

GENERALLY : WORKS TO EXISTING

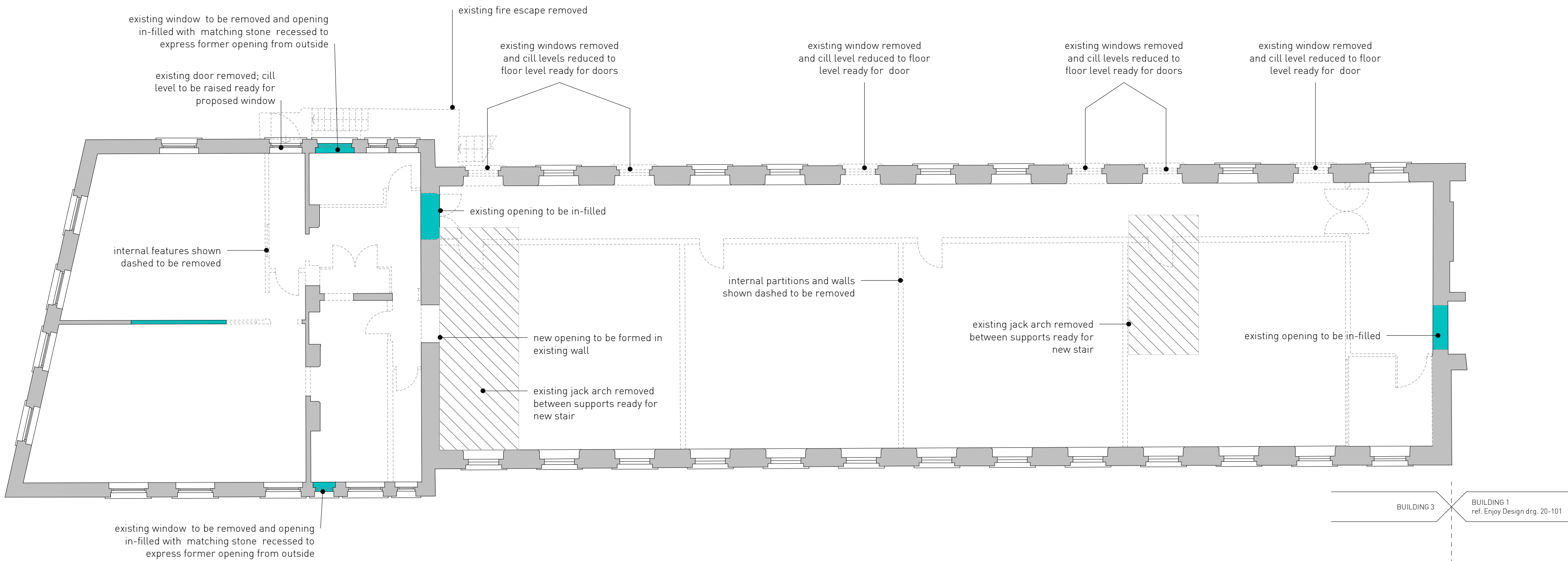
- existing non-historic floor finishes to be carefully removed to reveal historic floors. Floor finishes to be further assessed for heritage value and condition.
- existing suspended grid ceilings and their integrated services to be removed.
- existing services generally to be removed. historic bracketry or vestiges of historic services to be identified and retained for further consideration
- historic, timber-lined air-vents above doors to be retained and in-filled with fire-resisting construction or fire-rated glazing - to be reviewed further.
- where openings are to be formed in original walls, nibs and downstands are to remain to describe the location of the former wall.

GENERALLY : PROPOSED

- proposed internal walls to be formed in metal stud partition, boarded and painted, c/w suitable insulation to fulfill acoustic and fire-rating requirements.
- proposed doors within proposed partitions to be flush, hardwood veneered doors c/w stainless steel ironmongery.
- proposed sanitary facilities - rooms to be formed from metal stud partition and existing walls to be lined in universal wall liner, ready for internal finishes.
- proposed ceilings to be typically overboarding of exposed existing soffit to create suitable fire-rated separation. (overboarding to be as slim as practicable and existing covings to remain). skim and paint.
- covings, picture rails, skirtings, architraves and door details: vary by location and some spaces appear never to have had covings and picture rails. generally rooms to be restored with joinery and moulding details authentic to their location if present.

KEY

- Existing Construction to Retain
- Existing Construction to Remove
- Proposed Construction



Building 3 _ First Floor GA Plan _ Works to Existing

1 : 100

00 Series General Arrangement Notes

- Any areas indicated on the plans are approximate. They relate to the likely areas of the building at the current state of the design and are calculated using the stated eg(NVA) method from the Code of MEasuring Practice 5th Edition RICS/ISVA. Any decision to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements or the like, should include due allowance for design development and building tolerances. Floor areas are subject to Planning, Building Control and other statutory approvals.
- Any structural, services or fit out detail shown is for coordination only, refer to relevant Consultants/Clients information for details.
- Refer to Enjoy NBS for full outline performance specification of Architectural Elements.
- THE CONTENT OF THIS DRAWING IS FOR DESIGN INTENT AND REQUIRES FURTHER DESIGN DEVELOPMENT AND COORDINATION WITH ALL RELEVANT CONSULTANTS, SUB-CONTRACTORS, SPECIALIST DESIGNERS AND STATUTORY AUTHORITIES.

Building 3 Schedule of Residential Nett Accommodations			
Apartment Number	Name	Area (sqm)	Area (sqft)

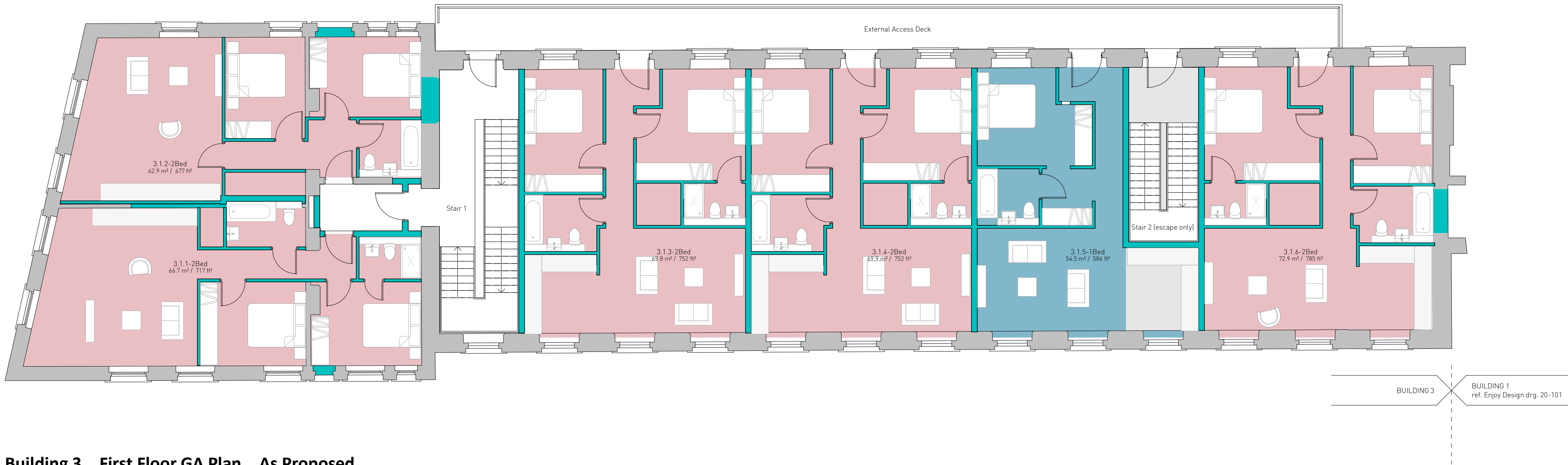
Level 3.0			
3.0.1	2Bed	63.8 m²	686 ft²
3.0.2	2Bed	55.4 m²	596 ft²
3.0.3	2Bed	68.4 m²	736 ft²
3.0.4	2Bed	68.2 m²	734 ft²
3.0.5	1Bed	45.1 m²	486 ft²
3.0.6	2Bed	56.6 m²	609 ft²
		357.4 m²	3847 ft²

Level 3.1			
3.1.1	2Bed	66.7 m²	717 ft²
3.1.2	2Bed	62.9 m²	677 ft²
3.1.3	2Bed	69.8 m²	752 ft²
3.1.4	2Bed	69.9 m²	752 ft²
3.1.5	1Bed	54.5 m²	586 ft²
3.1.6	2Bed	72.9 m²	785 ft²
		396.6 m²	4269 ft²

Grand total: 12 754.1 m² 8117 ft²

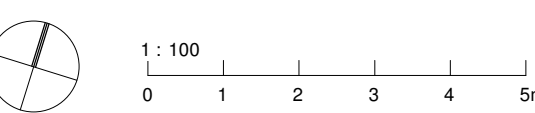
Building 3 Schedule of Gross Internal Floor Areas		
Name	Area (sqm)	Area (sqft)

Building 3 Ground Floor (Level 3.0)	442.8 m²	4,766 ft²
Building 3 First Floor (Level 3.1)	455.8 m²	4,906 ft²
	898.6 m²	9,672 ft²



Building 3 _ First Floor GA Plan _ As Proposed

1 : 100



Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd

Notes.

C	REDRAWN- Existing retained in lieu of new build	RG	24July20
B	Structural schematics incorporated - minor revisions to suit. Context shown at ground floor	JNS	06July28
A	Buildings 2+3 shown as proposed; massing revised and detached from building 1 following design team comments	JNS	07June18

Rev. Des. By Date Ch. Status:

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Client:		Job No:	
Trinity One LLP		16,047	
Project:		Trinity One, Huddersfield	
Title:		Building 3 - First Floor GA Plan as Proposed	
Date:	Scale:	Checked by:	
11/07/20	1 : 100BA1	RG	
Drawing No:	Drawn By:	Revision:	
20-301	RG	C	

ENJOY
DESIGN