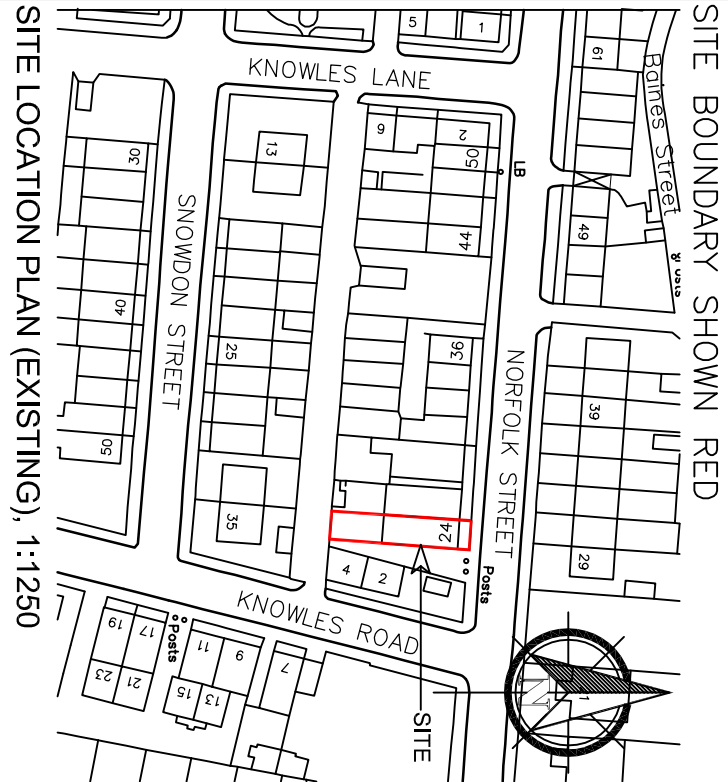
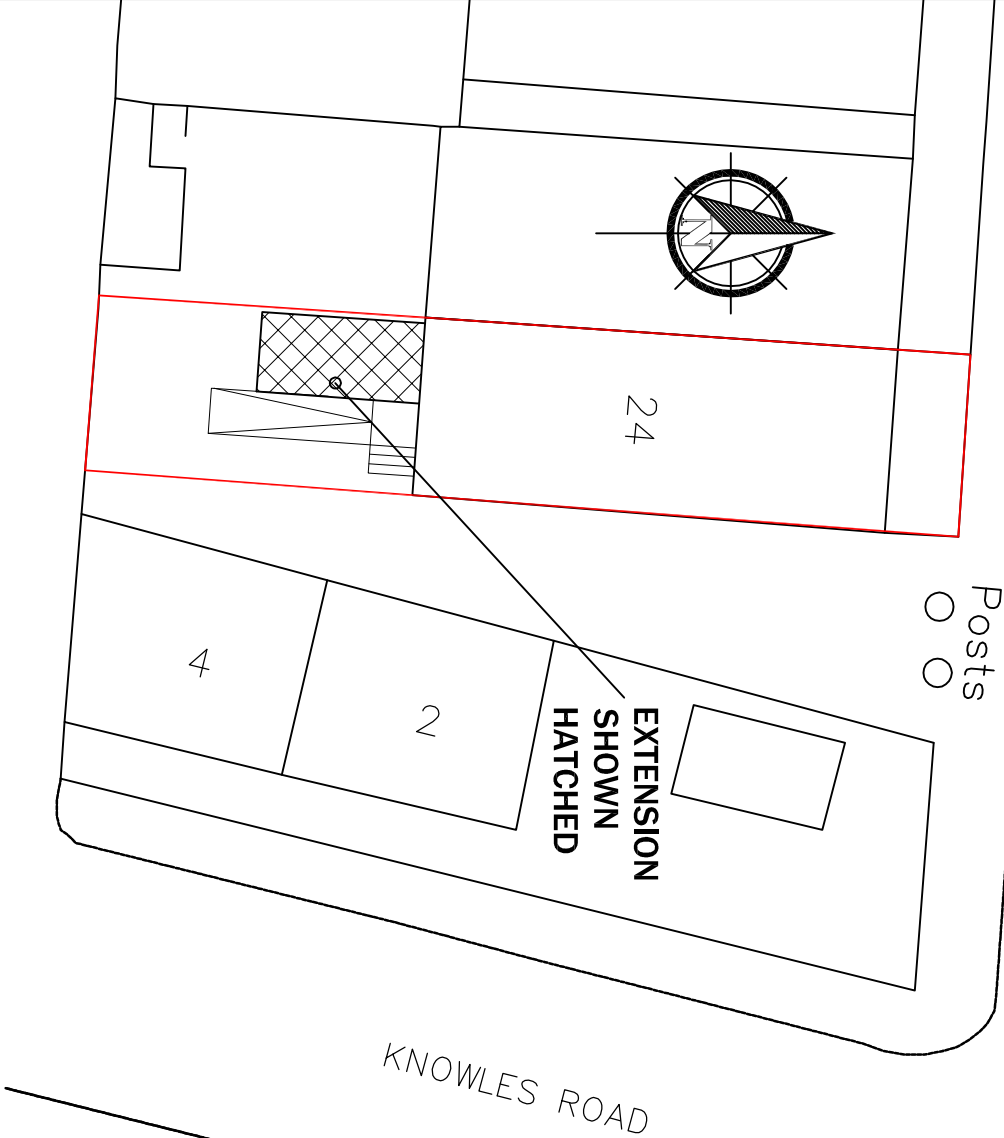
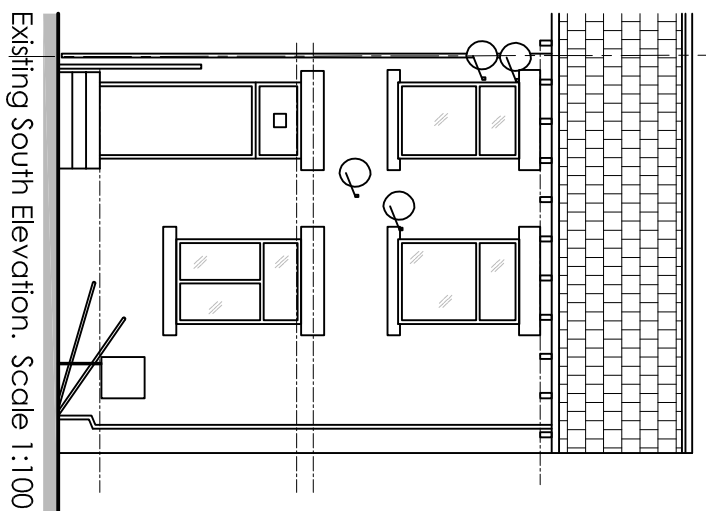




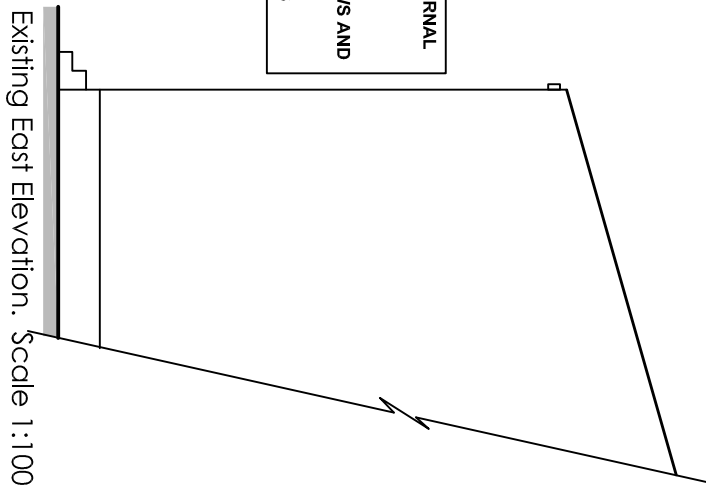
- NOTES:**
- IT IS THE CLIENT'S RESPONSIBILITY THAT BOUNDARY LINES SHOWN ON THIS DRAWING ARE STRICTLY AS IN CLIENT'S LEGAL TITLE DEEDS AND THAT THERE ARE NO UNLAWFUL ENCROACHMENTS OR UNLAWFUL EASEMENTS AFFECTING THE SITE OR ADJOINING PROPERTIES BY PROPOSED EXTENSION WORK.
 - THIS DRAWING IS FOR PLANNING PERMISSION ONLY. ALL PLANNING PERMISSIONS ARE SUBJECT TO THE RELEVANT BUILDING REGULATIONS AND TO THE APPROPRIATE BRITISH STANDARD AND TO LOCAL COUNCIL INSPECTORS' SATISFACTION.
 - LOCAL AUTHORITY OF WORK ON SITE.
 - FOR GENERAL CONSTRUCTION DETAILS REFER TO APPROVED BUILDING REGULATION DRAWINGS.
 - A DESIGN LTD CANNOT BE RESPONSIBLE FOR ANY DAMAGE TO THE ADDRESS BELOW OR ANY ADJOINING PROPERTY HOW SO EVER CAUSED.
 - THE CONTRACTOR OWNER IS RESPONSIBLE FOR FINDING LOCATION OF ALL SERVICES & GAINING ALL NECESSARY APPROVAL FROM STATUTORY BODIES FOR REDIRECTION & NEW CONNECTIONS.**
 - LOCAL AUTHORITY DECISION NOTICE CONDITIONS.
 - LOCAL AUTHORITY DECISION NOTICE CONDITIONS (PLANNING BUILDING CONTROL).
 - THE OWNER IS TO OBTAIN APPROPRIATE AGREEMENT UNDER THE TERMS OF THE PARTY WALL ACT LATEST EDITION AND TO BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING FOUNDATIONS ARE SUBJECT TO LOAD FROM EXTENSION.
 - ALL DIMENSIONS MUST BE CHECKED ON SITE BEFORE ANY WORK COMMENCES BY CONTRACTOR AND DISCREPANCIES REPORTED IMMEDIATELY TO DEVELOPER.
 - EXISTING DRAINPIPES TO BE BRIDGED OVER IF PASSING UNDER NEW WALLS.
 - NEW FOUNDATION WALLS SHOULD NOT TRESPASS ONTO ADJOINING PROPERTY.



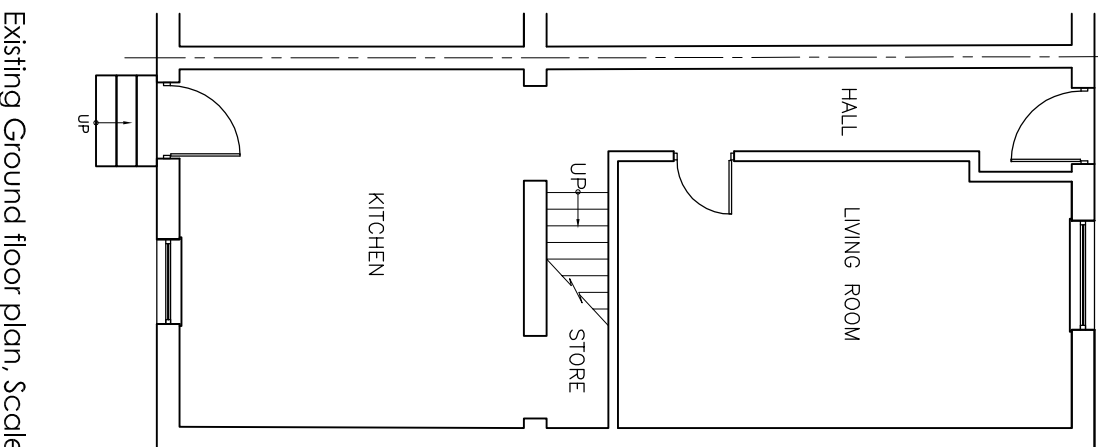
BLOCK PLAN (PROPOSED), 1:200



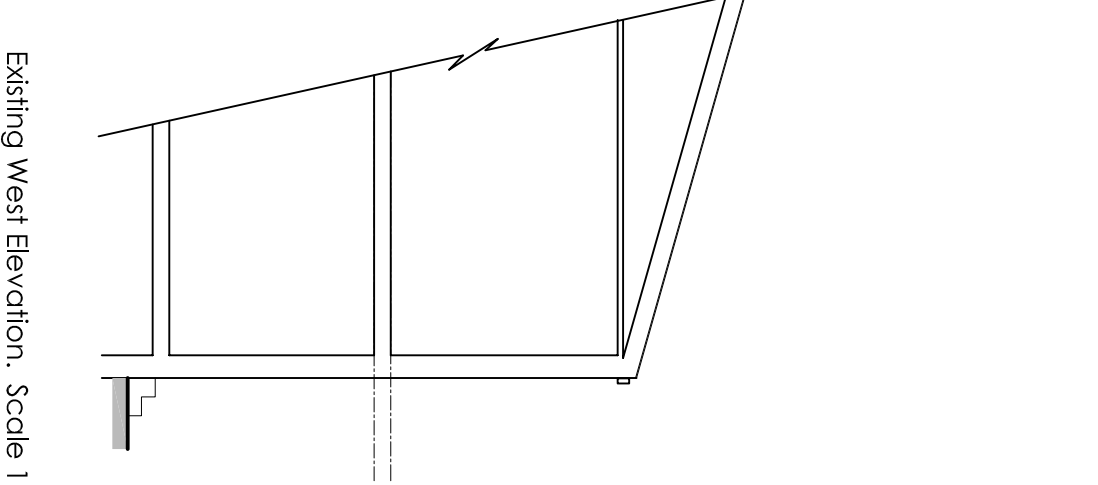
Existing South Elevation, Scale 1:100



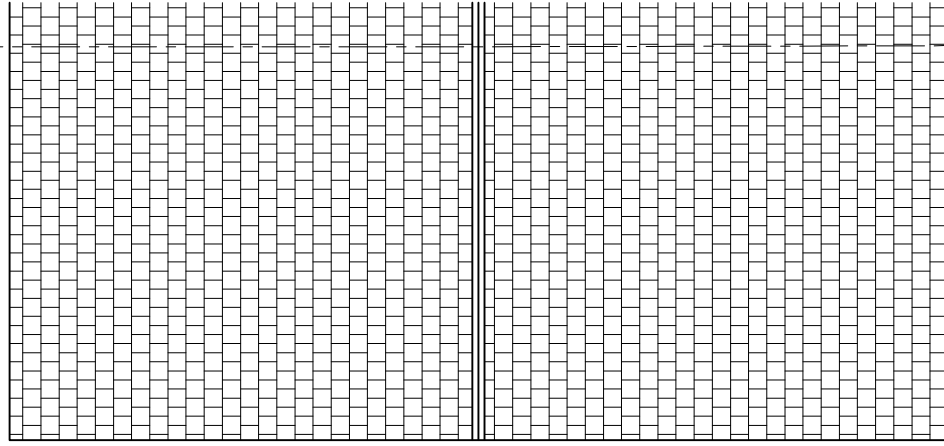
Existing East Elevation, Scale 1:100



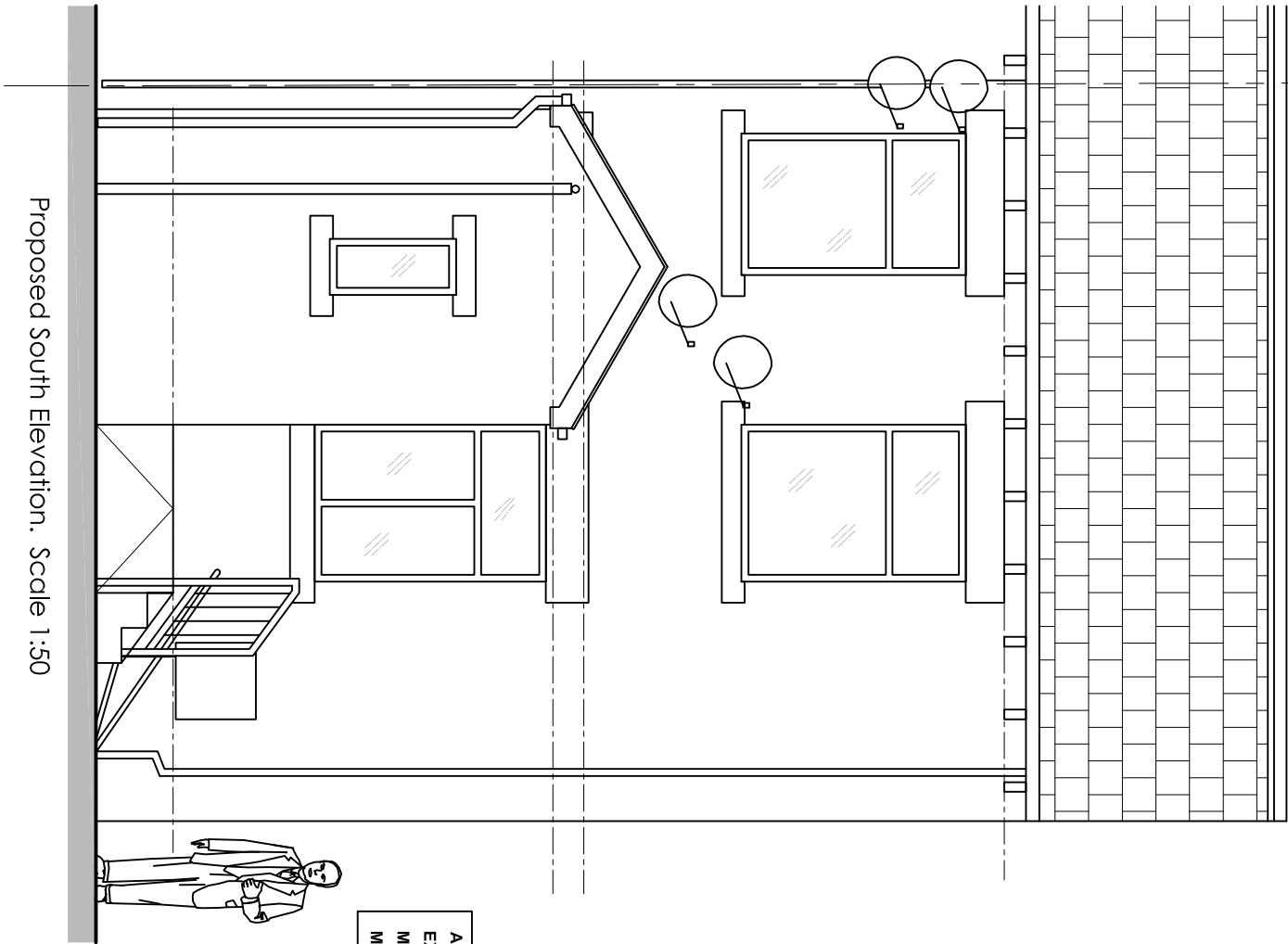
Existing Ground floor plan, Scale 1:100



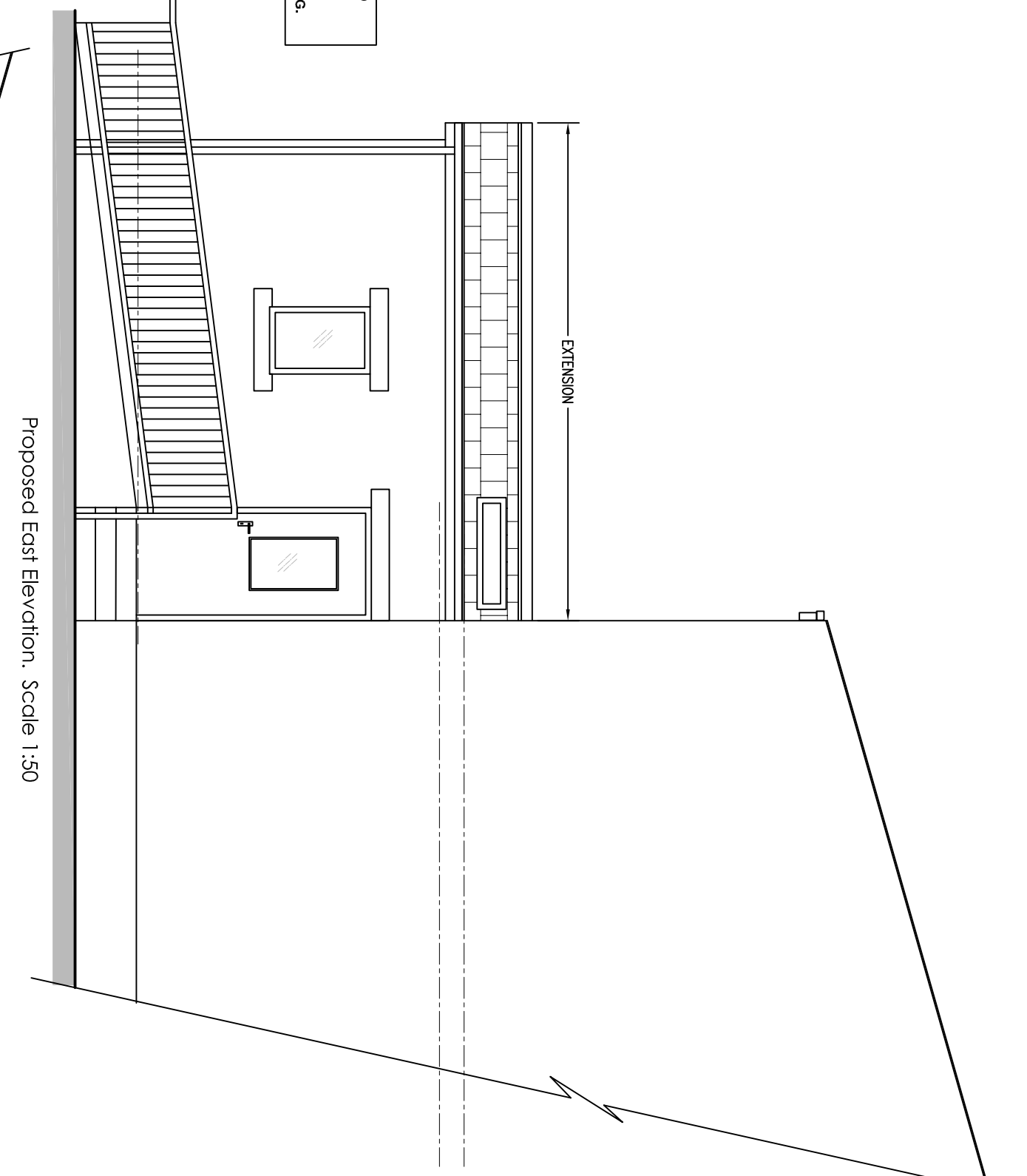
Existing West Elevation, Scale 1:100



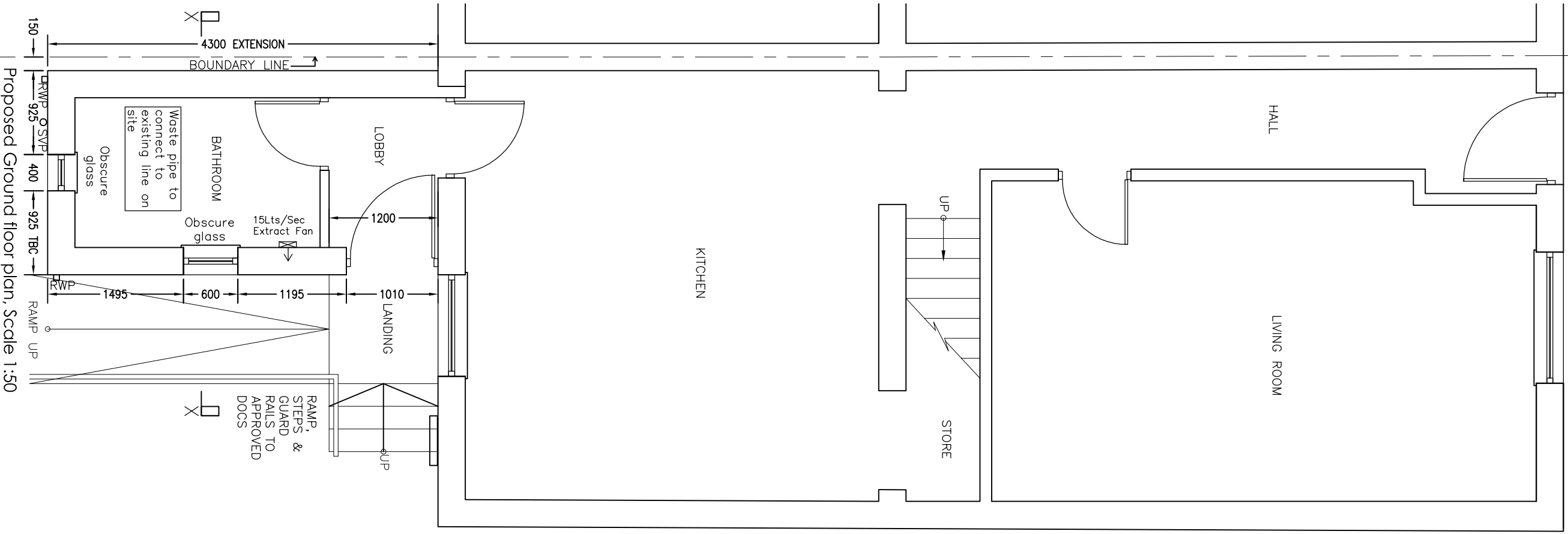
Proposed roof plan, Scale 1:300



Proposed South Elevation, Scale 1:50



Proposed East Elevation, Scale 1:50



Proposed Ground floor plan, Scale 1:50

- Section X-X, Scale 1:50**
- * Roof Construction (GOLD ROOF): Roofing tiles on timber battens on breathable felt covering on timber trusses at 600 centers (per Approved Documents) incorporating 300mm quilt insulation between & over bottom boom, oil to achieve minimum 'U' value as stipulated in the current edition of building regulations --0.16-0.18 W/m²K. **Roof Angle minimum 23 degrees**
 - * All Roofs to be cross vented at all Eaves. Air flow to be over insulation
 - * 100 x 50mm Timber wall plate at all eaves
 - * 30 x 5 Galvanised MS Straps @ all eaves (100 x 1000 legs) @ 1.20 max. c/c, screwed & plugged to inner lead block work. Minimum 4 No. screws with at least one screw 150mm above end of strip.
 - * 12.5mm Plasterboard ceiling with skim.
 - * All new Double glazed UPVC framed window units to be 4/16/4 mm (or similar) with argon filled soft Low E coating to inner pane. To be installed as per manufacturer's recommendations, sealed to maintain weathertightness. **Target U-value 1.6 W/m²K**
 - * New Wall Construction--generally consisting of outer-leaf 100 Stone wall (matching existing) laid on bed, 100mm cavity port filled with 50mm GFC Free Ecotherm Cavity Insulation Board, (or similar approved) with inner-leaf 100mm 7kN solid concrete blockwork (Celcon HI Seven Block), with internal finish to dry-lined or plastered (& tiled), oil to achieve minimum 'U'-value stipulated in the current building regulation--**0.28W/m²K**
 - * Concrete Floor construction: 10mm floor finish on 50mm sand/cement screed, on GFC free rigid insulation (100mm F70 Kingspan or approved other), on 150mm thick concrete slab on 1200 gauge visqueen DPM with taped joints oil to achieve targeted U-value of =0.22W/m²K.
 - * Troy dpc on internal cavity wall
 - * bonded with dpm from below floor slab & placed under weep hole on external leaf wall oil around new extension wall. Weephole to be at 300mm C/C
 - * DPC @ Minimum 150mm above all new extension external ground level
 - * Lean m/c concrete
 - * 600mm wide x 250mm deep Strip Foundation to Local Authority Building Controller's inspection & satisfaction. Foundation depth to match existing (minimum 600mm)

Builder/Contractor should not scale from the drawing-should use indicated dimensions only. Builder/Contractor must check all dimensions on site before work. Any discrepancy found to be reported to planning department. No part of this drawing to be reproduced in any form without the written permission of the Architect.

1) GENERAL NOTES

- All works after Planning Permission is approved are to be in accordance with BUILDING REGULATIONS 2010, current editions and amendments and to the satisfaction of the Local Authority Building Inspector.

2) APPROVED DOCUMENT A. STRUCTURE

- All Structural Details and Calculations to be submitted for approval by the Local Authority at Building Regulations Stage.
- All underground pipework passing through a masonry wall is to have a suitable inlet or arch constructed over the pipe to provide a minimum of 50mm clearance above the pipe and a minimum of 50mm clearance below the pipe. The pipe shall be supported by a suitable wall and the pipe shall be bedded.
- New roof drainage designed to cater for a flow capacity with a downfall intensity of 75mm per hour, and connected into existing system to Local Authority approval.
- All masonry to be in accordance with BS 5628 part 3, 1983. All masonry supports & stainless steel ties to Local Authority approval.
- APPROVED DOCUMENT B. FIRE SAFETY.**
- All cavities are to be closed with Lanotherm / Thermoblock closers.
- Means of escape is to be in accordance with current building regulations / Local Authority approval.

APPROVED DOCUMENT C. SITE PREPARATION AND RESISTANCE TO MOISTURE

- All placed concrete in the external walls are to be impervious to moisture.

APPROVED DOCUMENT F. VENTILATION

- Any new below ground drainage to be whiffed clay with flexible joints, ie. rubber joints, or similar approved, which is to be sealed to the existing drainage.

APPROVED DOCUMENT G. HYGIENE

- Hot water to be provided by existing combination gas fired boiler (any new boiler to have a minimum rating of 86 percent class A or B).

APPROVED DOCUMENT H. DRAINAGE AND WASTE DISPOSAL

- All internal drainage to be vented at the head of the system with approved cage or perforated cover, which is to be sealed to the existing drainage. All waste pipes designed to suit number of connections. All waste pipes to be sealed to the existing drainage. All provided on all bends, ends of runs and changes of direction.
- Sanitary arrangement of extension bathroom to clients preference. Waste drain (SIP & RWP) to connect to existing drainage to be confirmed by Builder at Building Regulations stage.

APPROVED DOCUMENT J. HEAT PRODUCING APPLIANCES

- Any new masonry openings to have proprietary thermal closers to prevent any thermal bridging.

APPROVED DOCUMENT L. CONSERVATION OF FUEL AND POWER

APPROVED DOCUMENT N. CLEANING - SAFETY IN RELATION TO IMPACT, OPENING AND CLEANING

- New windows to achieve 20th floor area ventilation with one internally glazed with Low E glass as standard in a 4-20-4 build up, argon filled cavity, to achieve minimum U-value = 1.04/m²
- All glass to comply with BS5506, 1981 and BS 6252 800mm above floor level and doors and side panels 1,500mm high.

ALL ELECTRICAL DESIGN & WORK TO MEET THE REQUIREMENTS OF PART 17 BS 7671 ELECTRICAL SAFETY IN BUILDINGS AND PART 31 BS 6800 ELECTRICAL INSTALLATION AND TESTING TO DO SO (NICEIC).

ALL MECHANICAL DESIGN & WORKS BY SPECIALIST TO L.A. DESIGNER'S DESIGN.

INSPECTOR APPROVAL		