

DESIGN AND ACCESS STATEMENT

For the erection of 4 bungalows

Adj 1060 and Covered Reservoirs,
Halifax Road,
Hartshead Moor,
Cleckheaton BD19 6PE

June 2017

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1 Introduction/Design proposal

The proposal consists of 4 bungalows on the land adjacent to Yorkshire Water reservoir at Hartshead Moor Top, Cleckheaton.

The proposed design has been conceived to be respectful of the existing house and residential properties in close proximity to the property. The design fits in with the street scene at Halifax Road, and makes a positive contribution to the character of the area.

2 Pre application advice

Reference 2017/20119.

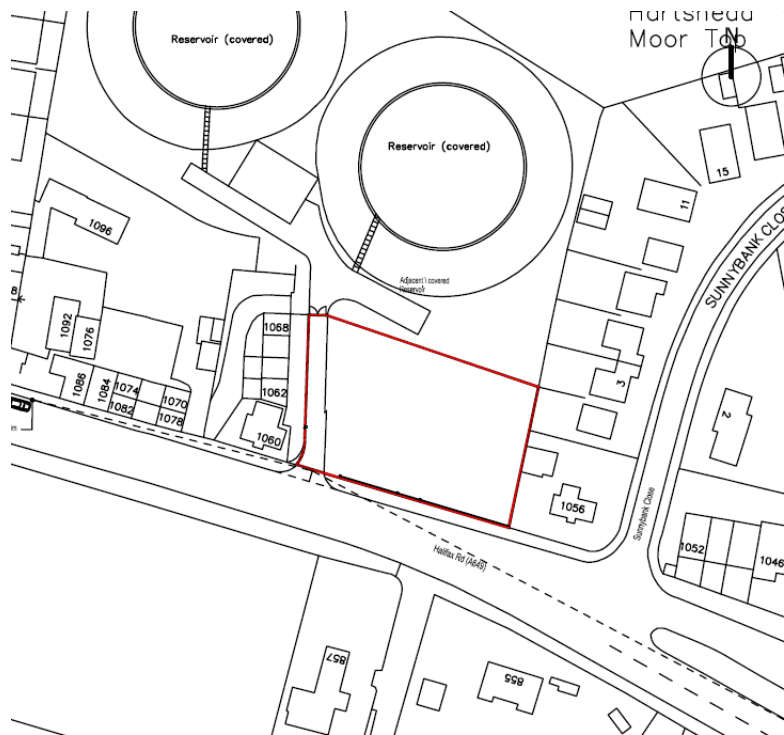
- Highway comments have been addressed and agreed on a meeting with Mark Berry on 7th June 2017
- Yorkshire Water main located on intrusive investigation on site and easement agreed on site visit.
- Rear gardens have been enlarged as per layout comments.
- Soft landscaping added to front of the site although the visitor parking spaces are not likely to be used on a daily basis due to the size of the driveways.
- Charging points for electric vehicles have been added to layout.

3 Existing site and premises in context of adjacent properties

The site is located off Halifax Road (A649) at Hartshead Moor Top, approximately 2.5km west of Cleckheaton. The site falls within the defined development limits of the Kirklees UDP and is shown as unallocated 'white land'. The site is located outside of the Hartshead Moor Top conservation Area and is not within the setting of any listed buildings.

Residential properties bound the site to east and west and is adjacent to Yorkshire Water reservoirs.

The site extends to an area of 0.358 acres (0.14 hectares) and slopes gently from the north towards Halifax Road with an existing wall and railings at the boundary. The site has currently a gated access.



Site location



4 Proposed bungalows

Four different bungalow types are proposed, presenting 2 bedrooms and 2 bathrooms each.

5 Proposed front elevation

The proposed habitable room windows are facing north and south, where there aren't any adjacent dwellings. Private gardens are located to the south of the proposed bungalows where the natural light is more present.

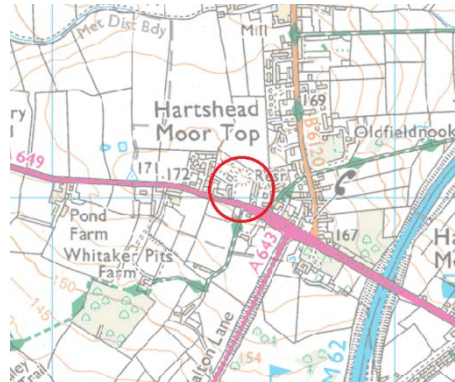
6 Materials

The proposed materials have been conceived to be in keeping with the residential properties in close proximity to the site, and make a positive contribution to the character of the area.

The walls are proposed to be natural stone and the roofs slate look tiled to match the neighbouring properties. This is a predominant local aesthetic feature.

7 Flooding

The existing building does not fall within a flood risk zone. The existing drainage is connected to the main sewer and it is anticipated that the foul and rainwater will connect to the existing main sewer.



Flood risk plan from Environmental Agency

8 Sustainability

The proposed scheme may include

- Water reducing taps and low water WC.
- Low energy lighting to new rear extension and loft extension.
- High thermal insulation to the extension.
- Future solar PV for electricity.
- Future solar thermal for hot water.
- Doors and timbers used on the project will be FSC sourced.