

DESIGN STATEMENT

The Paddock , 5 Near Bank, Shelley, HD8 8LS.

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Introduction

The proposal respects the conclusion of a Pre-Application enquiry reference 2017/20103 which stated that Option 2, a side extension with an integral garage *“could be seen as an appropriate addition to the dwelling house within the Green Belt. However, the garage should be reduced in height if a planning application was to be submitted”*. The garage has now been reduced to single storey and aligns with the roof height of the existing porch. The proposed extension is smaller than the footprint allowed under Permitted Development. The rights afforded by permitted development can be seen in the image below, which highlights a side extension and also an outbuilding that falls well within the limits of the permitted development rights of the property.

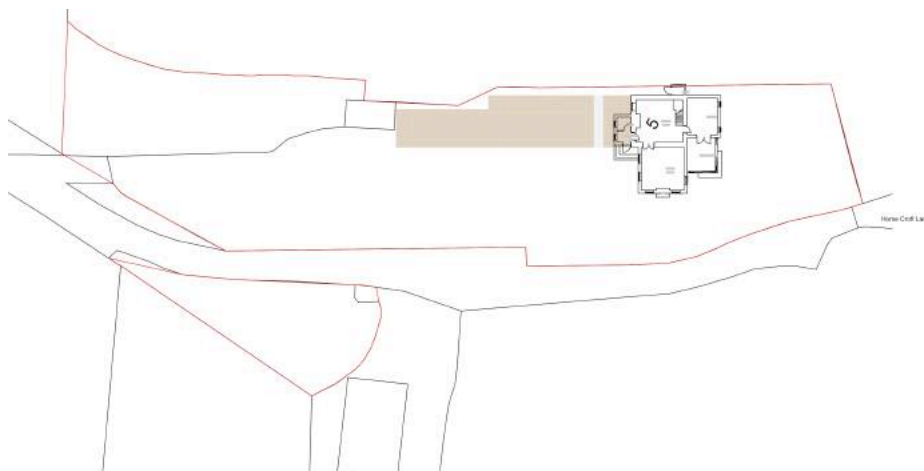


Fig.1 Site plan indicating potential permitted development rights

This could comprise a large separate garage built in close proximity to a 4.5m wide side extension (confirmed in the Pre-application for Option 1 *“considered to be permitted under Schedule 2, Part 1, Class A”*.) The image above highlights the large massing that could be achieved under permitted development rights, and therefore this also shows the much reduced and sympathetic scheme that we propose. The scale of the proposed extension is further reduced by the staggered elevation and careful design of building materials which visually break up the elevation yet match the existing natural materials on the dwelling house. Furthermore, much of the extension is well screened by a combination of walls and landform, as it is set 2m lower than the adjacent farmland. A dense shelterbelt and boundary vegetation further restricts the visual impact, particularly the roof line. This is highlighted on the elevation by way of the grey fill and can also be seen in ‘Fig 4’.

It is noted that the landowner of the adjacent farmland is supportive of the proposed extension.

Location and Historic Context

The property is located on the site of a former farming hamlet known as 'Paddock', which contained a number of relatively large buildings and dwellings. It was situated on Shelley Bank to the south of the village of Shelley. The house, currently named 'The Paddock' and a small open-ended shed are the only remaining buildings on the site which forms a narrow secluded plot of land terraced into the hillside and extending to approximately half an acre. The property is accessed from Near Bank road via a private track. The principle elevation of the house faces south across a partially industrial landscape at Brook Mill, to the predominantly rural valley side beyond.



Fig.2 : Aerial Image of the site

Description of proposals

Refer to attached plans under separate cover as follows:

102-01	Existing Plans
102-02	Existing Elevations
102-03	Proposed Elevations
102-04	Proposed Plans

102-05	Sketch Images
102-06	Site Plans 1:200
102-07	Location Plan 1:1250

The proposed single storey extension would be located on an extensive gravel parking area to the west of the existing house, 2m below the rising farmland to the north. The glazed link provides access to the integral garage and utility/boot room and would be at the same floor level as the existing ground floor of the house and wc, stepping down to the garage block at the rear. This link would also act as a small study area and provides for disabled and pushchair access to the main house via an external rear door to a ramp.

In terms of the overall built form, the existing porch becomes part of the extension which would not appear unbalanced as it is single storey and the main house remains the dominant element. The proposal would be constructed in the same materials as the existing dwelling house, which comprises natural stone, cream render, timber and glass. The design reflects elements of the existing building, yet is low key and sympathetic in structure.

Disabled access to the main house would be provided via a ramp to the rear of the extension leading to a door in the glazed study/link. The existing steps would be remodelled to permit easier access for all.

The house would be more appealing to people if it has an integral garage, and is therefore more sustainable. The use of solar panels on the south facing section of the roof also raises the level of sustainability.

Topography and Landscape Context and Effects

The former built area of Paddock lies at around the 190m contour and is terraced into the south facing valley side of Shepley Dike. The land west of the house is approximately 2m lower than the farmland to the north and is retained by a 2m high dry stone wall or a vegetated bank and 1m high retaining wall as shown in 'Fig. 3'. The extensive gravel forecourt west of the house slopes gently southwards and flattens out adjacent to the north retaining wall as shown below. The landform rises by 1m across a low hillock along the driveway, giving the impression that the house is located in a secluded dip.



Fig.3 : West elevation and location of proposal

The site is bounded by a combination of stone walls, hedgerows, trees and garden vegetation. A linear shelterbelt of trees and evergreen laurel along most of the south boundary contributes to the sense of containment and seclusion.

Beyond the site, the land rises steeply to the north towards the edge of Shelley village. The slope to the south towards Shepley Dike is more gentle. The location is semi-rural and the property is predominantly bordered by farmland grazed by cattle. The short northwest boundary abuts a chicken run at No 3 Near Bank. A small part of the west boundary comprises the access track which is also a public footpath.

Beyond the property, close to the south west boundary there is prefabricated type building used as a workshop.

The wider landscape character forms part of LCA E6 Fenay Beck Valley Rural Fringes described in Kirklees District Landscape Character Assessment and displays a few of its characteristics, particularly in respect of settlement and road pattern. Linear woodland and scrub in the valley bottom links with field boundary vegetation and woodland on the north facing valley side to create the impression of a well wooded landscape as shown in the image on the following page.



Fig.4 : View of 'The Paddock' and landscape setting from Near Bank

The village fringe landscape, though mainly pastoral is typical of the South Pennine fringe having been disturbed over the years by a combination of quarrying, mining and other land uses such as a former glue works, now a horse cemetery and a number of former mills. The property directly overlooks the substantial complex of mixed industrial buildings and land uses at Brook Mill in the valley bottom.

The localised effect of the partially screened low key proposal on the overall character of the landscape would be insignificant. The linked form of the extension reflects the characteristics of the past settlement on the site and the majority of older properties in Shelley including nearby Manor House to the northeast of The Paddock with its complex of linked buildings. The proposed building mass is naturally mitigated by the change in ground level and is perceived in the context of the substantial industrial complex at Brook Mill and the large scale terraced houses along Near Bank to the north.

At a local scale, the extension sits well within the existing gravel area. There is a sense of space around the building as a large part of the gravelled forecourt is retained for access and parking. The building is set well back from the existing frontage, 2m below the retaining wall and rising landform to the north.

The effects on vegetation would also be minimal. The proposal requires the removal of a small area of ornamental garden shrubs and hard pruning of a small hawthorn which is part of a group of hawthorn trees on the north boundary. The main shelterbelt on the south boundary would be retained.

Visual Context and Effects

Much of the site is enclosed by a combination of landform, walls, trees, hedges and evergreen shrubs. The existing house is relatively secluded and where visible forms an insignificant component in the generally wide ranging and expansive views. To the north, the land rises steeply across farmland towards a few residential properties on the edge of Shelley, some of which have panoramic views across the valley. The majority of houses are orientated to the southwest, away from the proposal. In views from Near Bank and a row of terraced houses on the edge of the village, the lower half of the extension would be concealed because the site is terraced into the hillside at a lower level. The extension would appear no higher than the existing porch shown in the previous images and would appear as a minor and insignificant component in the panorama. The existing view of the field south of the proposed extension would remain largely uninterrupted and the roof line of the extension would be softened and partly screened by boundary vegetation and hawthorn trees. As a result of the lower roofline and screening effect of the landform, the extension would be subservient in appearance to the main house and absorbed by the backdrop shelterbelt to the point where it would be barely noticeable and would blend into the wider view. Furthermore, it would be viewed against a backdrop of the industrial complex at Brook Mill.

The extension site is surrounded by farmland. The closest residential property is semi-detached lying approximately 55m to the northwest of the proposal, however it is orientated away from the proposal. The extension would be largely screened and barely perceptible due to intervening landform, walls and garden outbuildings. It is therefore judged that the proposal would not adversely affect the visual amenity of nearby residents.

In the view from the public footpath to the south, the existing workshop just beyond the site boundary is a prominent element and becomes more dominant as the footpath climbs towards it. The view is wide ranging and does not focus on The Paddock. The proposed extension would follow the alignment and orientation of the majority of buildings on the upper section of Near Bank and would be partially screened by boundary trees and evergreen laurels. The proposal would be low key and subservient to the main house due to the lower ground level of the site, single storey form and sympathetic use of materials. The overall building would blend with the backdrop block of large scale 3 storey terraced houses on Near Bank which would remain a skyline feature visually and physically separated from the proposal by the intervening field and vegetation.



Fig.5 : View north towards Shelley from public footpath south of property.

The image below (*'Fig.6'*) shows the glimpsed view along the private drive to The Paddock from the public footpath along the farm track on the west boundary. The house is located in a dip and partially concealed by the intervening hillock and evergreens in the south boundary shelterbelt.



Fig. 6 : Glimpsed view from public footpath

The proposals would be foreshortened in the glimpsed view, therefore the overall appearance would be similar to the existing view notwithstanding potential concealment by any future gate. The use of timber doors on the garage would blend with the tracery of branches on the well vegetated boundaries. Further north along the footpath a wall topped by a dense semi-evergreen hedge encloses the view east from the path and conceals the property.

The view travelling north along Near Bank from Brook Mill is restricted by landform, buildings and walls. *'Fig.7'* shows that the proposal would be concealed by layers of dense vegetation combined with the foreground workshop. The edge of Shelley village would remain the dominant feature in the view.



Fig.7 : Glimpsed view northeast from Near Bank climbing north from Brook Mill.

Heritage Statement

Description

The proposed application is for a single storey side extension, incorporating a garage, utility room and associated link.

Significance of Heritage Asset

There are no archaeological, architectural, artistic or historic features to the site or its surroundings that could be considered a heritage asset.

Setting of the site as a Heritage Asset

The settings and surroundings of the site are that of a semi-rural nature with minimal buildings within the immediate setting. Therefore the proposed extension is not located within a Heritage Asset site.

Impact of the proposal

The nature of the proposal and its surrounding suggests that there will be no impact on the site or its surroundings in terms of heritage assets.

Assessment Considerations

As there are no archaeological, architectural, artistic or historic features to the site or its surroundings, it is felt there is no need for any further detailed or expert reports.

Planning Considerations and Conclusion

The site lies within the Green Belt, but plays a minimal role in the Green Belt function as it is small, relatively secluded and contained and partly visually enclosed by vegetation. The proposed extension is situated on land which is 2m lower than much of the surrounding land, and is largely screened by a combination of walls, landform and vegetation. Parts of the proposal could be seen in the middle distance from some properties along a short stretch of Near Bank, however it is low key and sympathetically designed and would form a minor, insignificant component in the expansive view across the industrial complex in the valley bottom to the hills beyond.

The Pre-Application enquiry noted that a single storey side extension and outbuilding can be built in close proximity to one another west of the dwelling house, as shown in the previous image highlighting permitted development. It is therefore considered that buildings of this footprint and scale would in principle be considered appropriate development in the Green Belt. The Pre-application enquiry concluded that Option 2, which combined the garage/outbuilding and 4.5m extension could be seen as an appropriate addition to the dwelling house within the Green Belt. However, the garage should be reduced in height.

As a result of the Pre-application conclusions, the overall extension has been reduced in height to single storey.

In respect of the National Planning Policy Framework, this assessment demonstrates that the single storey extension proposal would not harm the openness, character or visual amenity of the Green Belt. The host building would remain the dominant element, both in terms of scale and overall appearance. The proposal is sensitive to the existing landscape context on the edge of Shelley and the historic context of the site which previously contained a much larger mass of linked buildings. It is considered that the proposed extension would not be disproportionate to the dwelling house as it is substantially lower, remains well behind the main south facing elevation and reflects the character and building materials of the original house yet is

subservient to it. The glass windows in the study/link section also afford some visual permeability. In design terms, the effect of a narrow gap between what would be a permitted separate building, and a new extension would be awkward and therefore less attractive than a simple single low level extension.

The impact of a single 'joined' extension has been demonstrated to be no greater than that of a permitted separate outbuilding built in close proximity to a smaller extension and in design terms would be preferable and more sustainable. The effect of the proposal on the setting and visual amenity of the public right of way would be insignificant.

The above landscape and visual appraisal demonstrates that the proposal would be compliant with The National Planning Policy Framework and saved UDP policies BE1, BE2 and BE13 in terms of design, form, scale and character.