



Former Zion Chapel
Barnsley Road
Flockton, Wakefield
West Yorkshire
WF4 4DP

Design and Access/Heritage Statement - June 2017

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1.0 - Existing site

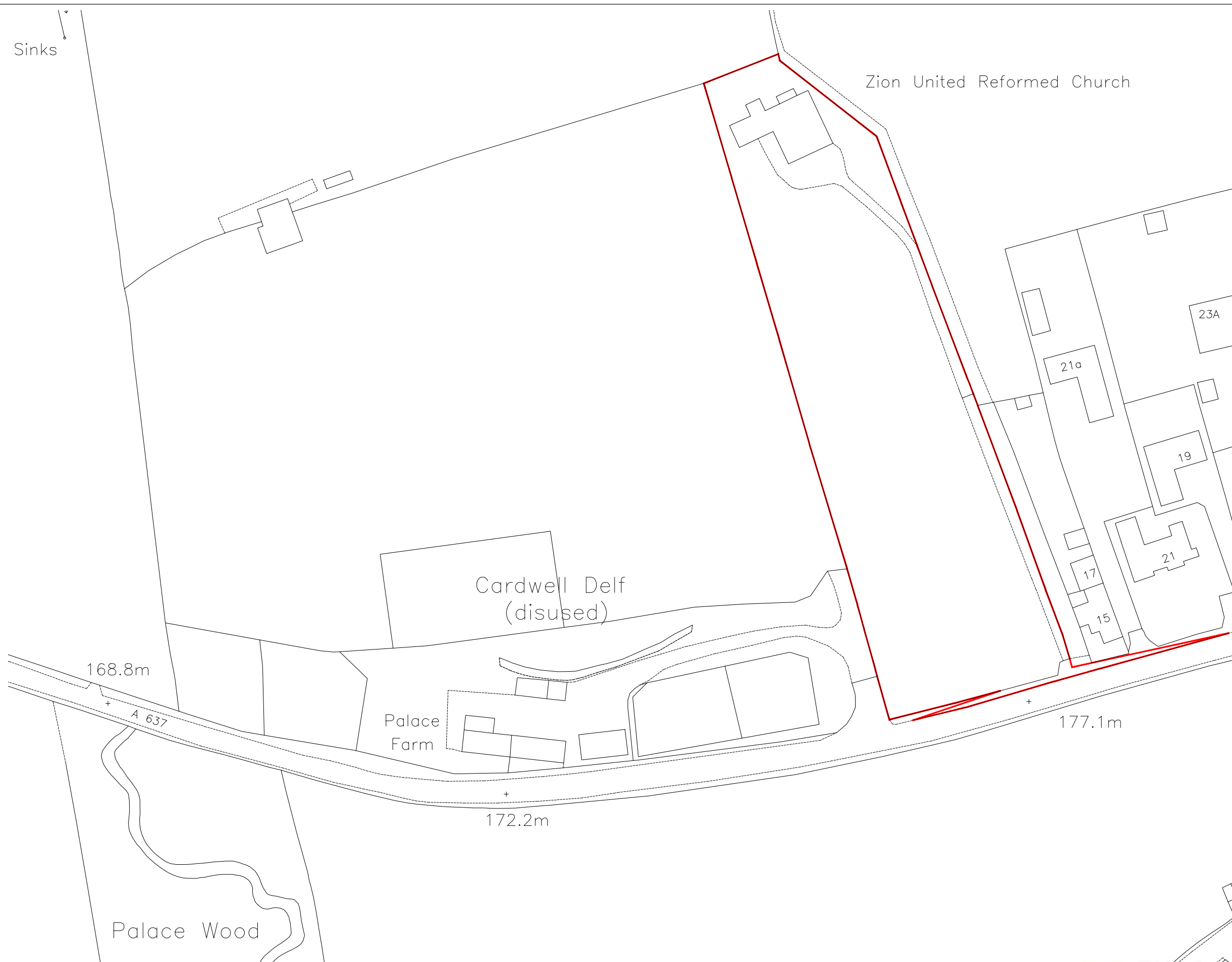


The site is located South West of the city centre of Wakefield near a residential area in the village of Flockton. The site was previously utilised as a burial ground and chapel. The area to the east of the site is residential, from the North and west side are open fields and from the South side is Barnsley road and fields beyond.

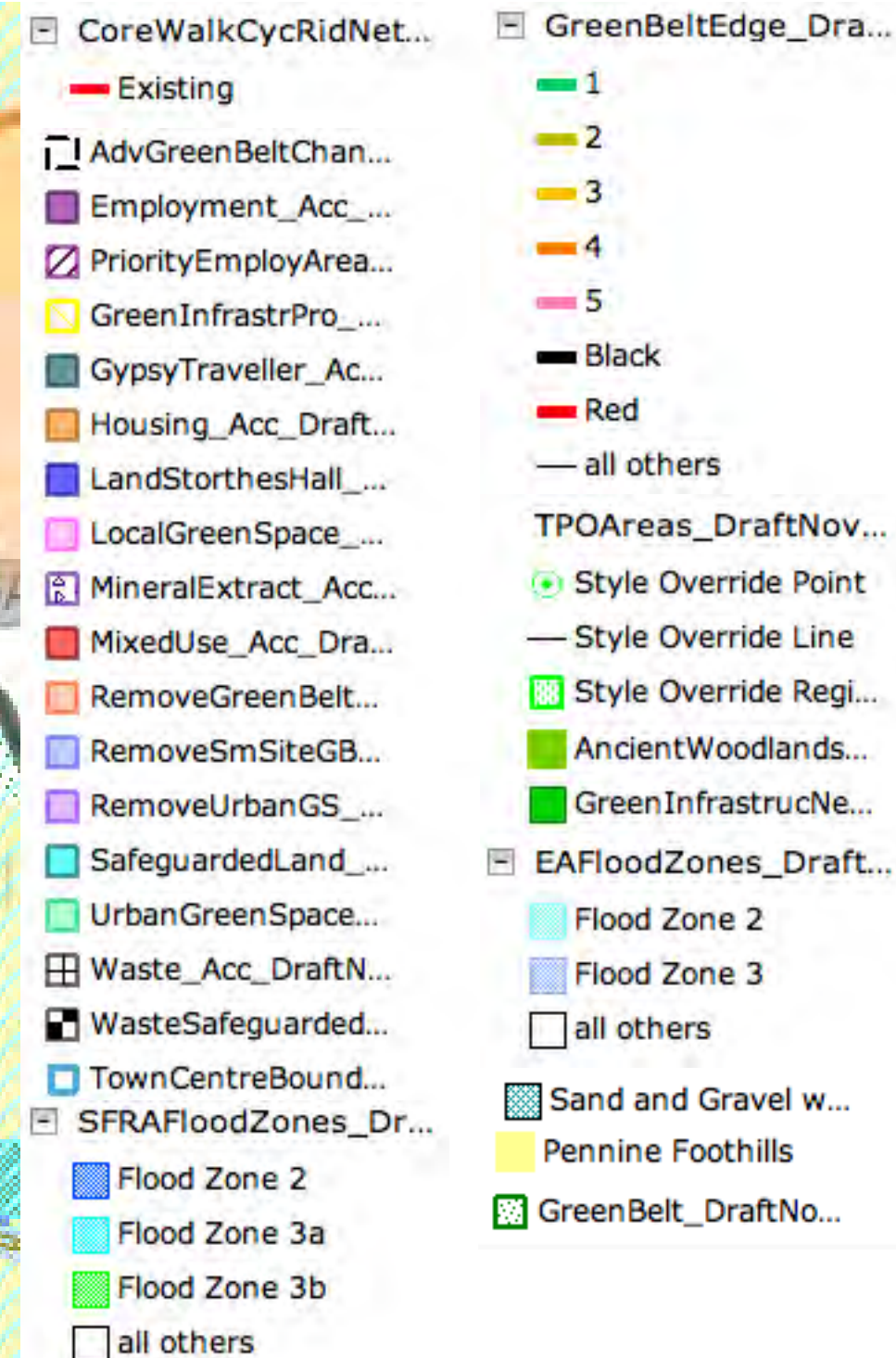
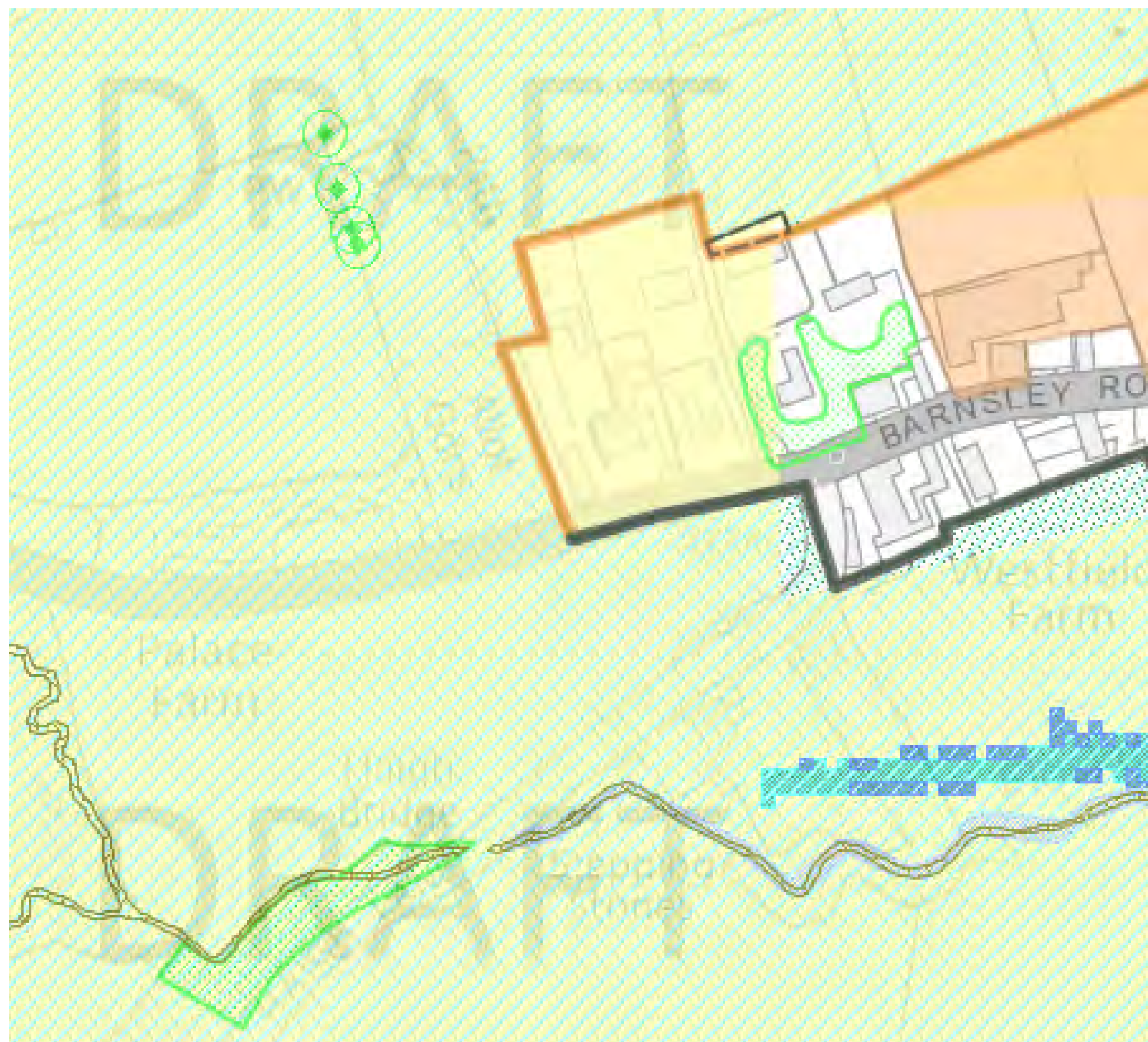


The Existing Site

The site is located in the Village of Flockton, 7.2 miles to the North of Dewsbury and 9 miles to the North West of the city of Wakefield. The site is bordered from the north and west by fields, to the East by the neighbouring properties and to the south by Barnsley road. The site has an established highway access which will be utilised within the proposals.



2.0 - Policy map information



Policy Assessment

Introduction

This section sets out the relevant planning policy against which the Proposed Development is to be assessed. Given the Kirklees Core Strategy has been withdrawn (October 2013) and the emerging Local Plan has yet to be adopted, the UDP remains the relevant Development Plan document. However, the UDP was adopted in 1999, and as such it is considered to be out of date and consequently the weight afforded to the UDP is limited.

The NPPF therefore provides the most up to date planning policy guidance. For completeness, the relevant NPPF guidance and UDP policies are set out below.

National Planning Policy Framework

The National Planning Policy Framework (“NPPF”) was published in March 2012 and replaces the majority of all previous national guidance. The introduction to the document confirms it should be a material consideration in the determination of planning applications.

The NPPF is clear there should be a presumption in favour of sustainable development where there is no conflict with the development plan.

At paragraph 14 the NPPF identifies that at the heart of the National Planning Policy Framework is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan making and decision taking.

Paragraph 14 of the NPPF also goes on to advise that in terms of decision making (i.e. determining planning applications) a presumption in favour of sustainable development means:

•“Approving development proposals that accord with the Development Plan without delay; and

• Where the Development Plan is absent, silent or relevant policies are out of date, granting permission unless:

• Any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this framework taken as a whole; or

• Specific policies in this framework indicate development should be restricted.”
The emphasis for decision making is therefore for the Local Authority to approve the development proposals without delay in accordance with paragraph 14 of the NPPF.

Core Principles

Section 17 of the NPPF identifies a set of 12 core land use planning principles which underpin both plan making and decision taking. Of these 12 principles the following are considered relevant (with assessment set out below each principle): -

• Always seek to secure a high quality design and a good standard of amenity for all existing and future occupants of land and buildings;

As set out in the submitted plans, Heritage Assessment and Design & Access Statement, the proposed conversion is considered to be a sensitive and high quality

scheme to bring the buildings back into use. Existing openings have been utilised with new openings kept to a minimum. As such the character and appearance of the building is maintained and enhanced.

Contribute to conserving and enhancing the natural environment and reducing pollution;

At present this listed buildings is vacant. The proposal will bring a redundant building back into use with the proposed curtilage kept to a minimum. Garden and parking / turning has been carefully considered so it is close to the existing buildings. As such the relationship between built form and surrounding landscape is maintained and enhanced.

Overall the proposal will bring enhancements to the natural environment of the site and its surrounds.

• Encourage the effective use of land by reusing land that has been previously developed (brownfield land), provided it is not of high environmental value;
The site comprises an existing church and is therefore considered to constitute previously developed land. The proposal will bring the building back into residential use.

• Conserve heritage assets in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of this and future generations;
The church is a Grade II listed building. The proposal will bring the site back into active use enhancing the character and appearance of this heritage asset. The submitted Heritage Assessment clearly sets out how the proposal will result in overall benefits to the listed building. This in turn has benefits in terms of the wider landscape, scenic beauty and quality of life of future generations.

• Actively manage patterns of growth to make the fullest possible use of public transport, walking and cycling and focus significant development in locations which are or can be made sustainable.

The site is on the edge of the village with easy access to local services and public transport.

Requiring Good Design

The NPPF at paragraph 56 sets out the government’s approach to design which advises that good design is a key aspect of sustainable development and is indivisible from good planning and should contribute positively to make places better for people. Paragraph 57 expands upon this and advises that it is important to plan positively for the achievement of high quality and inclusive design for all development, including individual buildings, public and private spaces and wider area development schemes.

The proposed conversion utilises existing openings and keeps new openings to a minimum thus retaining the character and appearance of the building. The submitted plans and Design & Access Statement clearly sets out how the proposal meets all of the objectives set out in the NPPF and represents high quality design.

Protecting Green Belt Land

Paragraphs 72-92 relate to Green Belts with Paragraph 80 setting out the five purposes of the Green Belt, namely:

• To check the unrestricted sprawl of large built-up areas;

• To prevent neighbouring towns merging into one another;
• To assist in safeguarding the countryside from encroachment;
• To preserve the setting and special character of historic towns; and
• To assist in urban regeneration, by encouraging the recycling of derelict and other urban land.

Paragraph 81 states that LPAs should plan positively to enhance the beneficial use of the Green Belt, such as looking for opportunities to provide access, provide opportunities for outdoor sport and recreation, to retain and enhance landscapes, visual amenity and biodiversity or to improve damaged or derelict land.

Paragraph 87 advises that inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances. Paragraphs 89 and 90 set out what is and is not considered to be inappropriate development in the Green Belt.

Para 89 states:

“A local planning authority should regard the construction of new buildings as inappropriate in Green Belt. Exceptions to this are;

• The extension or alteration of a building provided that it does not result in disproportionate additions over and above the size of the original building.”

Paragraph 90 of the NPPF confirms that the re-use of buildings is also an appropriate form of development in the Green Belt provided the buildings are of permanent and substantial construction.

Conserving and Enhancing the Historic Environment

With regards Heritage, paragraphs 128 to 137 set out guidance and policies on how to assess effects on heritage assets and the level of harm arising from a proposal. Further assessment on heritage and the effect of the conversion on the listed building is set out in the accompanying Heritage Statement section.

Under paragraph 128, Local Planning Authorities should require an applicant to describe the significance of any heritage assets affected including any contribution to their setting when determining planning applications. The paragraph goes on to advise that the level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As such the proposal is accompanied by a detailed Heritage Assessment assessing the significance of the Grade II listed building and the effects of the proposal.

Paragraph 131 states that in determining planning applications, LPAs should take account of the desirability of sustaining and enhancing the significance of a heritage asset and putting them to viable uses consistent with their conservation.

Paragraph 132 goes on to advise that when considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation.

Where less than substantial harm is identified, the NPPF advises at paragraph 134 that LPAs should weigh the public benefits of the proposal against the harm identified. The NPPG advises that the term ‘public benefits’ can include anything that delivers economic, social or environmental progress as described in the NPPF.

Para 137 of the NPPF refers to proposals within the setting of heritage assets and

Policy Assessment cont.....

indicates that LPAs should look for opportunities for new developments to enhance or better reveal their significance. Where proposals preserve those elements of the setting which make a positive contribution they should be treated favourably.

The church is Grade II listed. The submitted Heritage Assessment clearly assesses the significance of the building and advises any harm arising is less than substantial. Indeed, given the importance of bringing the building back into use, the proposal is considered to result in positive impacts.

The Development Plan - Kirklees Unitary Development Plan 1999 (Kirklees UDP)
The Kirklees UDP was formally adopted by the Council on the 1st March 1999. Although a review is presently being undertaken as part of the movement towards a new Local Plan, the existing UDP is the relevant development plan document to which all development proposals should be assessed against unless material considerations indicate otherwise. However, as stated at the start of this section, the weight afforded to the UDP is limited with greater weight afforded to guidance set out in the NPPF.

The Kirklees UDP sets out the Council's policies and proposals for the use and development of land and buildings. There are a number of policies within the UDP that are relevant to the Proposed Development. These saved policies are set out below.

Policies BE1 and BE2 seek to ensure that all development are of good quality design and in-keeping with their surroundings. Policy BE11 refers to building materials and seeks to encourage use of stone where such materials are predominant; within conservation areas and within town and local centres. Outside such areas construction materials should reflect those surrounding the site.

With regards development in the Green Belt, the most relevant UDP Policy was D8 (Conversion of existing buildings). This however is not a saved policy in the UDP with reference made to PPG2. PPG2 has been replaced by the NPPF. As such they are not considered to be any relevant and up to date green belt policies in the UDP and the application should be assessed in terms of the NPPF.

With regards conversion of listed buildings, Policy BE3 is relevant but, as with Policy D8 was not saved, making reference instead to PPG15. PPG15 has been replaced by the NPPF. As such they are not considered to be any relevant and up to date listed building policies in the UDP and the application should be assessed in terms of the NPPF.

Planning Assessment

Principle

The site sits wholly within the Green Belt. The main aim of the Green Belt is to prevent urban sprawl by keeping land permanently open. As such certain types of development are deemed inappropriate as it may harm the open character and function of the Green Belt.

Paragraph 90 of the NPPF confirms that the re-use of buildings is also an appropriate form of development in the Green Belt provided the buildings are of permanent and substantial construction.

The existing church is considered to be permanent and substantial and as such the principle of conversion should be accepted.

Matters of design are set out below and in the remainder of the DAS.

However, it is considered the proposed conversion is appropriate development and will enhance the character and appearance of this building and therefore result in visual benefits to the green belt in this location. Furthermore, the location and size of parking and garden areas has been carefully considered to minimise incursion of domestic curtilage into the Green Belt.

Overall it is considered the proposal complies with para 90 of the NPPF and as such the principle of conversion is acceptable.

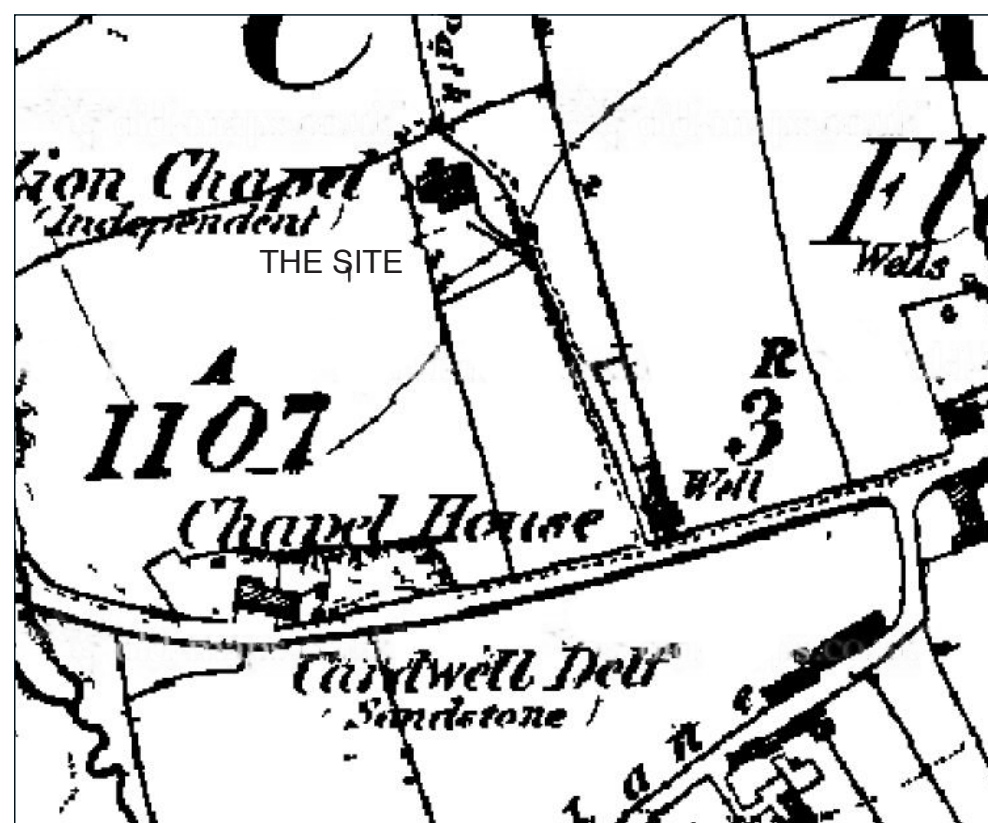
Design

Policies BE1 and BE2 seek to ensure development proposals are in keeping with their surroundings with Policy BE11 seeking to ensure appropriate use of materials. The Design and Access Statement and submitted plans, which accompanies this application, provides details on design of the scheme. That said the proposal is considered to comply with the relevant UDP policies and general NPPF guidance on design.

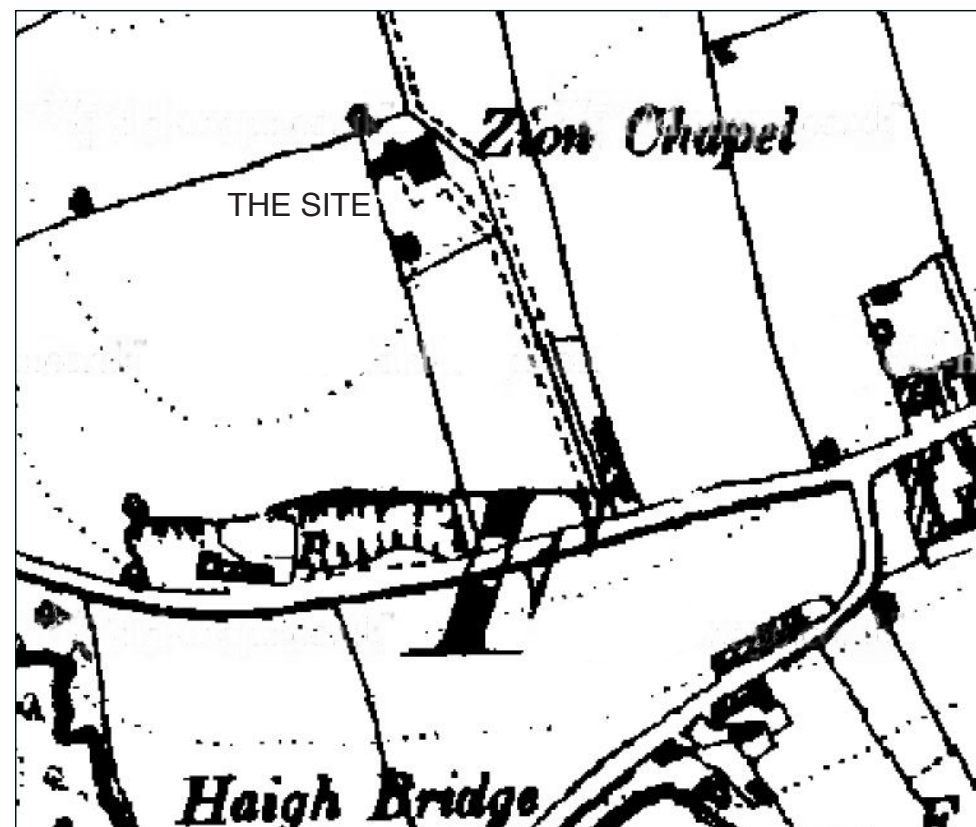
The proposed conversion is considered to be sympathetic to the character and appearance of the existing building and will bring the listed building back into active use. The resulting conversion would be sensitive to the church and ultimately enhances the visual amenity of the site and its surrounds.

Overall, the Proposed Development is therefore considered to comply with the design guidance set out in the NPPF and Kirklees UDP Policies BE1, BE2 and BE11.

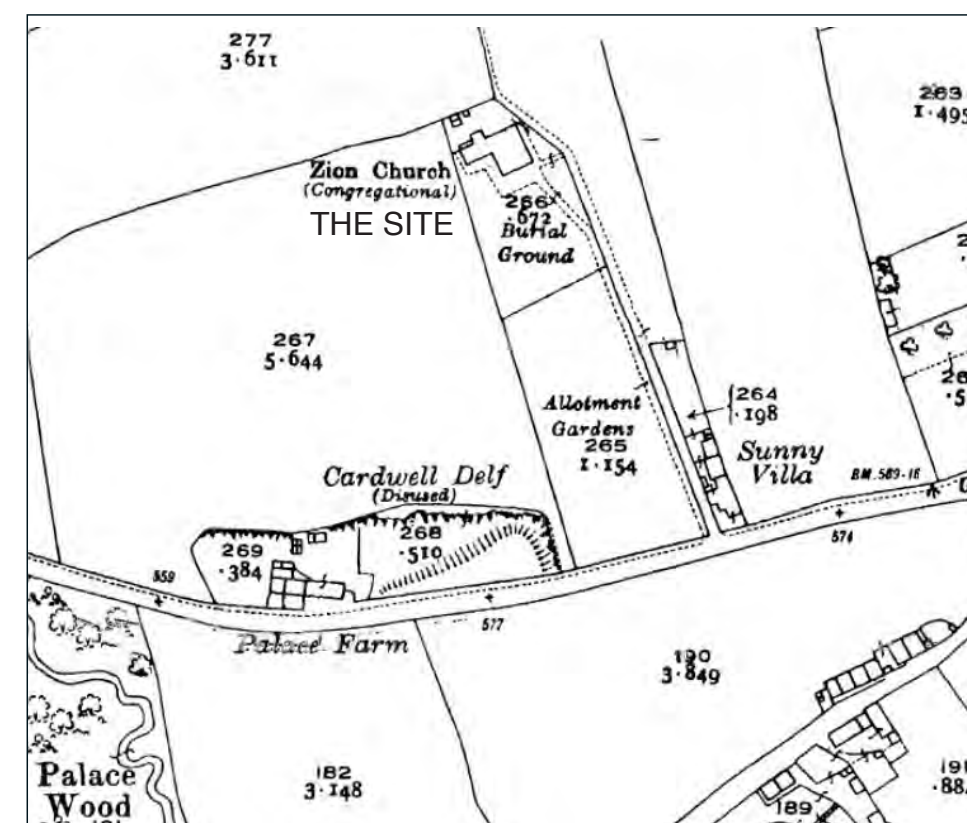
3.0 - Historical information



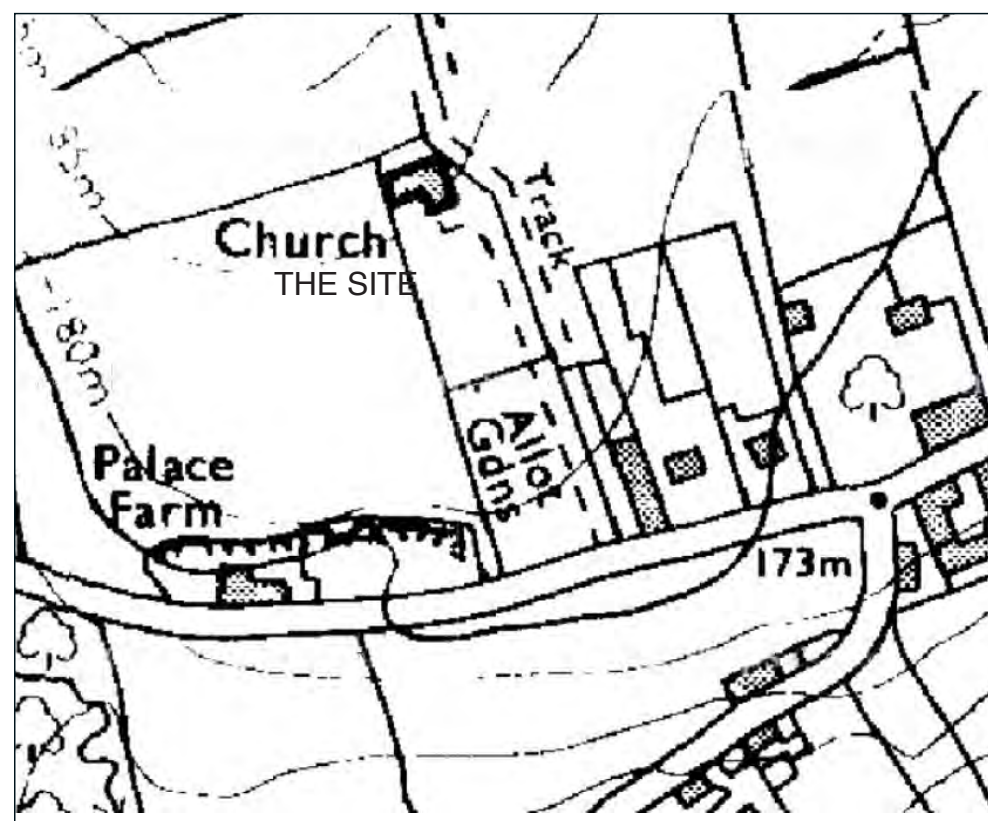
1854 OS map.



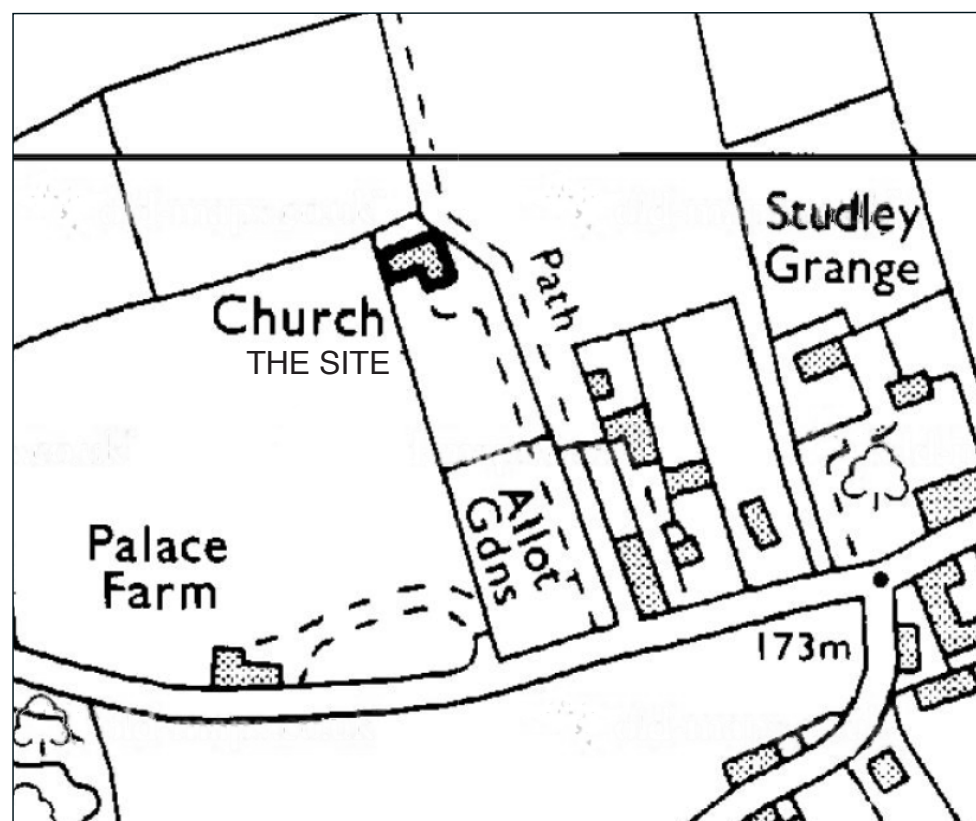
1894 OS map.



1932 OS map.



1973 OS map.



1989 OS map.

The site location is outside the historic centre of Flockton an area of post 1930 development. The OS maps illustrated date back to 1854. As can be seen on the historic OS maps the land has been undeveloped, forming a large plot of land with the neighbouring sites. The area begun its development in the early 1930

Heritage/design statement

The building is Grade II listed dating from 1802 and served as a chapel for the local community until it closed approximately five/six years ago. To the front of the chapel is burial ground containing a number of historic and more recent graves.

The main building is two storeys and has rendered walls, a stone slate roof with a gable pediment. A single storey wing sits to the left of the main building. Externally the building is of a simple form with simple architectural detailing which are mainly the stonework surrounding the windows and doors along with the gable pediment.

Internally the building has an open plan layout to the ground floor with a 3-sided gallery to the first floor supported on cast iron columns. Three later piers have been added to the right-hand side of the building presumably to stabilise the structure. The pews, pulpit and internal panelling are all still in place and are generally in a good state of repair. Various ancillary rooms are located off the main ground floor space including the single storey former Sunday School wing the side.

The proposal is to convert the chapel to a single residence whilst retaining and improving the access to the burial ground for visitors.

As part of the conversion to a residential property the works to the exterior of the building will be limited to repairs and repainting. The existing windows and doors will be retained and the internal layout is designed to utilise them so that externally the building can remain in its current form.

The internal layout will utilise the existing open plan layout to form a living/kitchen/ dining area with ancillary spaces located around the edge using the existing rooms and the addition of 2 new rooms. The iron columns and pulpit will be retained along with the timber panelling to the edge of the galleried area above. The existing staircases to the first floor will be retained as part of the proposal. At the first floor the existing galleried floor levels will be retained with new bedrooms and bathrooms formed within the space. Wherever possible the timber from the pews will be retained and/or re-used where possible within the building.

Overall the proposed conversion seeks to retain the main features relating to the buildings former use as a chapel whilst sympathetically adding the spaces required to enable the building to function in a residential capacity. We feel that this approach serves to secure the buildings long term viability whilst retaining the historical features with minimal interventions.



Name: ZION UNITED REFORMED CHURCH

This is an A4 sized map and should be printed full size at A4 with no page scaling set.

Heritage Category:	Listing
List Entry No :	1135385
Grade:	II

County:	
District:	Kirklees
Parish:	Kirkburton

For all entries pre-dating 4 April 2011 maps and national grid references do not form part of the official record of a listed building. In such cases the map here and the national grid reference are generated from the list entry in the official record and added later to aid identification of the principal listed building or buildings.

For all list entries made on or after 4 April 2011 the map here and the national grid reference do form part of the official record. In such cases the map and the national grid reference are to aid identification of the principal listed building or buildings only and must be read in conjunction with other information in the record.

Any object or structure fixed to the principal building or buildings and any object or structure within the curtilage of the building, which, although not fixed to the building, forms part of the land and has done so since before 1st July, 1948 is by law to be treated as part of the listed building.

This map was delivered electronically and when printed may not be to scale and may be subject to distortions.

List Entry NGR:	SE 23188 14958
Map Scale:	1:2500
Print Date:	28 June 2017

 Historic England
HistoricEngland.org.uk

The Listing

Details

SE 21 SW BARNSELEY ROAD Flockton

6/3 Zion United Reformed Church

II

Chapel. 1802. Rendered walls. Stone slate roof with gable-pediment and moulded eaves cornice. Two storeys. 5-bay symmetrical gabled front by 3 bays deep, with single storey 3-bay wing at 90° to left. Front elevation has two 6-panel doorways with architrave frieze and cornice on carved consoles. Tall round headed windows to ground floor. Smaller segment headed windows to 1st floor. All with glazing bars, some recent. Oculus in tympanum with glazing bars. Windows to right elevation are the same. Square headed windows to single storey wing and entrance in recent porch. Rear elevation of 4 bays with oculus in tympanum and two round headed windows at intermediate level. Recent brick fire.

Interior: Gallery to 3 sides on very slender cast iron columns. Three later brick piers to right side. Box pews with doors. Excellent double- decker pulpit with panelled fronts and 2 slender colonnettes. Organ at gallery level behind.

A. R. Bielby, Churches & Chapels of Kirklees, 1978.

Listing NGR: SE2318814958

4.0 - Site panoramas

01



02



03



panorama key

04



05



06



07



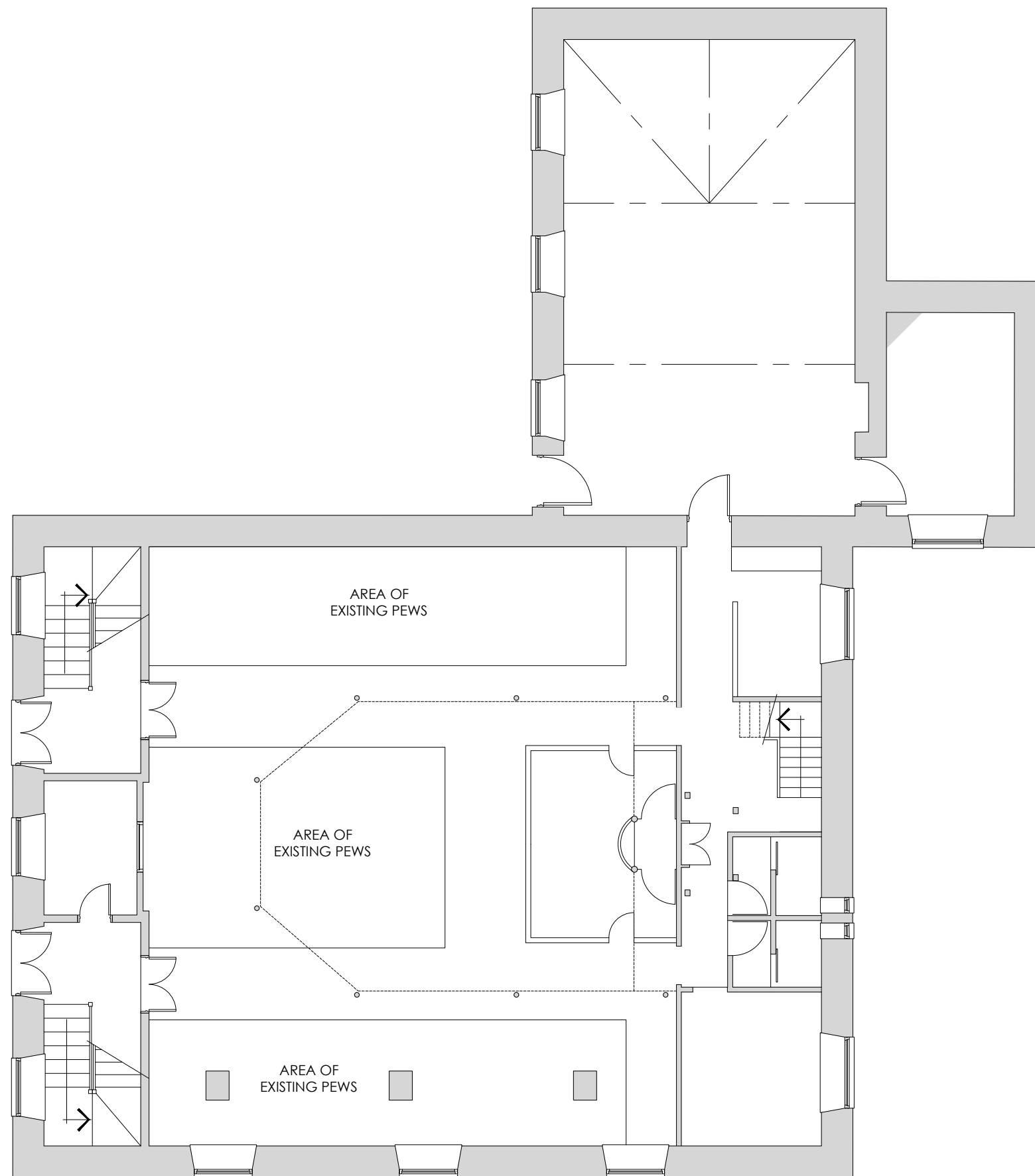
08

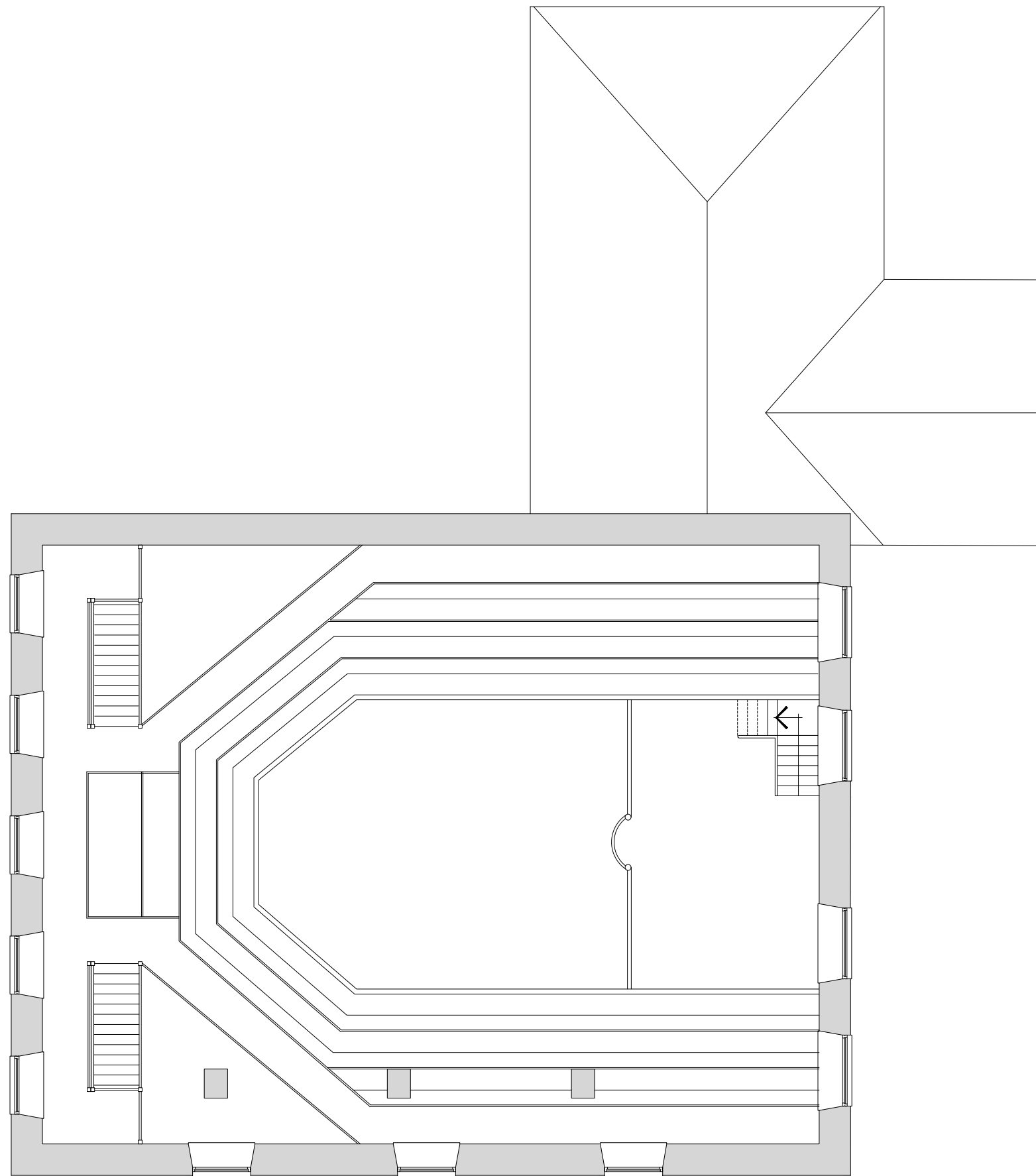


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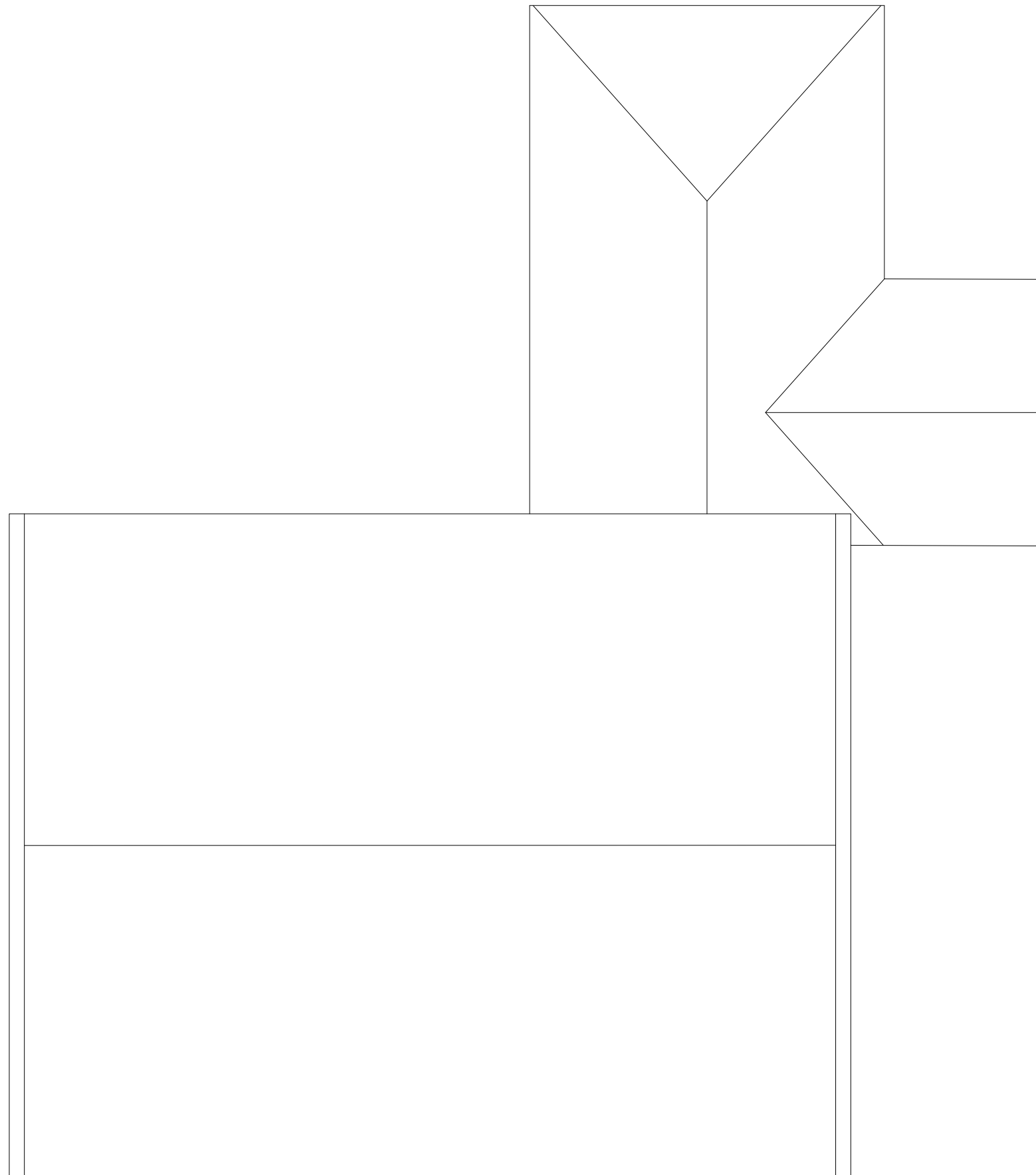


5.0 - The proposals





FIRST FLOOR PLAN | SCALE 1:100



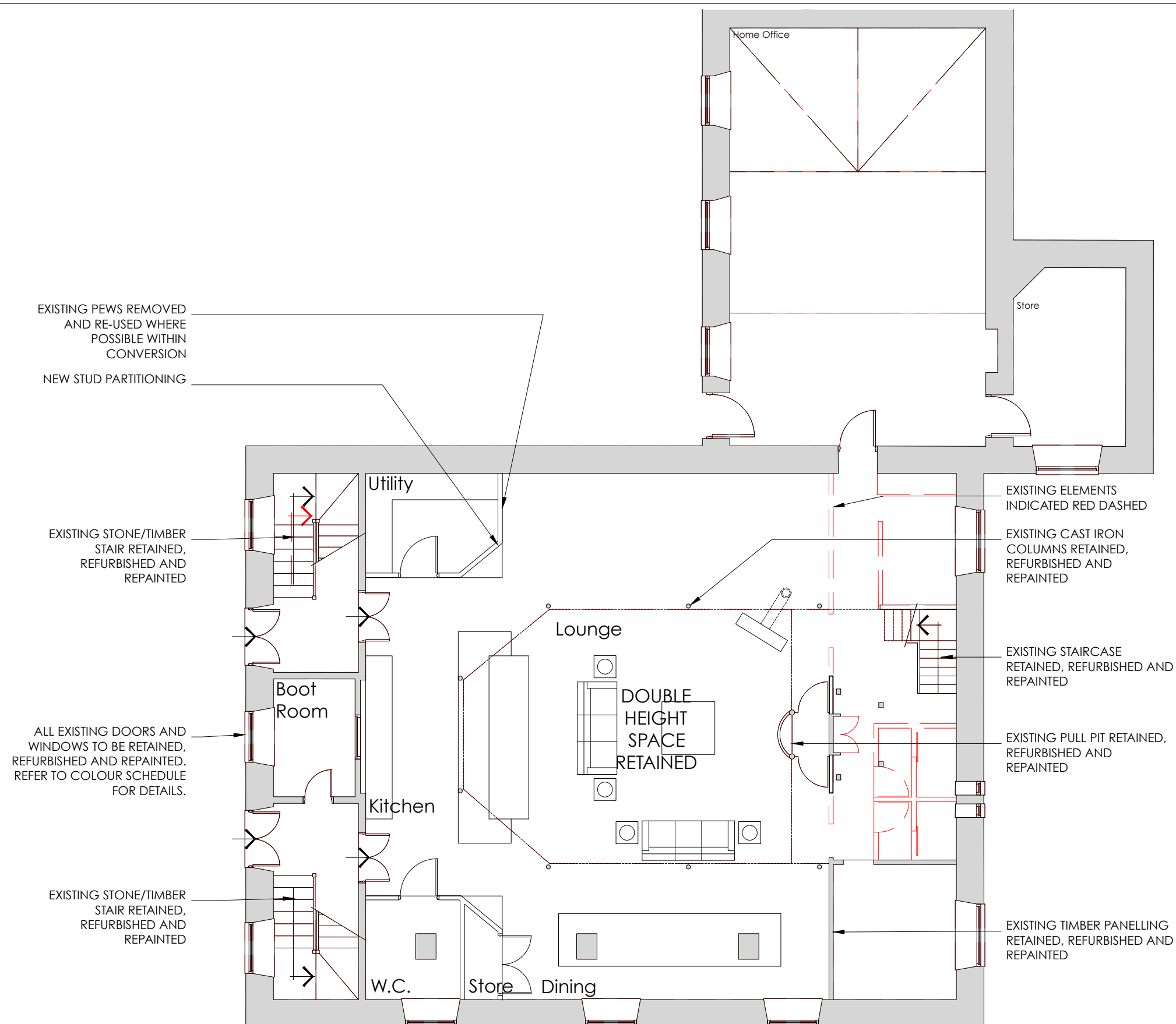
ROOF PLAN | SCALE 1:100

The Proposal

Ground floor

The proposal is to retain the majority of existing features including the pull pit, balcony, selected pews, columns, floor levels, cornice, selected doors and floor boarding.

All partitions erected will be lightweight and will cause limited damage to the existing structure.



GROUND FLOOR PLAN | SCALE 1:100

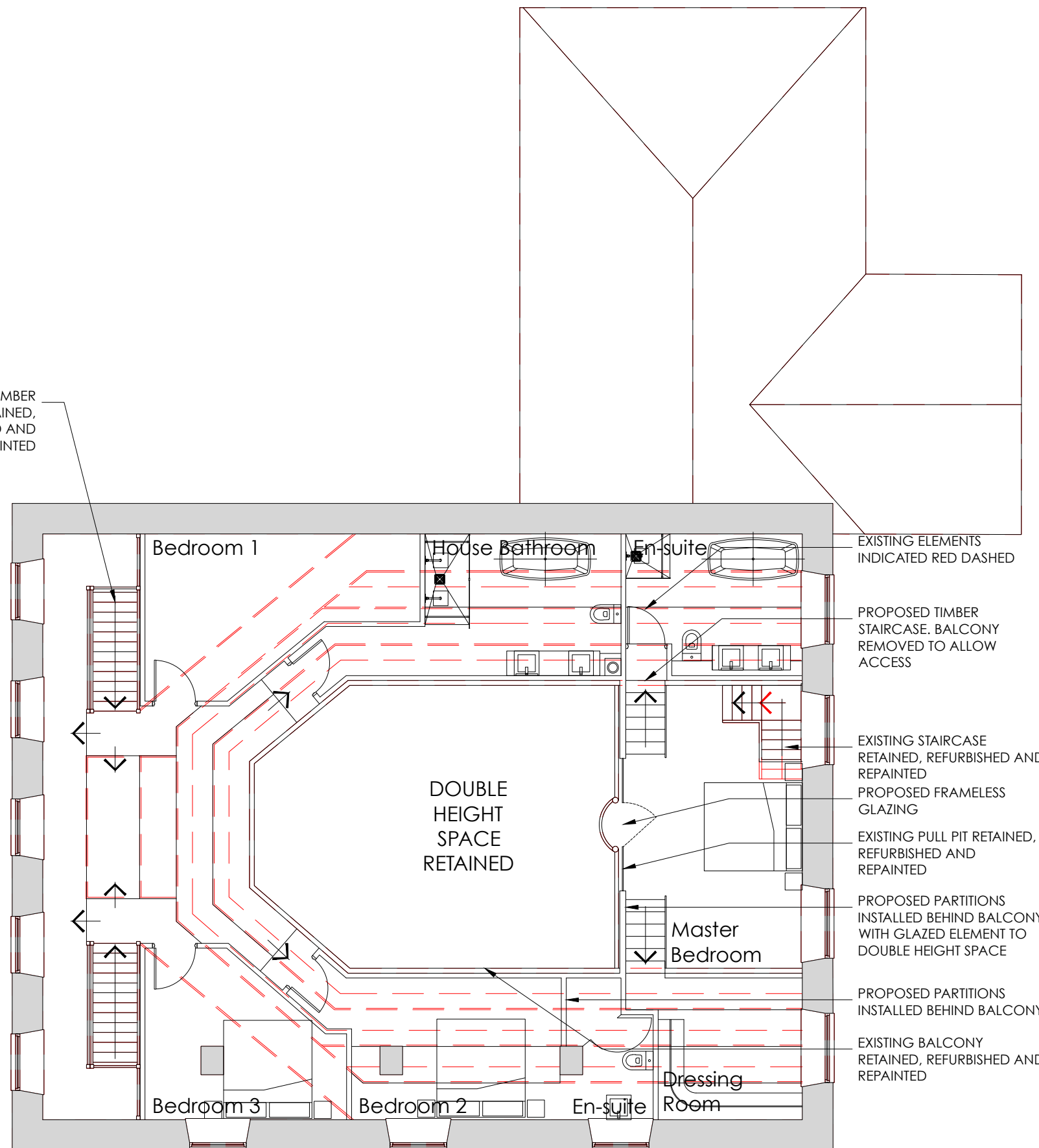
The Proposal

First floor

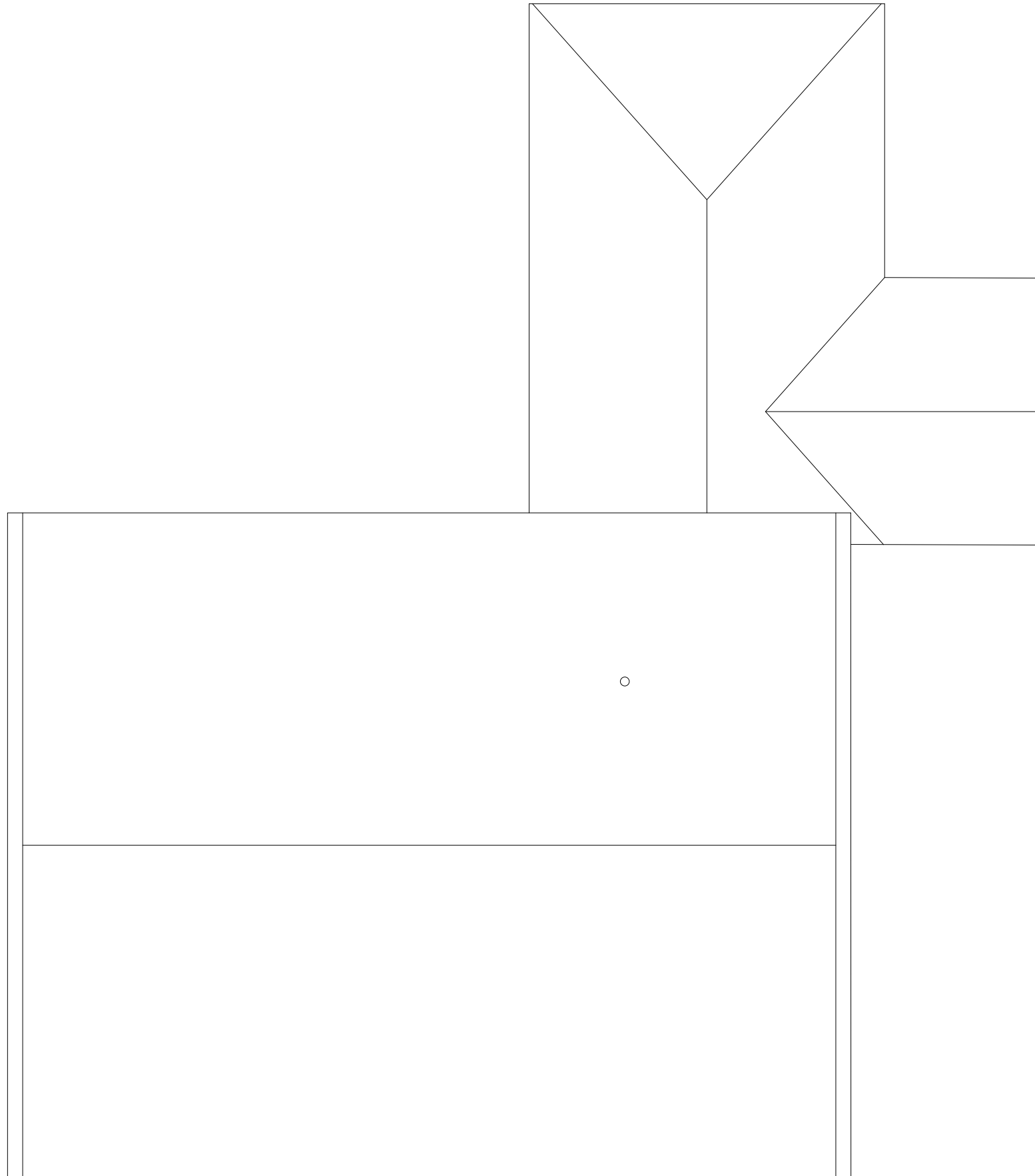
The proposal is to retain the majority of existing features including the pull pit, balcony, selected pews, columns, floor levels, cornice, selected doors and floor boarding.

All partitions erected will be lightweight and will cause limited damage to the existing structure. The existing double height space will be retained along with the ceiling rose and existing structure.

EXISTING STONE/TIMBER
STAIR RETAINED,
REFURBISHED AND
REPAINTED



FIRST FLOOR PLAN | SCALE 1:100



ROOF PLAN | SCALE 1:100