

## 1 - Building 1 \_ South Elevation (Elevation 10) \_ Works to Existing

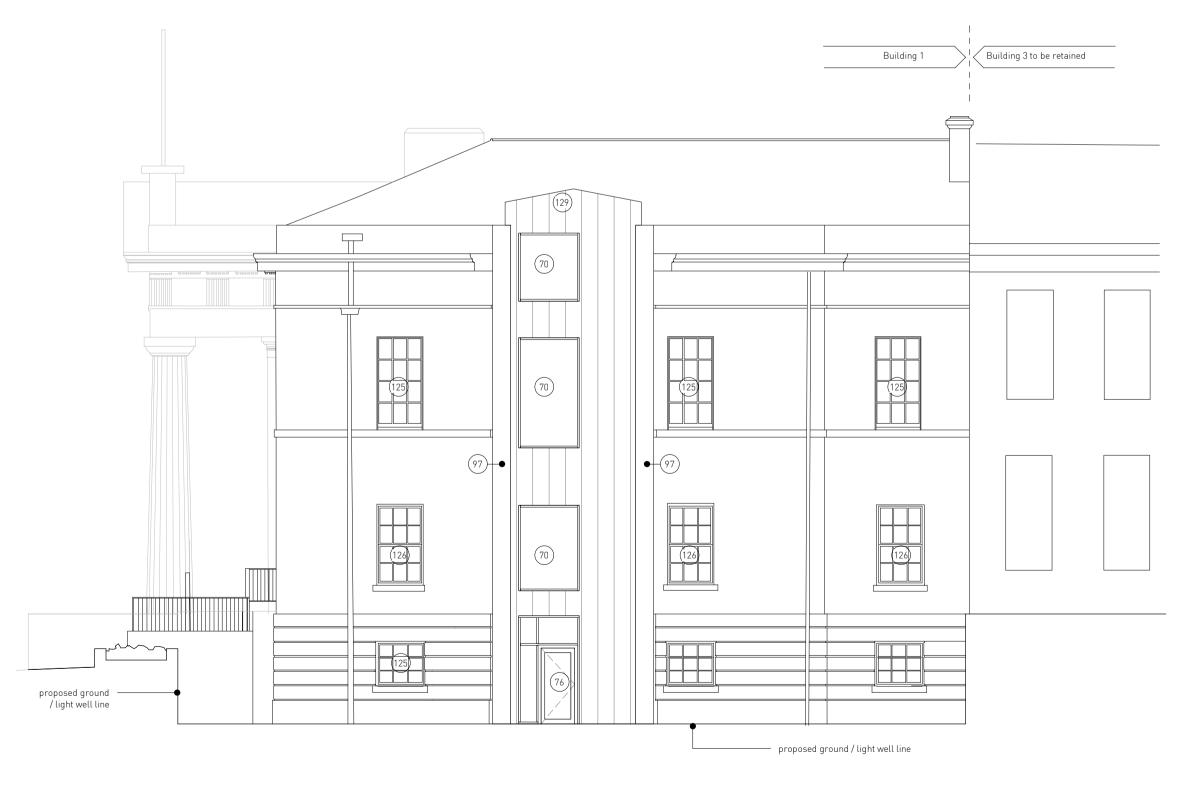
For survey of Building 1 as existing, refer to Met Surveys drg P17-00727-MET-EXT-ELE-M2-B-001

> Building 2 to be retained Building 1 86)

> > proposed ground / light well line —

3 - Building 1 \_ South Elevation (Elevation 10) \_ As Proposed

## 2 - Building 1 \_ North Elevation (Elevation 2) \_ Works to Existing



4 - Building 1 \_ North Elevation (Elevation 2) \_ As Proposed

## Trinity One LLP 16,047 Trinity One, Huddersfield Building 1 - North and South Elevations The Old Brewery High Court Checked by Contractor must verify all dimensions on site before commencing any work or shop drawings. If this drawing exceeds the quantities taken in any way Scale: the Architects are to be informed before the work is initiated. Only figured dimensions to be taken from this drawing. Do not scale off this drawing. Drawings based on Ordnance Survey and / or existing record drawings - design and drawing content subject to Site Survey, Structural Survey, Site 1:100@A1 Jul 18 LS2 7ES A Buildings 2 & 3 included as retained Investigations, Planning and Statutory Requirements and Approvals. Authorised reproduction from Ordnance Survey Map with permission of the Controller of Her Majesty's Stationery Office. Crown Copyright reserved. Enjoy Design Ltd. Tel: 0113 242 3622 Drawn By: Revision: Drawing No: By Date

## Materials Key

- 50 Existing external pipework / downpipes / soilpipes, including associated bracketry, to be removed and masonry background to be made good with indent repairs.
- 52 Existing flood-lights: to be removed and masonry made good. 54 Existing casement windows to be removed.
- 55 Existing ashlar masonry to be cleaned (North, East and South Elevations): cleaning method statement to be submitted to Conservation Officer prior to works commencing. Final scope of cleaning to be agreed, but to include chimney stacks, flagpole base, parapet above cornice, pediment, cornice, columns, daises (all
- faces and top) and steps. 57 Existing lean-to construction, including supporting structure, to be removed: All building elements upto the notional facade line of the 1831 building to be removed. Once removed, the newly exposed facade of the original 1831 to be surveyed and in conjunction with the Conservation Officer, agreement to be reached on what elements to remain, how remaining elements are to be cleaned / repaired, and what elements are to be removed / replaced.
- 58 Existing dormer windows and rooflights to be removed as part of re-roofing Existing slate roof with lead rolled ridges, lead rolled hips and lead lined valleys: to be re-roofed with as much existing slate being re-used as practicable and
- replaced with new in accordance with the Lead Manual; patination oil to all areas of lead other than gutters. Existing glazed roof over former lightwell (concealed behind hoarding at time of
- survey): to be removed back to 1831 facade and facade to be made good. Facade to be re-built in this location to match-in with existing details, cornice
- profiles, string courses and banded rustication. New window opening formed in newly re-built facade ready for new window. (original window no longer existing)
- Proposed window; ppc aluminium framed window c/w clear glass double-glazed
- PPC, metal framed double glazed screen colour and finish to be confirmed. Existing rainwater goods to be replaced with cast iron, where existing cast iron
- cannot be reused or repaired. All to be painted, colour tbc. Conservation style roof-light flush with existing slate roof; ppc grey metal frames
- Existing stone chimney stack to be retained, cleaned, re-pointed and re-capped as necessary. All lead flashings and soakers to be renewed in accordance with the
- Lead Manual; patination oil to all lead flashings and soakers. Proposed Roof safety line: stainless steel cable on stainless steel pedestals. Proposed railings to recreate previously removed railings reusing vestigial
- sockets (post locations shown indicatively sockets in paving to be sought once concrete paviours removed) 97 Existing link building wall ends to be exposed by demolition of adjacent building:
- ends of wall to be neatly re-built in salvaged coursing stone c/w lime-based mortar, to express removal of building and exposure of previously concealed construction. Exact alignment of ends of cornice and string courses to be assess
- once construction exposed. Existing pipework to be removed and openings in facade made good.
- Existing gas pipe to be removed and fixings to be made good in ashlar stone with
- 102 Existing modern plywood door and frame in opening to be removed. Original window no longer present. Cill to be raised for opening to be restored as original window opening.
- Existing cornice, string course and rustication details unknown whether they remain within later party wall construction. To be reviewed once facade exposed.
- 105 (diagonal hatched) Existing facade has been overpainted. To be cleaned off by agreed method following testing in small areas.
- 106 (cross-hatched) Existing face of ashlar stone spalling: loose material to be removed back to sound face and reviewed.
- 107 (heavy lines) Masonry joints opening-up. To be pointed up with lime-based mortar to an agreed sample.
- Existing modern access ramp to be retained and made good to offer level access at front of building. All masonry and metal balustrades to be cleaned and fully refurbished. (For proposed Access Strategy, refer to Enjoy Design drg. ref. 00 004). 109 Existing modern railings to be retained and refurbished or replaced to match
- 111 (dotted hatch) Existing masonry exhibiting discolouration and salt contamination
- due to water ingress de-scaling to be undertaken to agreed method. Existing string course damaged - to be repaired to match profile generally.
- 113 Existing shallow-pitch dormer over existing link building to be retained, albeit likely to be largely replaced with new timbers to match existing profile. To be
- 114 Existing link building to be retained. 121 Cracked ashlar lintol to be replaced.
- 125 Existing Window in reasonably good order. To be refurbished re-using existing glass. Frames and sashes to be painted, colour ref. tbc. 126 Existing Window present but requiring some elements of renewal to glazing /
- sashes. All new glass to be clear. Frames and sashes to be painted, colour ref. 127 Original Window missing or beyond repair. To be replaced with new counter-weighted hardwood, single-glazed\* sash window to closely match
- existing. Frames and sashes to be painted, colour tbc. (\*if existing glazing bar profiles allow, a slim double-glazed unit may be proposed, subject to sample
- 129 Proposed standing-seam patinated zinc cladding / roofing, subject to presentation of samples.
- 130 Existing Window in differing pattern to other windows frames to be restored and re-glazed with clear glass. Painted to match other windows.