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THE PARTY WALL ETC ACT 1996:
THE ABOVE ACT APPLIES TO WORK ON AN EXISTING WALL SHARED WITH ANOTHER PROPERTY, OR A NEW BUILDING ON THE BOUNDARY WITH A NEIGHBOURING PROPERTY, OR AN EXCAVATION NEAR A NEIGHBOURING BUILDING. CONSEQUENTLY, THE WORKS ON THIS DRAWING COME UNDER THE AUSPICES OF THE ABOVE LEGISLATION, THEREFORE TO SATISFY THE LEGAL REQUIREMENTS OF THE ACT, THE AFFECTED NEIGHBOUR SHOULD BE NOTIFIED IN WRITING OF THE PROPOSALS AND THEIR AGREEMENT SOUGHT, PRIOR TO WORK COMMENCING ON SITE.

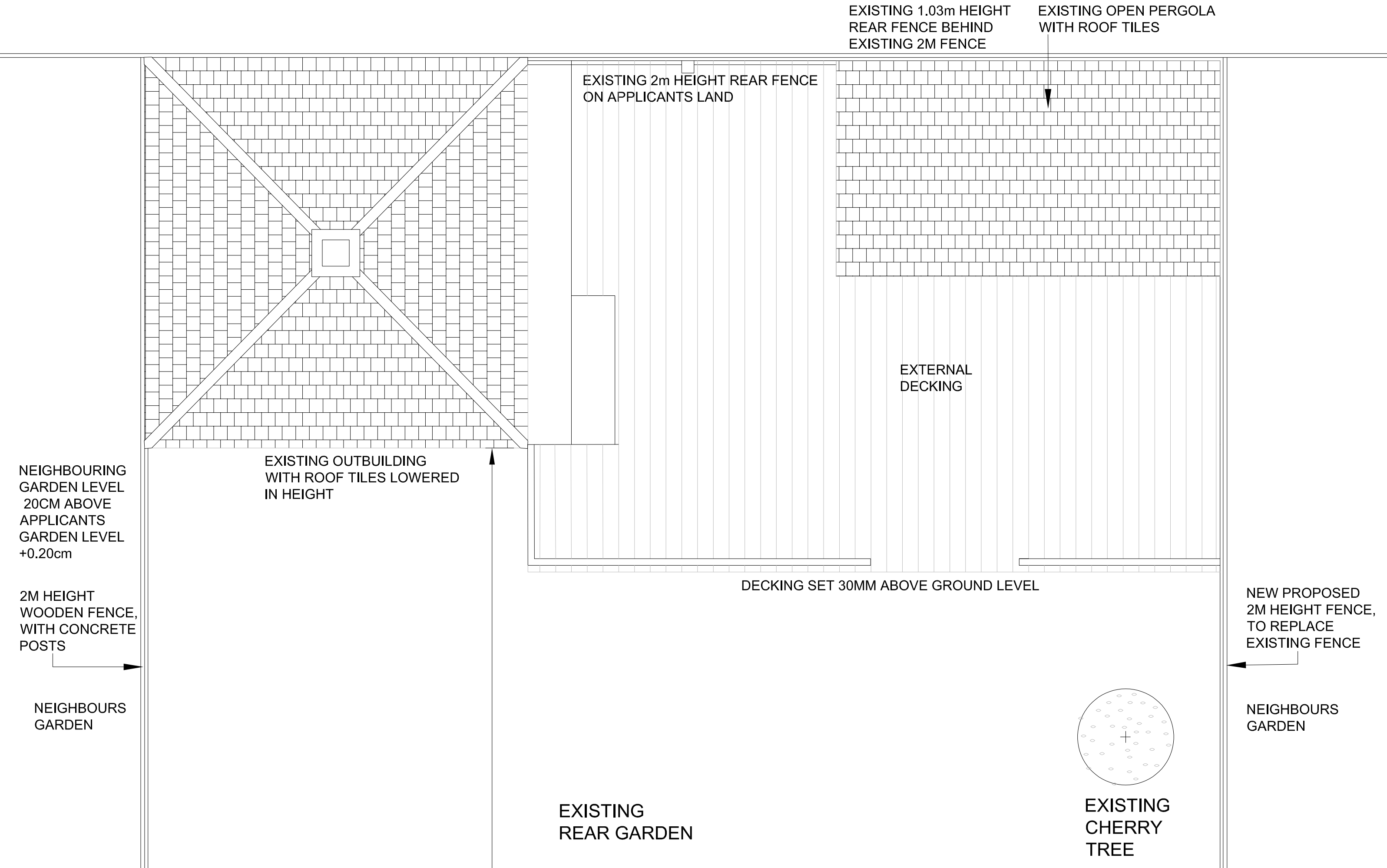
SUSTAINABILITY:-
ENSURE ALL TIMBER USED IN THE CONSTRUCTION IS LEGAL AND ALL TIMBER PRODUCTS COME FROM TEMPERATE SOURCES WHICH ARE INDEPENDENTLY CERTIFIED, SUCH AS FSC AND PEFC. WASTE MATERIAL IS TO BE RECYCLED AS FAR AS PRACTICABLE.

NOTE:-
THE CLIENT IS TO BE AWARE THAT THE EXISTING AND PROPOSED FOUNDATIONS MAY BE AFFECTED BY CONDITIONS NOT DETERMINABLE UNTIL INVESTIGATORY EXCAVATIONS ARE CARRIED OUT. NO LIABILITY IS ACCEPTED FOR ANY LOSS OF ANY SORT OR ADDITIONAL EXPENSE INCURRED CONSEQUENT ON ANY VARIATIONS TO THE FOUNDATIONS OR STRUCTURE THAT MAY BE REQUIRED.

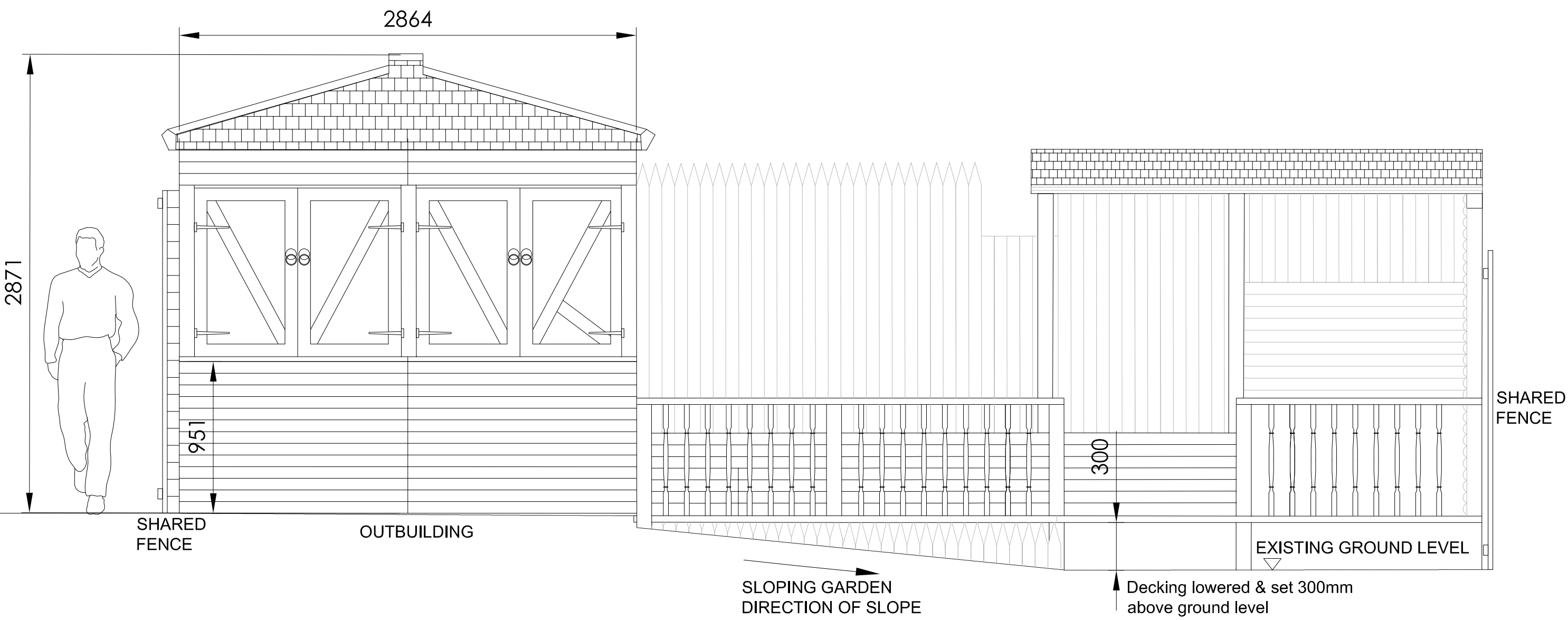
TERMS & CONDITIONS:-
THIS DRAWING IS DETAILED SUFFICIENTLY, IN ACCORDANCE WITH CURRENT ARCHITECTURAL PRACTICE, TO SATISFY PLANNING PERMISSION & BUILDING REGULATIONS SUBMISSION ONLY. NO LIABILITY IS ACCEPTED FOR ANY LOSS OF ANY SORT OR ADDITIONAL EXPENSE INCURRED CONSEQUENT ON ANY FAILURE, REAL OR ALLEGED, OF THE DRAWING TO MEET THE REQUIREMENTS OF ANY BODY, STATUTORY OR OTHERWISE.

RISK ASSESSMENTS:-
PRIOR TO CONDUCTING ANY MANUAL HANDLING TASKS, RISK ASSESSMENTS ARE TO BE CARRIED OUT BY THE CONTRACTOR AND/OR SUB-CONTRACTORS (S) IN ACCORDANCE WITH MANUAL HANDLING OPERATION REGULATIONS 1992 (AS AMENDED) & GUIDANCE IN H & SE PUBLICATION L23 MANUAL HANDLING.

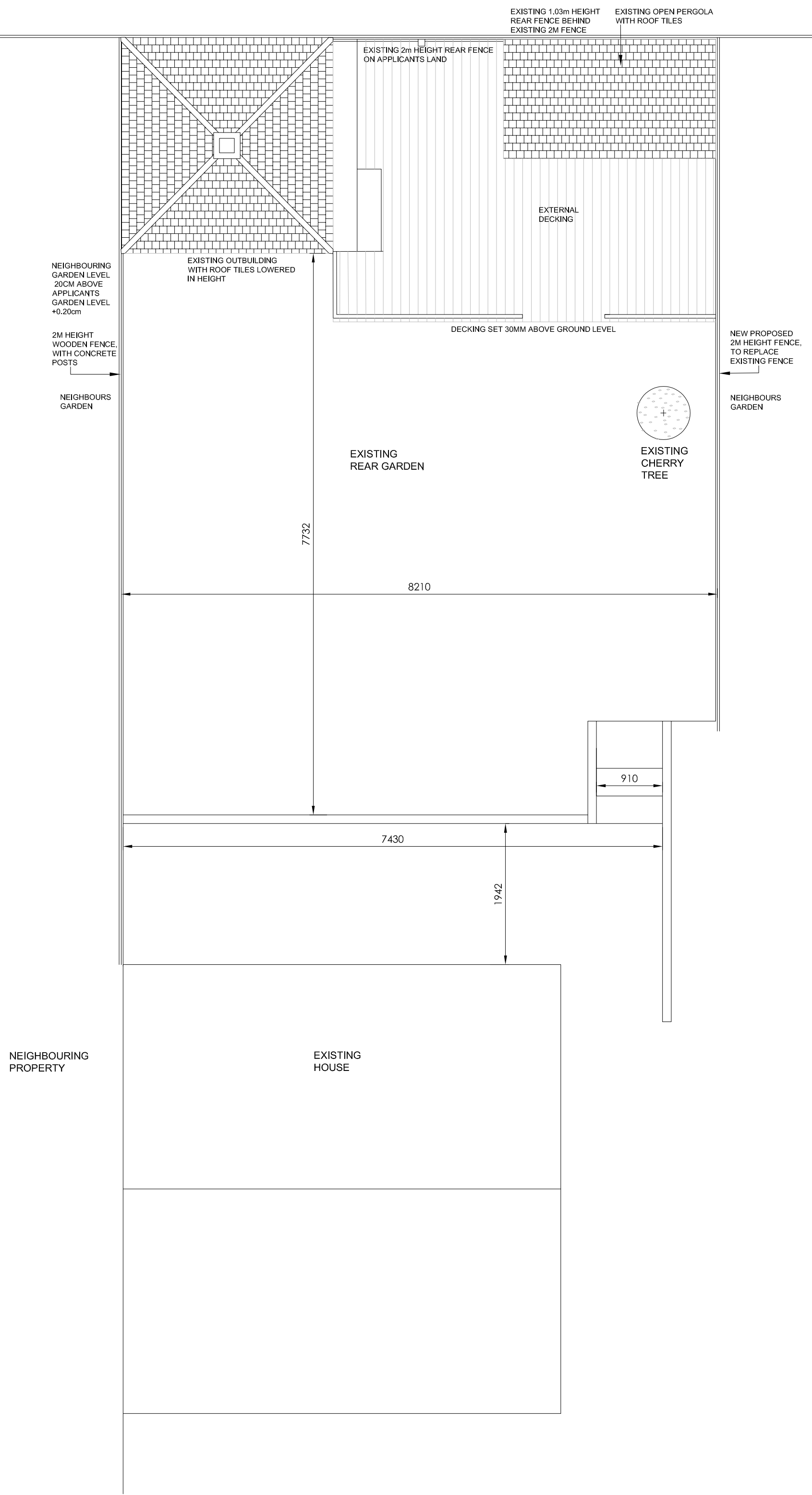
DIMENSIONS>
NOTE:- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE STATED
NOTE: THE CONTRACTOR IS RESPONSIBLE FOR CHECKING DIMENSIONS, TOLERANCES AND REFERENCES AND TO COMPLY WITH LOCAL AUTHORITY REQUIREMENTS BEFORE THE COMMENCEMENT OF WORKS



EXISTING PLAN VIEW OF OUTBUILDING & DECKING
SCALE 1:25



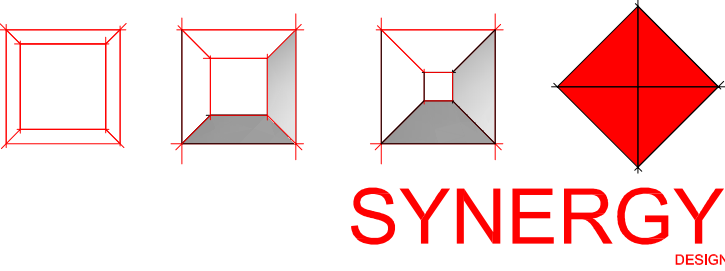
EXISTING FRONT ELEVATION OF OUTBUILDING & PERGOLA
SCALE 1:25



EXISTING PLAN VIEW OF HOUSE IN RELATIONSHIP TO GARDEN
SCALE 1:50

B	09.12.21	OUTBUILDING AND DECKING LOWERED TO 300mm ABOVE GROUND LEVEL IN REFERENCE TO PLANNING OFFICERS COMMENTS AND PLANNING POLICIES	DP	DP
A	03.02.20	SIDE, REAR ELEVATIONS & FLOOR PLAN OF OUTBUILDING/ PERGOLA ADDED IN REFERENCE TO BUSINESS SUPPORT OFFICERS COMMENTS	DP	DP
Rev.	Date	Details	Drawn	Checked

Issued for: RETROSPECTIVE PLANNING				
Project/Client: MR PARSA		Project No: D19002		
7 LOWER GRANGE, BRADLEY		Dwg No: PLA-002B		
HUDDERSFIELD, HD2 1RU		Rev: B		
Drawing: PROPOSED RETROSPECTIVE PLANS		Scale: 1:50/25 @A1		
EXISTING OUTBUILDING		Drawn By: DP	Date: 09.12.2021	
PERGOLA & DECKING		Checked By: DP	Date: 09.12.2021	



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Tel: 0797 623 6098

© Contractors must work only to figured dimensions which are to be checked on site.