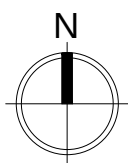


WILTON TERRACE



0 5 10cm



Notes | Sketch schemes may be based on plan information of unknown origin and is subject to verification and survey. Contractors must verify all dimensions on site before commencing any work or shop drawings. This drawing is not to be scaled. Use figured dimensions only. Ensure digital versions are plotted at 'Actual Size'. Building areas are liable to adjustment over the course of the design process due to ongoing construction detailing developments. Subject to statutory approvals and survey. The bar below is to check that the drawing has been printed to scale.

Accommodation Schedule					
House Type			Area (sq.ft)	Quantity	Total Areas (sq.ft)
St	Staveley	2 bed semi detached	685	10	6,850
Pi	Pickering	3 bed semi detached	820	16	13,120
Ric	Richmond	4 bed detached	1,091	5	5,455
Th	Thirsk	4 bed detached	1,273	4	5,092
Cax	Caxton	4 bed detached	1,274	2	2,548
Pa	Pateley	4 bed detached	1,330	7	9,310

Total 44 No. 42,375 sq.ft

Nett developable Site Area 2.87 Acre 14,765 sq.ft/Acre
Site Area 3.35 Acre

LEGEND	
	Site Boundary
	Bin storage area comprising hard standing, minimum area of 0.75x1.5m to accommodate 3 wheeled bin containers and box
	Grass to front gardens and open space
	Block paving to shared surfaces
	Electric car charging points
	Location of permanent Schwegler Sparrow Terrace 1SP bird box
	Location of permanent Schwegler Swift Box #18 bird box
	Location of permanent Schwegler 1FR bat tubes
All unhatched roads to be tarmac. All main roads to be adopted	

W	30.01.18	Plots 8&9 moved west away from site boundary	OS	CR
V	25.01.18	Plot 7 moved forward & garage attached	OS	CR
U	12.01.18	House type blocks updated inc bay windows	OS	CR
T	30.11.17	Site plan revised to revised house type blocks from Oct 17	AH	OS
S	31.05.17	Boundary adj plot 22 amended	CR	GE
R	31.05.17	Cycle path extended	CR	GE
Q	31.05.17	Cycle path extended	CR	GE
P	31.05.17	Private drive and cycleway amended	CR	GE
N	08.03.17	Highway revised	CR	GE
M	08.03.17	Highway revised	CR	GE
L	14.02.17	Bird and bat boxes shown	CR	GE
K	16.01.17	2m wide footpath removed	YA	CR
J	16.01.17	Shared surface amended & new 2m wide footpath added to public open space	YA	CR
H	13.12.16	Footpath link amended to south east, shared surface turning head revised, plots 4 & 5 moved	CR	GE
G	13.12.16	Shared surface amended, plots 4-7 changed	CR	GE
F	08.12.16	Footpath links added to north west and south east corners.	rsq	GE
E	03.11.16	Plot 13 amended, shared surface amended	CR	GE
D	02.11.16	Front parking separated	CR	GE
C	14.10.16	Topo information updated. Sewer position & easement amended. Plots 8-17 moved south 2.4m. Plots 18-24 moved South 1.9m. Road amended to suit. Parking updated.	WOC	CR
B	11.10.16	Updated to suit new topographical survey	CR	GE
A	22.07.16	Electric car charging points	PJN	CR
Rev	Date	Description	Drawn	Checked

Project

Hightown Road, Cleckheaton

Drawing

Proposed Site Layout

Client

Stonebridge Homes

BIM Suitability Description

SUITABLE FOR INFORMATION

BIM Suitability Code

S2

Status

Planning

2 Riverside Way
Whitehall Waterfront

175-185 Grays Inn Rd
Bloomsbury

Date

05.07.16

LEEDS ☒

LONDON ☐

Drawn

PJN

LS1 4EH
1 0113 819 8041

WC1X 8UE
1 020 781 20677

Checked

CR

e info@edwardarchitecture.co.uk

e info@edwardarchitecture.co.uk

Scale (A2)

1:500

Project

0565

Originator

EA

Discipline

A

Drawing No

0002

Rev

W

edward
architecture