

Building 2 _ Elevation D (North) _ Works to Existing

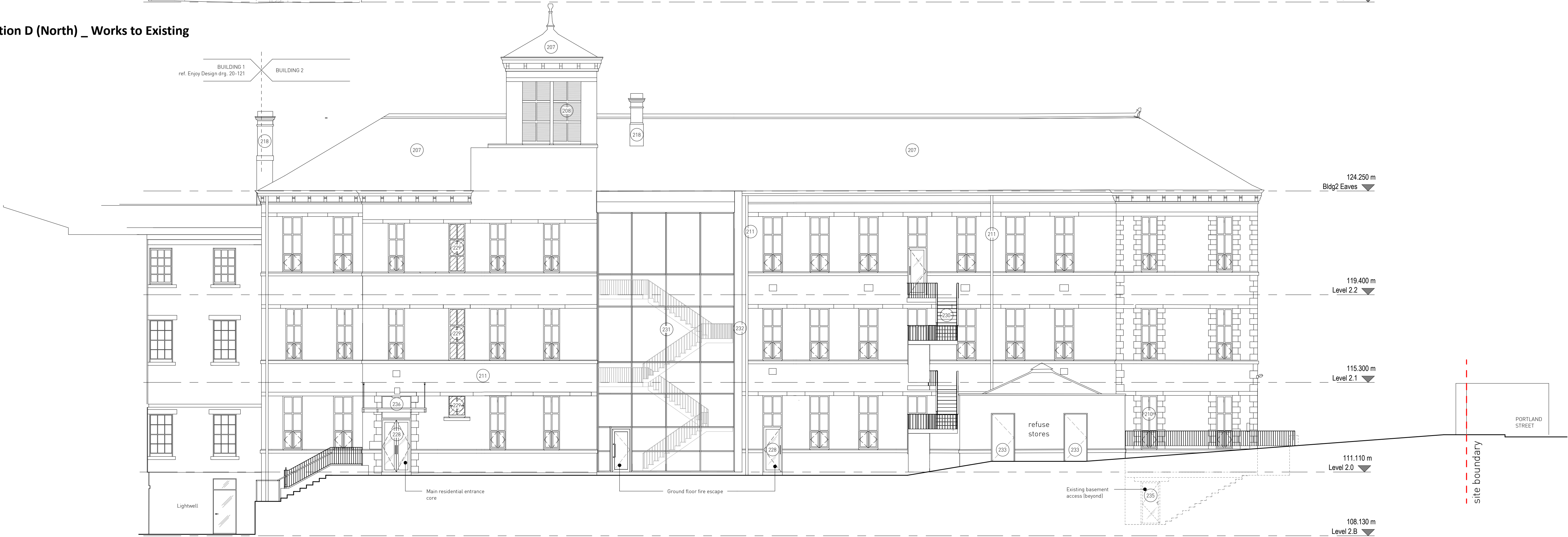
1 : 100



Materials Key	
202	Existing external pipework / downpipes / soilpipes, including associated bracketry, to be removed and masonry background to be made good with indent repairs.
206	Existing lean-to construction over former light-well to be removed.
207	Existing slate roof with lead rolled ridges, lead rolled hips and lead lined valleys: to be re-rolled with as much existing slate being re-used as practicable and reclaimed slate used to replace damaged slates; all leadwork to soakers, flashings, gutters, hips and ridges to be replaced with new in accordance with the Lead Manual; patination oil to all areas of lead other than gutters.
208	Existing painted timber louvres to be removed [ready for replacement].
209	Existing painted timber louvres and boarding-up to be removed and replaced with fixed glazed windows to match others.
210	Proposed replacement painted timber or metal glazed windows with opening lights/ sashes to pattern shown [colour: tbc].
211	Existing rainwater goods to be replaced with cast iron, where existing cast iron cannot be reused or repaired. All to be painted, colour tbc.
216	Existing lean-to construction, including supporting structure, to be removed; All building elements up to the notional facade line of the 1831 building to be removed. Once removed, the newly exposed facade of the original 1831 to be surveyed and in conjunction with the Conservation Officer, agreement to be reached on what elements to remain, how remaining elements are to be cleaned / repaired, and what elements are to be removed / replaced.
218	Existing stone chimney stack to be retained, cleaned, re-pointed and re-capped as necessary. All lead flashings and soakers to be renewed in accordance with the Lead Manual; patination oil to all lead flashings and soakers.
219	Existing semi-submerged boiler house buildings to be demolished.
221	Existing external metal fire escape to be removed ready for replacement with regulation compliant escape.
222	Existing extension to be removed and stone facade to be revealed, cleaned and re-created where necessary.
223	External levels to be raised to floor level - existing steps to be retained but buried beneath proposed landscape.
224	Former basement hoist access doors to be removed. Facade to be re-built in this location to match-in with existing details, cornice profiles, string courses and banded rustication.
225	Existing stored up opening to be replaced with fixed glazed windows to match others.
227	Existing fire escape doors to be removed and replaced with new fire exit doors.
228	Proposed new PPC metal or timber framed glazed doorset.
229	Existing windows to be replaced with new with spandril 'look-a-like' panels to hide inner lift shaft in this location.
230	Proposed painted metal, external fire escape with metal balustrade and uprights.
231	Proposed glazed PPC curtain walling system to new feature accommodation stair to replacement extension.
232	Proposed stone 'fin' to match existing stone.
233	Proposed new door openings in existing facade.
235	Proposed replacement PPC metal or timber security doors cw brushed stainless steel ironmongery.
236	Stainless steel and glass entrance canopy tied back to exrg facade with stainless steel wires and fittings.

Building 2 _ Elevation D (North) _ As Proposed

1 : 100



Notes.

Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd.

Rev. Des.

By Date Ch.

Status:

APPROVAL

The Old Brewery
High Court
Leeds
LS2 7ES
Tel: 0113 242 3622
www.enjoy-design.co.uk

Client:	Trinity One LLP	Job No:	16,047
Project:	Trinity One, Huddersfield		
Title:	Building 2 - North Elevation Proposals		
Date:	05/14/18	Scale:	1 : 100BA1
Drawing No:	20-221	Drawn By:	Author
Checked by:	Checker	Revision:	

ENJOY
DESIGN