



Miss Sandra Baker,
317 Soothill Lane,
Batley
WF17 6ES

Ref: Proposed first floor side extension and two storey rear extension at 317 Soothill Lane, Soothill, Batley WF17 6ES

This statement is prepared in support of the proposed householder planning application submitted for the above scheme.

317 Soothill Lane is a part stone, part rendered room in the roof bungalow located in a ribbon of residential development alongside the B6124 which links Bradford and Leeds Roads through Soothill. There is a mix of different house types including Victorian stone built terraces, interwar brick built semi-detached properties and bungalows all to the north of the road and enjoying an open outlook across farmland to the south.

The application property enjoys a set back position with a landscaped footway before the highway and is the middle dwelling of three disparate properties which mark a break in the road frontage opposite Croft House Farm. It features a steeply pitched roof with a ridge parallel to the road creating bedroom accommodation at first floor, with windows to the gables and a single storey side extension providing a garage to the front elevation and living space behind. The house entrance is also located within the single storey block, accessing a hallway with winder stair, kitchen, bathroom and living spaces. Externally the primary living space is indented in the facade to both elevations to create a recessed panel which is clad with timber shingles. The rest of the house features a stone kicker of varying heights which extends vertically at the building corners to create a quoin detail. External spaces are currently overgrown - a paved parking area to the front is linked to an area of loose gravel whilst a perimeter footpath links to a lawned area to the rear. The rear of the property is also open with fields beyond.

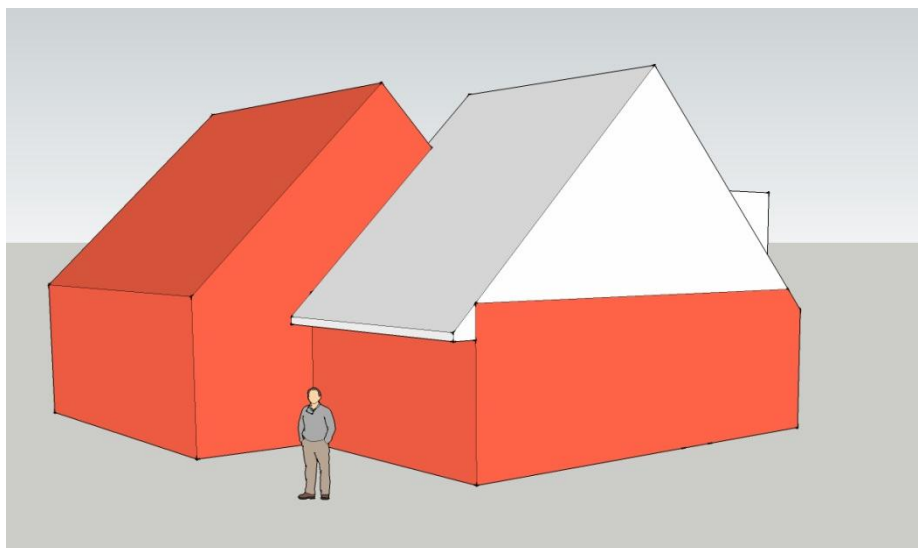
The house has been purchased by the applicant to provide flexible family accommodation and this scheme has been prepared to both rationalize and increase the spaces to meet her needs.

It is proposed to build over the existing single storey side extension to increase the footprint at first floor. Initial suggestions to create an asymmetric roof have been dismissed in favour of a duopitch roof to match the existing roof form. The side element is staggered from the host house so the new roof is set back from the street frontage, behind the line of the existing house and neighbouring property. A two storey rear extension is then proposed to blend the two roof forms and allow the insertion of large scale openings to benefit from the open aspect. The rear block is inset from the primary building form and set down to minimize its scale - the proposed side extension masks its form to the east.

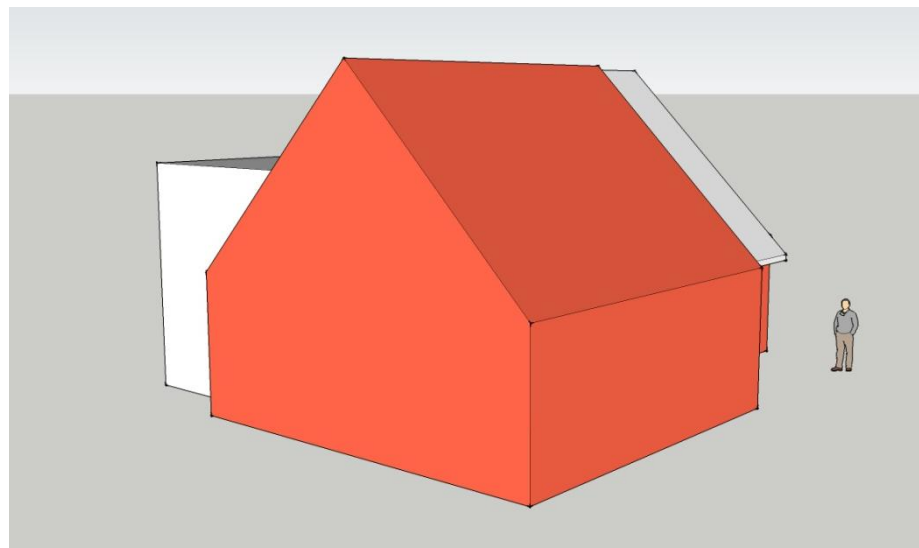
Internally the existing house entrance and hall is retained, providing access to a ground floor wc, snug and living spaces and the proposed new family space with kitchen and dining areas within an open plan volume. At first floor an additional bedroom and bathroom accommodation is created with new windows to the rear elevation and a velux cabrio-style roof light to the front elevation. The existing recessed wall to the living space will be reconfigured to create a window seat whilst the areas of new build will be rendered blockwork built off a stone kicker. Window surrounds will be sawn stone whilst a stone capping will be applied to the rear parapet wall at roof level.

The existing site has an area of 422sqm whilst the dwelling has a footprint of 112sqm. The proposed addition will see the floor area grow to 130sqm, an increase of 16% but still <31% of the site area.

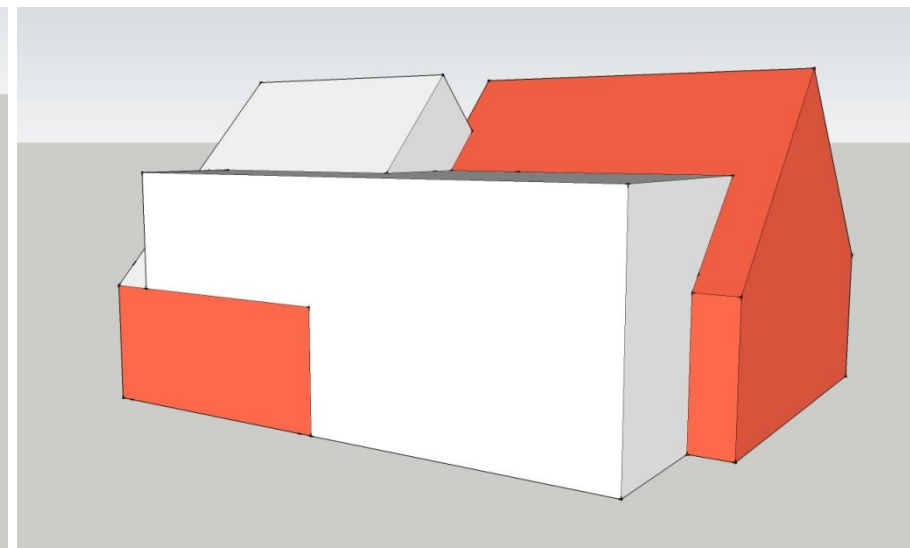
Soothill Lane is in Flood zone 1 with low risk of flooding.



Application scheme_east



_west



_north



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