

PROGRESSIVE PRIVACY

The scheme can be broken down into 4 zones of progressive privacy, which are:

- **ENTERING THE SITE** - By the use of high quality materials, landscaping and external works, indicates to the visitor that they have left the public realm and are entering a cared for environment.
- **PUBLIC AREAS** - The building entrances are clearly defined with a glazed entrance canopy and automatic sliding doors welcoming the visitor into the scheme, overlooked by the office for added security. From this area a visitor can access the communal facilities, such as the restaurant, lounge and health and wellbeing suite.
- **SEMI-PUBLIC AREAS**- This area is where the residents' own facilities are located and include the access corridors to individual apartments. This area is domestic in scale, creating a contrast with the public areas and providing a clear hierarchy of space within the building.
- **PRIVATE AREAS** - The residents' own home.

ACCESS TO EXTERNAL SPACES

A well designed landscape will contribute to the feeling of quality and sense of well-being for the residents. Daily activities, such as walking and gardening, can be useful forms of exercise. All ground floor apartments have direct access to a private external patio area and all upper floor apartments will have Juliet balconies.

ENCOURAGING MEANINGFUL ACTIVITIES WHICH WILL SUPPORT HEALTH AND WELLBEING

The communal facilities, whilst being an integral part of the scheme, are designed to have their own identity from the apartment areas. The apartments are domestic in scale, in contrast, the communal facilities are large, airy, double height spaces.

The health and wellbeing suite, which includes a wellbeing room and consulting room, is designed on the principal of a luxury spa hotel in the style of finishes and fittings provided. Engaging in a balance of self-care, work and play activities is essential to our physical and mental well-being and there-by our quality of life. The design of the communal areas as exciting, vibrant spaces will encourage residents out of their apartments to partake in the wide range of activities and facilities on offer.



EXTRA CARE FACILITY ENTRANCE







CONTEXT	1
DESIGN DEVELOPMENT	3
URBAN DESIGN	4
QUALITY	5
LANDSCAPE STRATEGY	6
HOUSE TYPE DESIGN	7
EXTRA CARE FACILITY	
APPENDIX	A

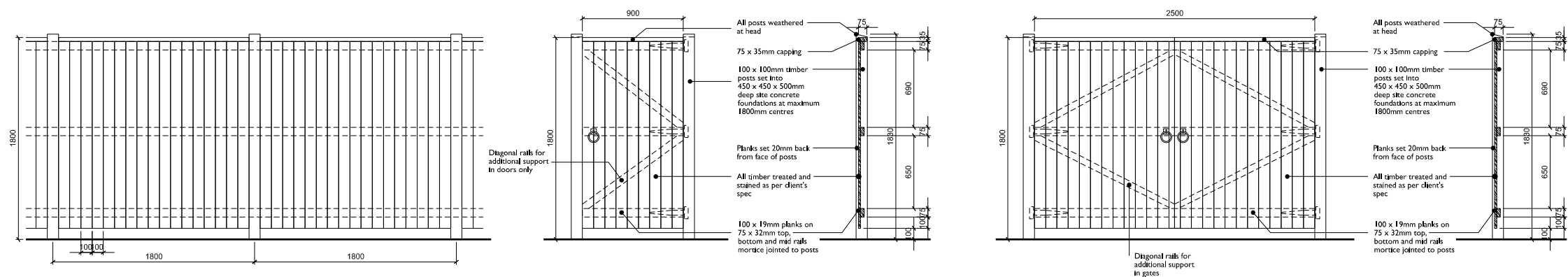
BOUNDARY TREATMENTS

- 1.8m high brick screen wall with timber infill panels - 291m
- 1.5m high timber fence with 0.3m high timber trellis - 889m
- 1.8m high closed board fence and timber gates - 1484m
- 0.9m low level hedge - 414m

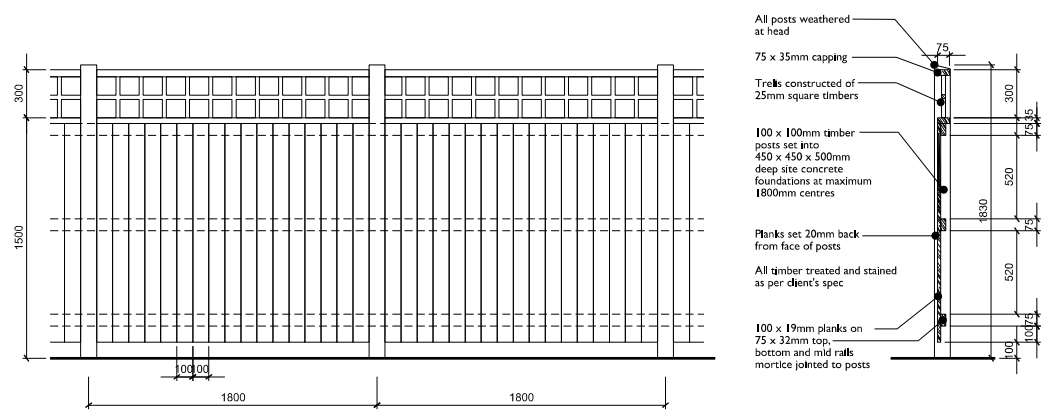
*Please refer to engineering drawings for retaining wall information.



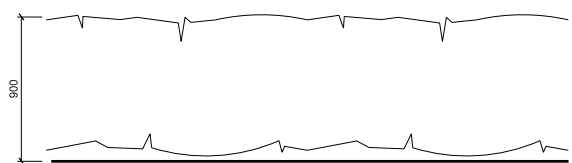
BOUNDARY DETAILS



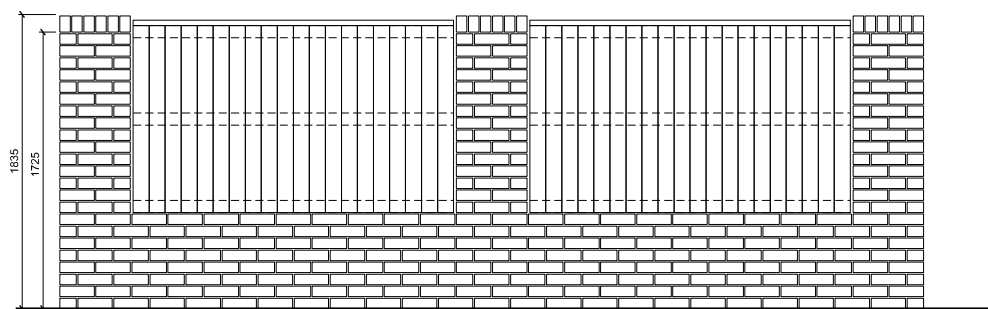
1800mm high closed board timber fence and gates



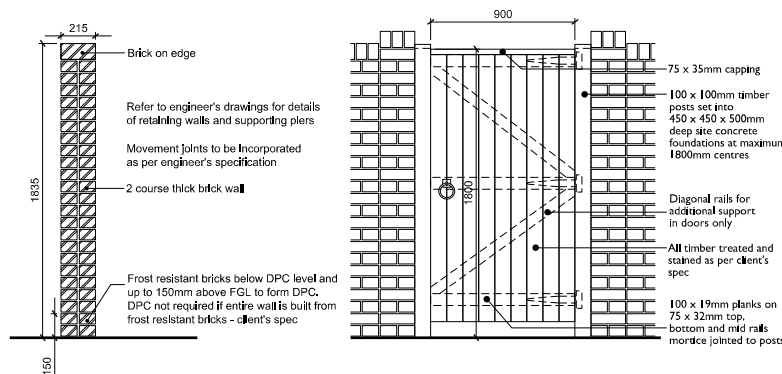
1800mm high timber fence
(1500mm closed board timbers with 300mm timber trellis)



900mm low level hedging



1800mm high masonry wall with timber
infill panels



Notes:
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Front Elevation

Rear Elevation



Roof Plan (1:200)

Materials Key	
	Edenhill Darton Walling in buff / black rural - reconstituted stone
	Edenhill Dolomite cream concrete brick
	Edenhill Chertemham Burnt Wheat
	Russel Granplan grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Arlstone window heads & sills
	GRP faced entrance door in Black



Ground Floor Plan
Area to blockwork - 35.6m² (384ft²)
Area to plasterboard - 35.0m² (377ft²)

First Floor Plan
Area to blockwork - 35.6m² (384ft²)
Area to plasterboard - 35.0m² (377ft²)



Side Elevation

Plots:
08-10, 14-15, 17-19, 21-23, 44, 47-48, 52-53, 65, 75-77, 82, 100, 105, 108-109

Totals:
Area to blockwork - 71.2m² (768ft²)
Area to plasterboard - 70.0m² (754ft²)

Rev	Date	Description	Drawn	Check
1	25.01.18	Plot numbers updated following layout amendments	RM	LIV
2	05.12.17	Stone tile removed from rear and side elevs.	RM	MD
3	28.10.17	Material key updated	RM	MD
4	28.10.17	Final issue for comment	RM	MD

Rev | Date | Description | Drawn | Check

Drawing Status

PLANNING

Client



Project
Ashbrow, Huddersfield

Drawing Title
Indicative Plans and Elevations
House Type 768

Scale @ A3 1: 100 Job Ref 01191A

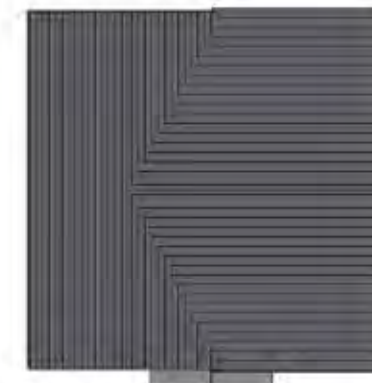
Drawing No 01191A_HT 768-01 Revision B

Scale Bar
0 1 2 3m

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Materials Key	
	Edenhall Darlaston Walling in buff / black rural - reconstituted stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russel Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Airstone window heads & cills
	GRP faced entrance door in Black



Roof Plan (1:200)



Front Elevation



Rear Elevation



Ground Floor Plan
Area to blockwork - 35.6m² (384ft²)
Area to plasterboard - 35.0m² (377ft²)



First Floor Plan
Area to blockwork - 35.6m² (384ft²)
Area to plasterboard - 35.0m² (377ft²)



Side Elevation

Plots:
101 102

Totals:
Area to blockwork - 71.2m² (768ft²)
Area to plasterboard - 70.0m² (754ft²)

B	25.01.10	Plot numbers updated following layout amendment	RM	DS
A	05.12.11	Stone tiles removed from rear and side walls	RM	DS
-	25.10.17	Material key updated	RM	DS
-	25.10.17	First issue for comment	RM	DS

Rev	Date	Description	Drawn	Chkd
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Drawing Status
PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type 768**

Scale @ A3 1: 100 Job Ref. 01191A

Drawing No 01191A_HT 768-04 Revision B





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Materials Key	
	Edenhall Darlington Walling in buff / black rural - reconstituted stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russell Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window reveals & sills
	GRP faced entrance door in Black



Ground Floor
Area to blockwork: 44.3 m² (477 ft²)
Area to plasterboard: 43.6 m² (468 ft²)



First Floor
Area to blockwork: 44.3 m² (477 ft²)
Area to plasterboard: 43.6 m² (468 ft²)



Plots:
13, 16, 45-46, 49-51, 54-55, 60-61, 78-81

Totals:
Area to blockwork - 88.6m² (953ft²)
Area to plasterboard - 87.2m² (938ft²)

Rev	Date	Description	Drawn	Check
1	25.01.18	Plot numbers updated following layout amendments	RM	DS
2	06.12.17	Stone site removed from rear and side elevs.	RM	DS
3	20.10.17	Material key updated	RM	DS
4	20.10.17	First issue for comment	RM	DS

Drawing Status

PLANNING

Client



Project
Ashbrow, Huddersfield

Drawing Title
Indicative Plans and Elevations
House Type 953

Scale @ A3 1: 100 Job Ref. 01191A

Drawing No 01191A_HT 953-01 Revision B



Notes:
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Front Elevation



Right Elevation



Rear Elevation



Left Elevation



Ground Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



First Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



Roof Plan (1:200)

Materials Key	
	Edenhill Darlington Walling in buff / black rural - reconstructed stone
	Edenhill Dolomite cream concrete brick
	Edenhill Chertium Burnt Wheat
	Russel Granbian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window heads & cills
	GRP flood entrance door in Black

Plots:
11, 30, 31, 40, 110

Totals:
Area to blockwork - 90.0m² (968ft²)
Area to plasterboard - 88.6m² (954ft²)

Rev	Date	Description	Drawn	Check
C	25.01.18	Plot numbers updated following layout amendments	RM	DS
B	05.12.17	Stone cills removed from rear and side elevs.	RM	DS
A	20.11.17	Material key updated	RM	DS
-	20.11.17	First floor plan title changed	RM	DS
-	20.10.17	First issue for comment	RM	DS

Rev | Date | Description | Drawn | Check

Drawing Status
PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
**Plans and Elevations
House Type 968**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 968-01 Revision C

Scale Bar
0 1 2 3m

Notes:
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Front Elevation

Right Elevation

Rear Elevation

Left Elevation



Ground Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



First Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



Roof Plan (1:200)

Materials Key	
	Edenhall Dariston Walling in buff / black rural - reconstituted stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russet Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window heads & cills
	GRP faced entrance door in Black

Plots:
01, 107

Totals:
Area to blockwork - 90.0m² (968ft²)
Area to plasterboard - 88.6m² (954ft²)

Rev	Date	Description	Drawn	Check
B	25.01.18	Plot numbers updated following layout amendments	RM	DS
A	05.12.17	Stone cills removed from rear and side elevs.	RM	DS
		Material key updated		
-	20.10.17	First issue for comment	RM	DS

Rev | Date | Description | Drawn | Check

Drawing Status

PLANNING

Client



Project
Ashbrow, Huddersfield

Drawing Title
Indicative Plans and Elevations
HT 968 (detached recon. stone opt.)

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 968-02 Revision B

Scale Bar
0 1 2 3m



Front Elevation

Right Elevation

Left Elevation

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Roof Plan (1:200)

Materials Key	
	Edenhall Darlston Walling in buff / black rural - reconstituted stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russet Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window heads & cills
	GRP faced entrance door in Black

Plots:
20, 43, 64, 74, 83

Totals:
Area to blockwork - 90.0m² (968ft²)
Area to plasterboard - 88.6m² (954ft²)

Rev	Date	Description	Drawn	Check
C	25.01.18	Plot numbers updated following layout amendments	RM	DS
B	05.12.17	Stone cills removed from rear and side elevs.	RM	DS
A	20.11.17	First floor plan title changed	RM	DS
-	20.10.17	First issue for comment	RM	DS

Drawing Status

PLANNING

Client



Ashbrow, Huddersfield

**Plans and Elevations
HT 968 (semi-detached)**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 968-03 Revision C

Scale Bar 0 1 2 3m



Ground Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



Ground Floor
Area to blockwork: 45.0 m² (484 ft²)
Area to plasterboard: 44.3 m² (477 ft²)



Front Elevation



Right Elevation



Left Elevation



Rear Elevation



Roof Plan (1:200)

Notes:
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Materials Key	
	Edenhall Darlston Walling in buff / black rural - reconstituted stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russel Granpian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window reveals & cills
	GRP faced entrance door in Black

Plot:
106

Totals:
Area to blockwork - 90.0m² (968ft²)
Area to plasterboard - 88.6m² (954ft²)

B: 25.01.18 Plot numbers updated following layout amendments RM DS
A: 02.12.17 Stone cills removed from front and side elevations RM DS
Material key updated
20.10.17 First issue for comment RM DS

Rev | Date | Description | Drawn | Check

Drawing Status
PLANNING

Client

Venue Studios
21 Calton Road
Edinburgh, EH8 8DL
+44 (0)131 280 6600
www.jtp.co.uk

Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type 968v1 (recon. stone opt.)**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 968v1 Revision B

Scale Bar
0 1 2 3m



Front Elevation



Rear Elevation



Ground Floor
Area to blockwork: 47.2 m² (508 ft²)
Area to plasterboard: 46.5 m² (501 ft²)



First Floor
Area to blockwork: 47.2 m² (508 ft²)
Area to plasterboard: 46.5 m² (501 ft²)



Side Elevation



Roof Plan (1:200)

Notes:
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Materials Key	
	Edenhill Darlington Walling in buff / black rural - reconstituted stone
	Edenhill Dolomite cream concrete brick
	Edenhill Cheltenham Burnt Wheat
	Russel Granpian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascias
	Artstone window reveals & cills
	GRP faced entrance door in Black

Plots:
56-57, 72-73, 84-85, 88-89, 92-93, 96-97

Totals:
Area to blockwork - 94.4m² (1016ft²)
Area to plasterboard - 93.0m² (1002ft²)

Rev	Date	Description	Drawn	Check
6	25.01.18	Plot numbers updated following layout amendments	RM	DS
5	06.12.17	Stone cills removed from rear and side elevs.	RM	DS
4	20.10.17	Material key updated	RM	DS
3	20.10.17	First issue for comment	RM	DS

Rev | Date | Description | Drawn | Check

Drawing Status
PLANNING

Client

Venue Studios
21 Calton Road
Edinburgh, EH8 8DL
+44 (0)131 260 6600
www.jtp.co.uk

Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type 1016**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 1016-01 Revision B

Scale Bar
0 1 2 3m



Front Elevation



Rear Elevation



Roof Plan (1:200)

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	Edenhill Darlington Walling in buff / black rural - reconstituted stone
	Edenhill Dolomite cream concrete brick
	Edenhill Cheltenham Burnt Wheat
	Russel Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window reveals & sills
	GRP faced entrance door in Black



Ground Floor
Area to blockwork: 38.6m² (415ft²)
Area to plasterboard: 37.9m² (408ft²)

First Floor
Area to blockwork: 37.9m² (407ft²)
Area to plasterboard: 37.2m² (401ft²)

Second Floor
Area to blockwork: 37.9m² (407ft²)
Area to plasterboard: 37.2m² (401ft²)



Side Elevation

Plots:
24-25, 58-59, 62-63, 66-71, 86-87, 90-91,
94-95, 98-99, 103-104

Totals:
Area to blockwork - 114.4 (1229ft²)
Area to plasterboard - 112.3m² (1210ft²)

A 05.01.18 Plot numbers updated following layout amendments. RM DS
Use submitted to achieve 4000 MCS5 roof area. House name changed to reflect new area. GA DS
11.12.17 First issue for comment

Rev | Date | Description | Drawn | Check

Drawing Status
PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type 1210**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT 1210-01 Revision A

Scale Bar
0 1 2 3m



Front Elevation



Rear Elevation



Notes:
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Lower Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



First Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Roof Plan (1:200)

Materials Key

Edenhall Darlington Walling in buff / black rural - reconstructed stone
Edenhall Dolomite cream concrete brick
Edenhall Cheltenham Burnt Wheat
Russet Gramplan grey interlocking concrete tile
GRP canopy
UPVC White window frames
Black UPVC fascia
Artstone window heads & cills
GRP faced entrance door in Black

Plots:
04-05, 34-35, 38-39

Totals:
Area to blockwork - 109.2m² (1176ft²)
Area to plasterboard - 107.4m² (1155ft²)

B	25.01.18	Red numbers added following layout amendments	RM	DS
A	20.12.17	Stone cills removed from rear and side elevs.	RM	DS
		Material key updated	RM	DS
	20.10.17	First issue for comment	RM	DS

Rev	Date	Description	Drawn	Check
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Drawing Status
PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type Downhill Split**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT DH-S Revision B





Front Elevation



Rear Elevation



Side Elevation

Notes:
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Lower Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



First Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Roof Plan (1:200)

Materials Key

Edenhall Dariston Walling in buff / black rural - reconstructed stone
Edenhall Dolomite cream concrete brick
Edenhall Cheltenham Burnt Wheat
Russet Grampian grey interlocking concrete tile
GRP canopy
UPVC White window frames
Black UPVC fascia
Artstone window heads & cills
GRP faced entrance door in Black

Plots:
02-03, 26-27, 32-33, 36-37, 41-42

Totals:
Area to blockwork - 109.2m² (1176ft²)
Area to plasterboard - 107.4m² (1155ft²)

Rev	Date	Description	Drawn	Check
1	25.01.15	Plot numbers updated following layout amendments	RM	DS
2	05.12.17	Stone cills removed from out and side elevs	RM	DS
3	20.10.17	Material key updated	RM	DS
4	20.10.17	First issue for comment	RM	DS

Drawing Status

PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
Indicative Plans and Elevations
House Type Downhill Split Variant

Scale @ A3 1: 100 Job Ref 01191A
Drawing No 01191A_HT DH-Sv1.0 Revision B
Scale Bar 0 1 2 3m



Front Elevation



Rear Elevation



Side Elevation

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Lower Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Ground Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



First Floor
Area to blockwork: 36.4 m² (392 ft²)
Area to plasterboard: 35.8 m² (385 ft²)



Roof Plan (1:200)

Plots:
06-07

Totals:
Area to blockwork - 109.2m² (1176ft²)
Area to plasterboard - 107.4m² (1155ft²)

Rev	Date	Description	RM	DS
B	25.01.18	First uniform isolated following layout amendments	RM	DS
A	20.12.17	Stairs into entrance from rear and side elevations	RM	DS
-	20.10.17	Material key updated	RM	DS
-	20.10.17	First issue for comment	RM	DS

Rev | Date | Description | Drawn | Check

Drawing Status
PLANNING



Project
Ashbrow, Huddersfield

Drawing Title
**Indicative Plans and Elevations
House Type Downhill Split Variant**

Scale @ A3 1: 100 Job Ref 01191A

Drawing No 01191A_HT DH-Sv1-03 Revision B



Materials Key	
	Edenhall Darlington Walling in buff / black rural - reconstructed stone
	Edenhall Dolomite cream concrete brick
	Edenhall Cheltenham Burnt Wheat
	Russet Grampian grey interlocking concrete tile
	GRP canopy
	UPVC White window frames
	Black UPVC fascia
	Artstone window heads & cills
	GRP faced entrance door in Back

AERIAL VIEW OF PROPOSALS



AERIAL VIEW OF PROPOSALS

