

From:
Sent: 26 April 2019 18:23
To: DCAdmin
Subject: Objection to planning Application Number 2019/91141
Attachments:

Dear Sir

Objection to planning Application Number 2019/91141

Please find below our letter of objection with attached supporting document.

We would like to raise an objection in relation to the proposed single dwelling on land adjacent to 320, New Hey Road, Oakes, Huddersfield, HD3 4GQ; 2019/60/91141/W.

We appreciate the application is an Outline Application, however based on the information provided, we have the following comments;

The proposed site block plan is inadequately drawn with no North arrow and demonstrates some obvious anomalies which would have bearing on any proposed dwelling;

The House to the assumed East of the proposed dwelling is orientated at an angle and is not parallel to the bungalows to New Hey Road as shown reducing the actual amenity space this property enjoys, this reduced size space will now assumingly be overlooked and lose significant private space.

The proposed block plan shows the trees in locations that do not correspond with the locations on site, giving a false representation of where the house might finally be sited.

House number 330 has an extension to the rear which accommodates a dining and kitchen area (habitable room) which is closer to the proposed dwelling than is currently indicated.

We have measured this, and it would be no further away than 15.617 Metres if the block plan is drawn accurately. Please see attached drawing.

Worryingly the ordinance survey is out of date some revisions are dated 2008, with no license reference. I assume this plan has been reused from the previous applications and is supplied without the license reference being shown breaching the requirements of Kirklees council and copyright laws.

Notwithstanding the points above, we have the following objections. We have had to base some of these objections on assumptions due to the nature of information presented.

We note the dimensions on the proposed scale drawing and have cross referenced this with the previous application street scene drawing. While we note there are no windows presented at this time, one would assume there will be habitable rooms to the first floor. If any of these were to have a window facing South or East a total and utter loss of any and all privacy to the adjacent properties would occur, even considering the surviving trees and potential boundary fences where present. Due to the proximity and steep topographical position the dwelling would present as an overbearing dwelling with significant impact

on the remaining private amenity space of immediate properties to the East and South.

We also have a very real concern over rainwater run-off into the garden and down the driveways of 330 and 328 onto New Hey road as it currently exists, not only for protection from flooding, but also excessive

water run-off on to a busy main road. Any removal of trees and introduction of hardstanding impermeable or otherwise would exacerbate the current situation. I would very much appreciate therefore a more in-depth drainage and attenuation proposal be required at this early stage. The removal of trees and low-level shrubs and bushes will have an impact on the ecology of the site, which is apparent with a very large number of birds, insects and wildlife in general occupying the area. We feel that at the very least a Phase one ecology survey and Tree survey should be undertaken in this instance to determine the level at which this proposal can mitigate against this threat, albeit at an outline level.

In summary, we feel a two storey dwelling would have a significant and lasting detrimental effect on the immediate surrounding dwellings and their occupants now and in the future, Considering the existing topography we also believe the scale to be inappropriate creating an overbearing and dominant building overlooking everyone to the South and East. Removal of trees and issues with excessive surface water run-off will be exacerbated increasing the likelihood of surface water flooding and damage to property. We believe the proposals are detrimental to the immediate built environment and the open nature of the street scene.

I trust you will take these concerns and issues into consideration and recommend the application for refusal.

Your sincerely

Dotted lines indicates the layout of the proposed dwelling and associated entrance drive as submitted.

Please note the proposed separation distance of 15.4M to the rear of 330 New Hey Road. Please refer to indicative section below for illustration of privacy issues.



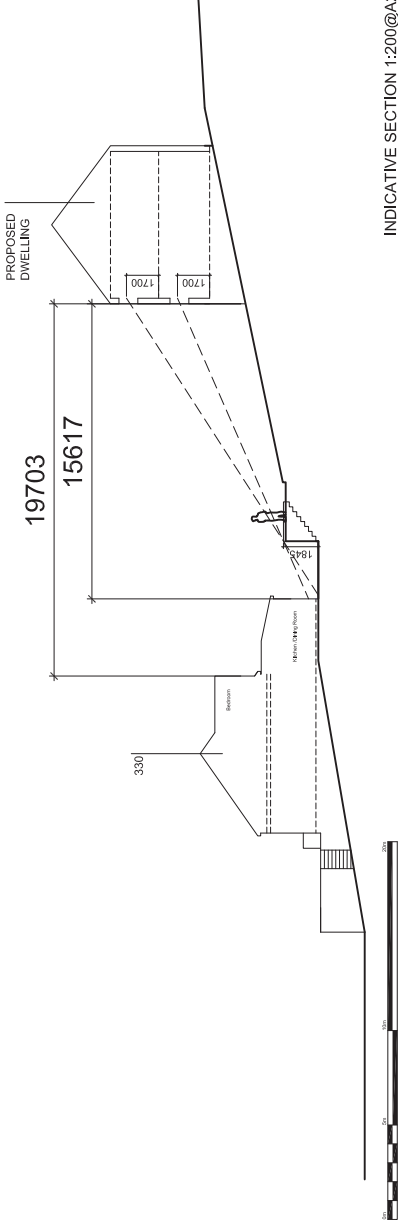
NEW HEY ROAD

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SITE PLAN WITH DIMENSION 1:200@A2

Using the stated site levels and dimensions submitted previously and on the current application, this section demonstrates the finished floor levels in relation to one another.

Assuming that the finished design will be similar to the one already built windows will be situated on the South elevation assuming a sill height of 1100mm minimum and a maximum viewing height of 1700mm. It can clearly be seen that the entire rear private garden will be over looked, with the only area kept private being immediately adjacent to the retaining wall. A similar situation would occur with number 328 next door. While boundary treatments could alleviate some of the privacy issues direct sight will still be possible at just over 15m into an existing bedroom.



INDICATIVE SECTION 1:200@A2