condition and proximity of dwellings to Listed Build where trickle vents are deemed not suitable.

APPROVED DOCUMENT G - HYGIENE

SANITARY CONVENIENCES

Adequate sanitary conveniences are to be provided as indicated on drawings.

Part G3 2012
The hot water supply temperature to a bath should be limited to a maximum of 48 degrees centigrade by use of an inline blending valve or other appropriate temperature control device compliant with the relevant European standard such as BS EN 1111:1999 sanitary showers. Such valves should not be easily altered by building users.

APPROVED DOCUMENT H - DRAINAGE AND WASTE DISPOSAL
Provisional drainage layout as indicated on drawings, full drainage design by Sandersons see drawing 0146001 A. New surface water drainage run to new soakaways designed by Sandersons associates and subject to percolation test and building control approval.
New foul water drainage connected into Yorkshire Water main sewer subject to Client confirmation of new connection approval from Yorkshire Water.

ACCESS FOR CLEARING BLOCKAGES

Rodding points to be provided to give access to lengths of pipes which cannot be reached from any other part of the system.

AIR TIGHTNESS

New pipes, fittings and joints to be capable of withstanding an air or smoke test of positive pressure of at least 38mm water gauge for at least 3 minutes during which time every trap is to maintain a water seal of at least 25mm. Air pressure test result to New dwelling to achieve a reading of <5.
Gaps, PIPES

UPVC cold pipes and fittings to BS 4514 with rubber ring seal joints.
All to be 110mm dia.

OVERFLOW PIPES

MUPVC 19mm overflow pipes and fittings to BS S255 with solvent welded joints.
PIPES PASSING THROUGH WALLS

Where new drain runs pass through structural walls, concrete lintels to be installed to support opening, pack gap around pipe with flow glass insulation and mask opening both sides with rigid steel material to prevent entry of fill or vermin. All penetrations through internal blockwork skin to be sealed neatly but continuously to ensure maximum airtightness through wall.

RAINFALL DRAINAGE

Rainwater pipes and gutters to be installed.
New drain runs to connect into soakaways designed by Sandersons associates to approval of Building Control Officer.

APPROVED DOCUMENT K - STAIRS, RAMPS AND GUARDS
ramped access for disabled access to be allowed for and to front door or rear patio, client to advise builder on exact location.

KA REQUIREMENT

CRITICAL LOCATION

Laminated or toughened glass to be provided in all internal and external doors/windows/patio doors in locations indicated in Diagram 1 page 6 of Approved Document K. All doors and side screens and all glazing within 800mm of floor level Glass to be as defined in BS 6206: 1991.

Q1 REQUIREMENT

All windows and doors to comply with PAS 24 testing all easily accessible windows should be made to PAS 24 standards and all easily accessible doors, which allow access to be gained into the dwelling must either meet the security requirements of PAS 24 or be designed and manufactured in accordance with specific standards outlined in document Q.

MISCELLANEOUS

ELECTRICS

All electrical installations to comply with current IEE wiring regulations and NICEIC certification on completion of works.
New distribution board to serve whole house. All sockets and switches to be placed between 450mm and 1200mm finished floor level.

Low energy Light fittings to be 100% of dwellings fixed light fittings.

HEATING

New Boler SEDBUK efficiency not less than 88% with hot water Cylinder, supplied and installed by specialist. Time and temperature controls are required due to the floor area of the dwelling.

The systems are to be inspected at completion of the installation and a certificate issued indicating their compliance with Part L.
The certificate is to be made available to the client and the LABC.

WOODBURNING STOVES.

Woodburning stoves to be chosen by client and sized by specialist for specific location, min 5500m2 opening to be installed to all rooms with class 1 appliances. All appliances to be HETAS approved with class 1 flue installed.

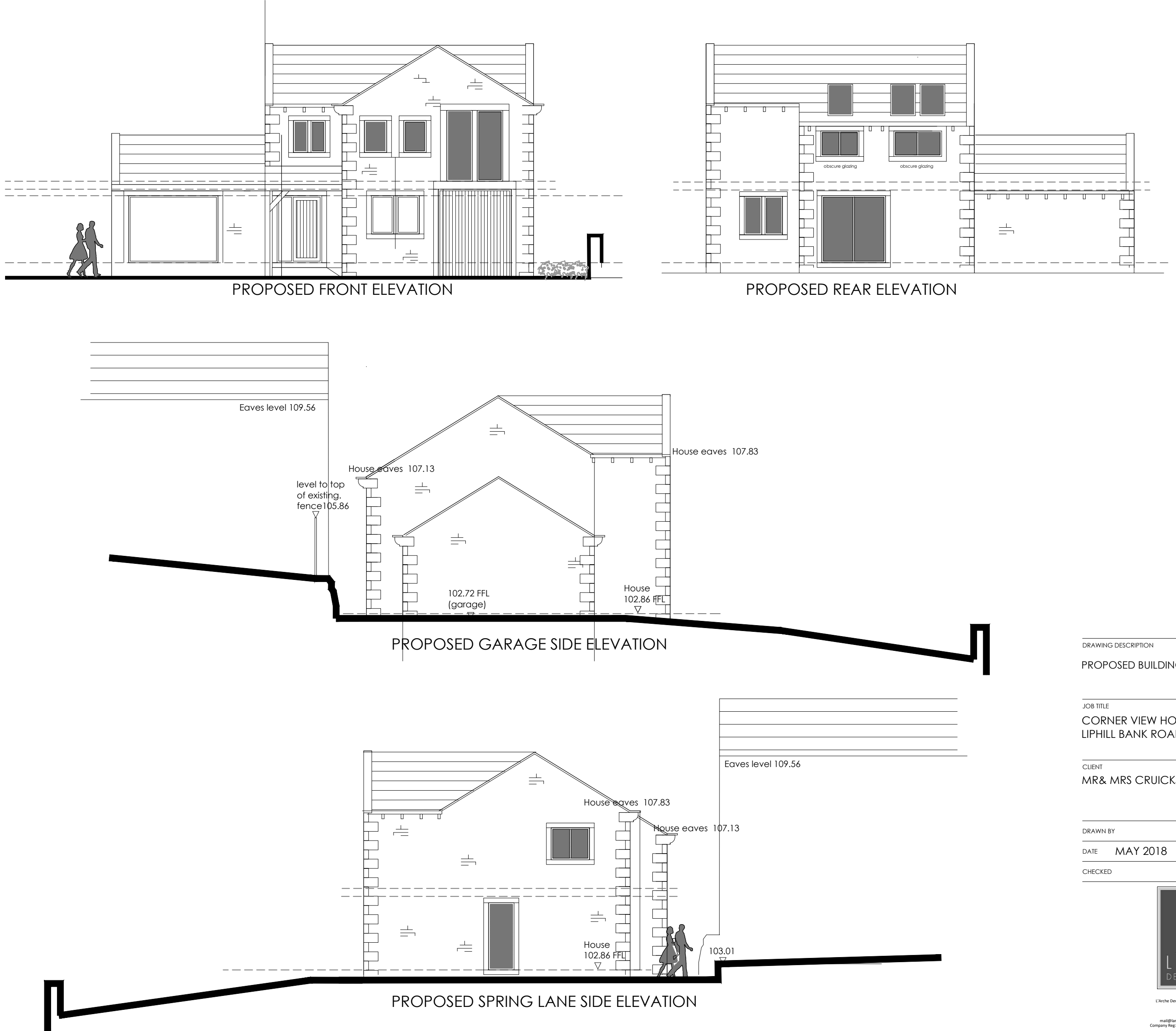
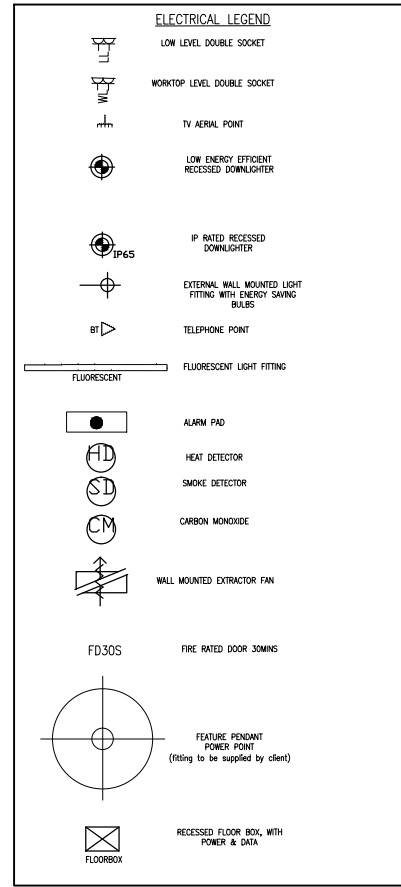
CHIMNEYS

Masonry Chimneys to be lined with 200mm diameter clay flue liners with rebated and socketed joints sockets to be fitted upmost to comply with BS 1181:1971. Terminate flues with a 300mm terracotta chimney pot lashed in 1:3 mortar. Contractor to also check against Warranty providers requirements but Cavity trays to be inserted at roof level with chimney flashing to complete accordance with LSA guidelines.

SAP, AIR PRESSURE TEST & EPC

Dwelling is required to undergo a SAP assessment by qualified specialist and is to be submitted to LABC at application stage & air pressure test carried out and passed in accordance with SAP specification prior to completion of dwelling and is required by the LABC for completion together with completion of EPC certificate.

NOTE: ALL DIMENSIONS SHOWN ARE PROVISIONAL DIMENSIONS ONLY & SHOULD NOT BE READ AS EXACT MEASUREMENTS. THESE MAY NEED TO BE ALTERED DUE TO SITE CONSTRAINTS/ INSPECTION THE DRAWINGS AND DESIGN ARE THE COPYRIGHT OF LDYL & SHOULD NOT BE RE-PRODUCED WITHOUT PRIOR PERMISSION



DRAWING DESCRIPTION			
PROPOSED BUILDING REGULATIONS			
JOB TITLE			
CORNER VIEW HOUSE			
LIPHILL BANK ROAD			
CLIENT			
MR & MRS CRUICKSHANK			
DRAWN BY			
SCALE 1:50 @ A1			
DATE MAY 2018	DRAWING NO. 138/2-004		REVISION B
CHECKED			
			
L'Arche Developments (Yorkshire) Ltd 13 Manor Road Widley, Essex info@larchedevelopments.co.uk Company Reg 04344419 VATING 344204033			