0 5 10cm

N

Notes | Sketch schemes may be based on plan information of unknown origin and is subject to verification and survey. Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only. Ensure digital versions are plotted at 'Actual Size'. Building areas are liable to adjustment over the course of the design process due to ongoing construction detailing developments. Subject to statutory approvals and survey. The bar below is to check that the drawing has been printed to scale.

Accommodation Schedule

House Type			Area (sq.ft)	Quantity	Total Areas (sq.ft)
St	Staveley	2 bed semi detached	685	10	6,850
Pi	Pickering	3 bed semi detached	820	16	13,120
Ric	Richmond	4 bed detached	1,091	5	5,455
T	Thirsk	4 bed detached	1,273	4	5,092
Cax	Caxton	4 bed detached	1,274	2	2,548
Pa	Pateley	4 bed detached	1,330	7	9,310

Total	44 No.	42,375 sq.ft
Nett developable Site Area	2.87 Acre	14,765 sq.ft/Acre
Site Area	3.35 Acre	

LEGEND

- Site Boundary
- Bins — Bin storage area comprising hard standing, minimum area of 0.75x1.5m to accommodate 3 wheeled bin containers and box
- Grass to front gardens and open space
- Block paving to shared surfaces
- Electric car charging points
- Location of permanent Schwegler Sparrow Terrace 1SP bird box
- Location of permanent Schwegler Swift Box #18 bird box
- Location of permanent Schwegler 1FR bat tubes

All unhatched roads to be tarmac
All main roads to be adopted

Rev	Date	Description	Drawn	Checked
W	30.01.18	Plots 8&9 moved west away from site boundary	OS	CR
V	25.01.18	Plot 7 moved forward & garage attached	OS	CR
U	12.01.18	House type blocks updated inc bay windows	OS	CR
T	30.11.17	Site plan revised to revised house type blocks from Oct 17	AH	OS
S	31.05.17	Boundary adj plot 22 amended	CR	GE
R	31.05.17	Cycle path extended	CR	GE
Q	31.05.17	Cycle path extended	CR	GE
P	31.05.17	Private drive and cycleway amended	CR	GE
N	08.03.17	Highway revised	CR	GE
M	08.03.17	Highway revised	CR	GE
L	14.02.17	Bird and bat boxes shown	CR	GE
K	16.01.17	2m wide footpath removed	YA	CR
J	16.01.17	Shared surface ammended & new 2m wide footpath added to public open space	YA	CR
H	13.12.16	Footpath link amended to south east, shared surface turning head revised, plots 4 & 5 moved	CR	GE
G	13.12.16	Shared surface amended, plots 4-7 changed	CR	GE
F	08.12.16	Footpath links added to noth west and south east corners.	rsg	GE
E	03.11.16	Plot 13 amended, shared surface amended	CR	GE
D	02.11.16	Front parking seperated	CR	GE
C	14.10.16	Topo information updated. Sewer position & easement amended. Plots 8-17 moved south 2.4m. Plots 18-24 moved South 1.9m. Road amended to suit. Parking updated.	WCC	CR
B	11.10.16	Updated to suit new topographical survey	CR	GE
A	22.07.16	Electric car charging points	PJN	CR

Project: Hightown Road, Cleckheaton

Drawing: Proposed Site Layout

Client: Stonebridge Homes

Stonebridge Homes

BIM Suitability Description: SUITABLE FOR INFORMATION

BIM Suitability Code: S2

Status: Planning
Date: 05.07.16
Drawn: PJN
Checked: CR
Scale (A2): 1:500

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Project	Originator	Discipline	Drawing No	Rev
0565	EA	A	0002	W