

**PROPOSED RESIDENTIAL DEVELOPMENT COMPRISING A PAIR OF SEMI
DETACHED HOUSES PLUS ASSOCIATED WORKS**

at

OLD BANK WORKS, OLD BANK, SLAITHWAITE

for

DARTMOUTH ESTATES

DESIGN AND ACCESS STATEMENT

Incorporating

PLANNING SUPPORT STATEMENT

HERITAGE STATEMENT

STATEMENT OF COMMUNITY INVOLVEMENT

March 2017

prepared by



As stated in the planning application cover letter we secured planning approval for the above project some time ago - 2010/62/93400/W1, dated 1st February 2011 and renewed this approval with planning application 2013/62/94057/W, dated 13th February 2014.

Our clients have instructed us to proceed with the construction works for the project however the renewal approval expired on the 13th February 2017.

Just prior to this date we contacted your council, namely Ms Julia Steadman, on how we could implement the approved before the above date – a copy of our email and her reply is attached in Appendices A. As stated, we simply ran out of time to discharge the appropriate pre-commencement conditions to get onto site.

In Appendices B we attach the Design & Access Statement for the original scheme which fully explains all matters relating to the proposals.

The scheme has not changed.

1496.3a

**LOROC Architects
25a Park Square West
LEEDS
LS1 2PW**

**0113 233 7755
www.loroc.co.uk**

February 2017

APPENDICES A

Emails to Planning

From: jc@loroc.co.uk
Sent: 30/01/2017 17:41:00
To: Julia.Steadman@kirklees.gov.uk
Cc: James.Bradley@carterjonas.co.uk
Subject: RE: 1280 - 2no. semi-detached houses plus associated costs on land off Old Bank, Nabbs Lane, Slaithwaite -
Application Number: 2013/62/94057/W
Project: 1280
Description: Residential
Location: Slaithwaite
Client: Portman Land Limited

REFERENCE EML-OUT/1280/3a/20170130-173814-697

Julia

Thanks for the email. Your comments are duly noted. The contamination report has not yet been commissioned so it's a new application then! Once we have further instructions from our client we will confirm when the application will be coming in.

Kind Regards

John Crompton
MCIAT ACIOB BSc(Hons)
Director

For and on behalf of LOROC Architects



25a Park Square West, Leeds, LS1 2PW

t: 0113 233 7755 / d: 0113 457 2617 / m: 0772 084 0572

e: jc@loroc.co.uk

w: www.loroc.co.uk

The following refers to email messages transmitted from, or on behalf of, LOROC Architects.

This information contained in any e-mail and their attached files, including replies and forwarded copies, are confidential and intended solely for the addressee(s) and may be legally privileged or prohibited from disclosure and unauthorised use.

If you are not the named addressee you may not use, copy or disclose this information to any other person.

If you received this message in error please notify the sender immediately and delete all copies of the email and associated files.

If you are not the intended recipient, any form of reproduction, dissemination, copying, disclosure, modification, distribution and/or publication or any action taken or omitted to be taken in reliance upon this message or its attachments is prohibited and may be unlawful.

Any views or opinions presented are solely those of the originator and do not necessarily represent those of LOROC Architects.

All liability for viruses is excluded to the fullest extent permitted by law.

From: Julia.Steadman@kirklees.gov.uk
Sent: 30/01/2017 14:06:00
To: jc@loroc.co.uk
Cc:
Subject: RE: 1280 - 2no. semi-detached houses plus associated costs on land off Old Bank, Nabbs Lane, Slaithwaite -
Application Number: 2013/62/94057/W
Project: 1280
Description: Residential
Location: Slaithwaite
Client: Portman Land Limited

Dear John

Thank you for your email.

The main condition that needs to be addressed before development commences are the contaminated land reports – if these have not been produced already, it is unlikely that you would be able to receive a discharge of condition within the timeframe. Furthermore, because this condition goes to the 'heart' of the permission, it does need to be discharged before any development commences on site – so the first thing is, has the report been produced?

If you submit the Discharge of Condition (DOC) in the first instance, we will endeavour to respond. As you've pointed out though, condition 1 does require the development to have commenced on site, so with regard to this point, is your client ready to do this immediately if we are able to discharge the condition(s). If this is the case, then it may be worth submitting the DOC in the next day or two. However, if you are not ready to submit, I would suggest that a new, full planning application is submitted. As part of the full planning application I would advise that all of the information is submitted which has previously been conditioned – your client would then, in theory, be able to get on site asap.

In terms of the risk, there has been no significant change to planning legislation (if any) that would affect the merits of your proposal. I am aware that development is well underway on the surrounding sites, which will need to be taken into account – but once again, because all of the applications have been considered together previously, I can't for see any significant issue however, as you will be aware, I cannot guarantee that no new issues will be raised.

I hope that the above helps however, please do not hesitate to contact me should you need to discuss.

Kind regards
Julia

Julia Steadman
(BA Hons, DIP TP, MRTPI)
Team Leader
Development Management
Investment and Regeneration Service
Kirklees Planning, PO BOX B93, Civic Centre III, Huddersfield, HD1 2JR

☎ 01484 221000
Internal: 74220
e julia.steadman@kirklees.gov.uk
? www.kirklees.gov.uk/planning

From: jc@loroc.co.uk
Sent: 27/01/2017 10:11:00
To: julie.steadman@kirklees.gov.uk
Cc: James.Bradley@carterjonas.co.uk
Subject: 1280 - 2no. semi-detached houses plus associated costs on land off Old Bank, Nabbs Lane, Slaithwaite - Application Number: 2013/62/94057/W
Project: 1280
Description: Residential
Location: Slaithwaite
Client: Portman Land Limited

Attachment(s): 109A Houses Plan Elev and S.PDF, 104 Topographical.PDF, Decision Notice.pdf

REFERENCE EML-OUT/1280/20170127-94526-233

Julie

We have tried contacting you with regards the above approval.

Our clients have decided to implement the approval but we have noted that the renewal of the original permission was granted on 13th February 2014 with condition 1 stating 'The development shall be begun not later than the expiration of three years beginning with the date on which permission is granted'.

I'm assuming we are looking at re-applying for the approval as we have pre-commencement conditions that need signing off such as condition 10 – 'Development shall not commence until actual or potential land contamination at the site has been investigated and a Preliminary Risk Assessment (Phase I Desk Study Report) has been submitted to and approved in writing by the Local Planning Authority.

Ideally our clients wish to implement the approval. Can you advise if this is possible if we submit the above information before the 13th Feb 2107 are you looking for a physical site start? If we do need to re-submit can you foresee any issues? Will this be a simple straight forward application or have any planning policies changes that would affect this application.

Your assistance would be much appreciated.

Kind Regards

John Crompton
MCIAT ACIOB BSc(Hons)
Director

For and on behalf of LOROC Architects



25a Park Square West, Leeds, LS1 2PW

t: 0113 233 7755 / d: 0113 457 2617 / m: 0772 084 0572

APPENDICES B

Design & Access Statement for original application

**PROPOSED RESIDENTIAL DEVELOPMENT COMPRISING A
PAIR OF SEMI DETACHED HOUSES PLUS ASSOCIATED
WORKS**

at

OLD BANK WORKS, OLD BANK, SLAITHWAITE

for

PORTMAN LAND LIMITED

DESIGN AND ACCESS STATEMENT

Incorporating

PLANNING SUPPORT STATEMENT

HERITAGE STATEMENT

STATEMENT OF COMMUNITY INVOLVEMENT

prepared by



Contents

INTRODUCTION

POLICY *(Planning Support Statement)*

Planning History
Pre-application Advice / Discussions
Planning Policy
Summary

SITE

Location
Site

DESIGN

Design Philosophy
The Current Proposal
Surrounding Development *(Heritage Statement)*
Appearance *(Heritage Statement)*
Landscaping
Scale

ACCESS

SUSTAINABILITY / RENEWABLES

SECURE BY DESIGN

STATEMENT OF COMMUNITY INVOLVEMENT

CONCLUSION

INTRODUCTION

This statement has been prepared on behalf of Portman Land Limited and forms part of a Full Planning Application for the development of a pair of semi-detached dwellings plus associated works on at Old Bank Works, Old Bank, Slaithwaite, Huddersfield.

The purpose of this document is to establish the principles behind the design of the development of 2no. dwellings in a semi-detached format and associated facilities and car parking.

The following sections of this document aim to clearly set out the aspirations of the client and the intentions of the designer.

POLICY (*Planning Support Statement*)

Planning History

The site currently enjoys Planning Approval via Appeal no. APP/Z4718/A/08/2080913 for a pair of semi detached houses plus associated works with access via an adopted road located between Nabbs Lane and Old Bank.

Old Banks Works also has a current planning approval via Appeal no. APP/Z4718/A/10/2128048 for the erection of 15no. 'new build' dwellings, Conservation Area Consent for the demolition works and Full Approval for the 'conversion' of the former works building into 6no. dwellings (and demolition of outbuildings) plus associated works, all accessed off Old Bank.

Pre-application Advice / Discussions

The scheme has been discussed with Ms Julie Steadman of Kirklees Planning who has been involved with current applications and appeals on this site.

It has been highlighted by the applicant to the planning authority that the means of access for the Old Bank site as indicated on the 'semis' scheme (APP/Z4718/A/08/2080913) was indicative with no input for a highways engineer and without consultation with the local authority highways and as such cannot accommodate the required vehicular movements for a refuge vehicle and / or other similar vehicles for the development of the Old Bank Works site. The highway / site access arrangement upon the 13no. unit scheme (APP/Z4718/A/10/2128048) has been designed by a Highways Engineer, discussed and agreed with the local authority highways department and accepted / approved by the same. The issue is that one of the approved 'semis' (APP/Z4718/A/08/2080913) is positioned within the approved highway for the 13no. unit scheme (APP/Z4718/A/10/2128048).

It has been agreed with Kirklees Planning that the highway arrangement for the 13no. unit scheme takes precedent over the indicative layout on the 'semis' scheme however this will involve stepping the 'semis' to accommodate the 13no. unit scheme (APP/Z4718/A/10/2128048) approved highway arrangement.

We have been advised by Ms Steadman that even though the proposals are a simple alteration to the approved 'semis' scheme (APP/Z4718/A/08/2080913) namely stepping the semis, a new application is required for the changes but will be supported by Kirklees Planning.

Planning Policy

National Policy advice is contained in PPS 3 on Housing and PPS 5 on The Historic Environment,

PPS 3 priorities the development of Brownfield sites (which this site is),

PPS 5 advises that when new development proposals come along they should be assessed and their impact on the historic environment given full weight alongside other considerations, and

Local Plan Policies are completed in the Kirklees UDP that has the following relevant saved policies; BE5 and BE6 cover the historic environment. Policy NE9 covers the relationship of trees within the development site.

Summary

This is a very sustainable site being Brownfield and located within easy walking distance of the village centre as well as enjoying current planning approvals for residential development.

SITE

Location

The location of the site is 100 metres to the west of Slaithwaite, a small town approximately 4 miles to the west of Huddersfield, accessed via Manchester Road.

Slaithwaite is a standalone village but is closely located near other villages such as Linthwaite, etc. all within the Colne Valley.

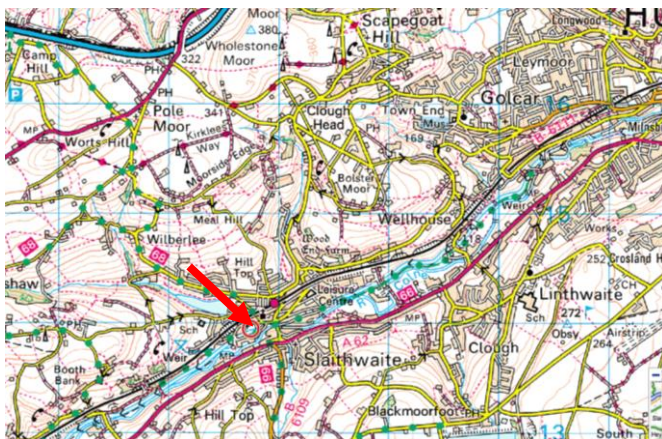


Fig.1 Area Plan (not to scale)

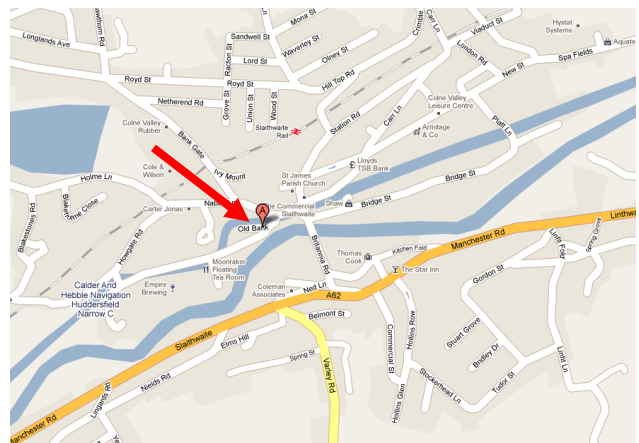


Fig.2 Street Plan (not to scale)

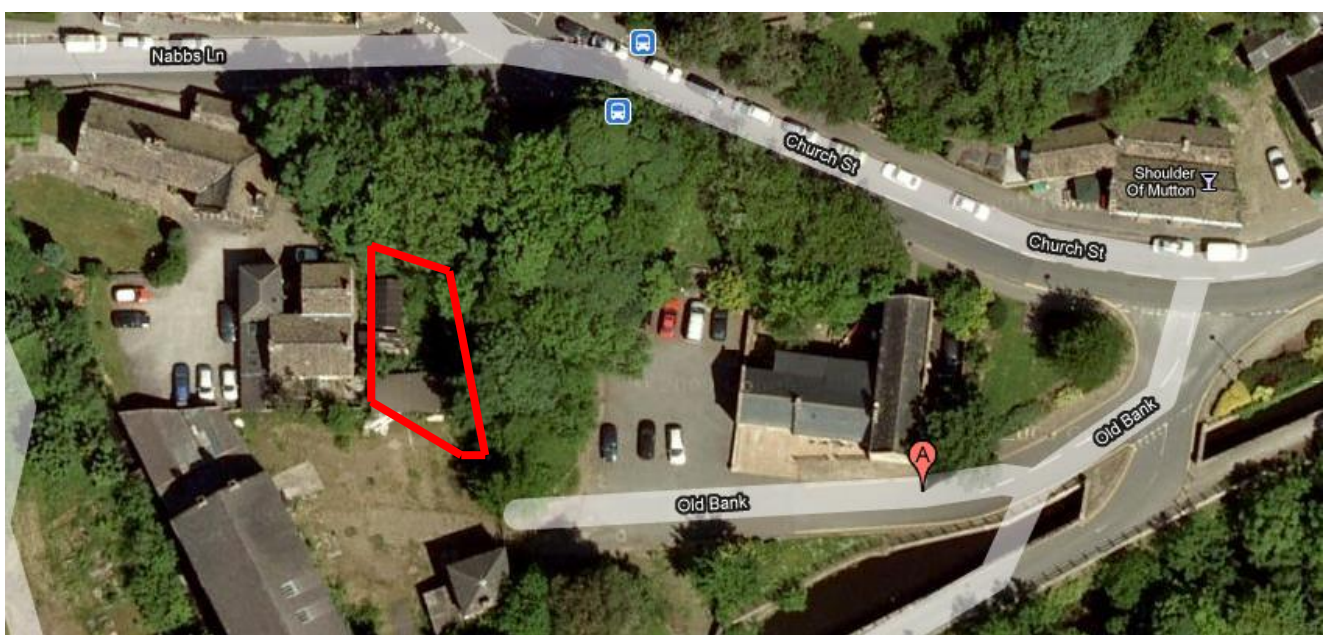


Fig. 3 Google Plan / Aerial photo with red line boundary (not to scale)

Slaithwaite has grown over the past 10 / 20 years and has become a self-sufficient centre for its residents. All facilities are located in Slaithwaite such as convenience stores, post office, take-always, hairdressers, a hardware shop, pubs & schools, medical centre, fire station, swimming pool, etc. There is a small supermarket located in the town centre. All of the above are within a 2 minute 'walkable' distance of the site.

There are regular bus and train services from Slaithwaite to the local city centre's, such as Huddersfield, Leeds and Bradford. Other large cities such as Manchester, Liverpool and London are accessible from these centre's. The proximity of the site to a variety of services and public transport makes this a highly sustainable location.



Fig. 4a Shops



Fig. 4b Shops



Fig. 4c Shops



Fig. 5 Sports Centre / Swimming Pool



Fig.6 Fire Station



Fig.7 Supermarket



Fig. 8 Medical Centre



Fig. 9 Bus stop / train station sign

Site

The site is 0.03 hectares / 0.07 acres and is towards the western edge of the conservation area and close to the centre of Slaithwaite. It falls just outside the north east corner of Old Banks Works and comprises a series of vacant semi -derelict buildings, largely overgrown and approaching dereliction.

Concerns could be raised by local residents that the land will become a local nuisance if left in its current state, attracting vandals, drug users, groups of youths etc. resulting in vandalism, litter and other problems for the local area. The development of the site into a desirable residential area will eliminate these potential problems and provide an asset to the neighbourhood.



DESIGN

Fig.10 Lean to Structures

Design Philosophy / Current Proposal

The proposed dwellings are as already approved (APP/Z4718/A/08/2080913) and these proposals do not seek to alter the scheme principle however due to detailed highways designs for the adjacent site, namely Old bank Works (APP/Z4718/A/10/2128048) the units need to be stepped to accommodate the approved highways layout that forms part of APP/Z4718/A/10/2128048. The remaining elements of the approved semis scheme (APP/Z4718/A/08/2080913), i.e. parking and garden location are in principle unchanged.

It is important to note that the proposed 'step' in the approved 'semis' does help relate the approved buildings better to the retained adjacent property, namely 11 & 12 Old Hall and ensure that the proposals will not over shadow the same's rear gardens, as well as being designed to take into account all other planning, conservation and appeal approvals, including the means of access, etc. that relate to the site.



Fig 11 Site Plan as Approved (not to scale)

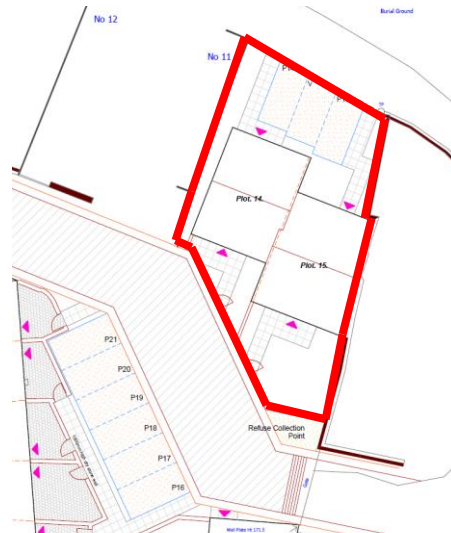


Fig 12 Site Plan as Proposed (not to scale)

Surrounding developments (*Heritage Statement*)

Housing and buildings near the site comprise of predominantly stone structures in a cottage or mill style. Buildings further into Slaithwaite do take the form of more modern buildings or buildings associated with their use, i.e. clad portal frames to the numerous small businesses within the village, etc.

The vernacular of the area is not eclectic and the cottage and mill style stone structures are the dominant pallet in the area.

The housing ranges from small cottages & apartments as part of conversions to larger Victorian villa's and townhouses.

A selection of which is shown below.



Fig.13



Fig.14



Fig.15



Fig.16

Appearance (*Heritage Statement*)

It was also felt that the approved elevations did not add to the character of the area as the window proportions follow a 'North Yorkshire Dales theme', i.e. 630mm wide by 1050mm high windows as well as proposing modern style patio doors, etc.

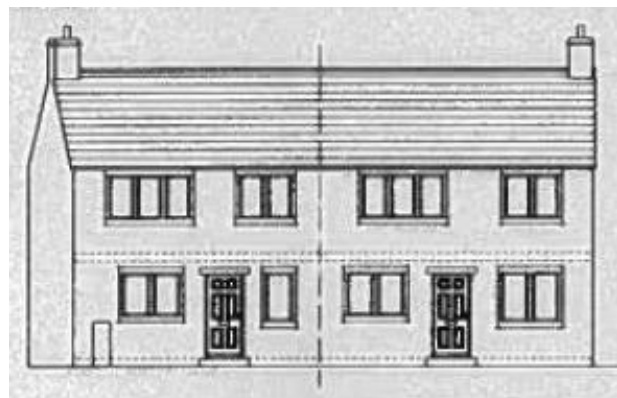
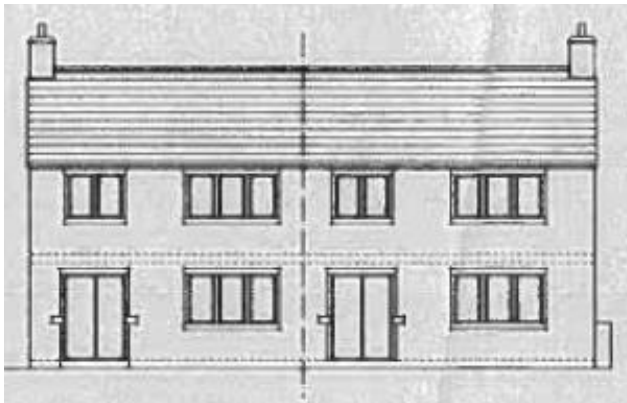


Fig.17 Approved Front & Rear Elevations (not to scale)

On this basis the proposals have been re-designed to replicate the general theme of the area, i.e. cottage and mill buildings together with the use of natural materials (see below), vertical emphasis on windows (915mm wide by 1200mm high) and doors, simple eaves arrangements, no dormers or gables to front elevations or canopies to front doors, etc. and french doors in lieu of patio doors.



Fig.18 Proposed Front and Rear Elevations (not to scale)

To complete the elevational upgrades doorways have been centralised to create dual frontage units which also suit both means of access into the plots, i.e. form the parking spaces and form the new development off Old Bank – reference the proposed site plan. This allows the proposals to be pulled into the overall re-development of Old Bank Works, as well the use of rise and fall gutter brackets creating a more traditional eaves arrangement of gutters supported on stone dentols and tabling to the gable and party walls.

The materials we are proposing are as specified in appeal no. APP/Z4718/A/08/2080913 and are generally,

- *facing elevations in regularly coursed natural stone,*
- *roofing materials in natural slates,*
- *timber windows,*
- *timber external doors,*
- *the painted finish to external joinery,*
- *window and door surrounds in natural stone*
- *gutters and rainwater pipes in cast iron, together with their means of support*

These are high quality materials and will both protect and enhance the character of the area and the proposals.

As explained above the changes to the approved design of the units (APP/Z4718/A/08/2080913) have been considered carefully resulting in an improved form and detail. This is evident in the elevations provided.

Landscaping

The approved scheme Appeal no. APP/Z4718/A/08/2080913 enjoys areas for planting and turfing to both the front and rear elevations. These have been maintained and improved as part of these new proposals. The appeal conditions also refer to boundaries treatments which are covered under 'Secure By Design' which are in the process of being discharged.

Scale

The scale, density and proportion of the proposals is an already approved (APP/Z4718/A/08/2080913) and therefore considered acceptable in all aspects.

ACCESS

Access has been considered in the broadest sense to cover the needs of all building users and visitors who may have sensory, mobility and/ or hidden impairments plus others including elders, children and parents with young children.

The proposals enjoys off street parking spaces which are accessed from an adopted road located between Nabbs Lane and Old Bank – as per the approved scheme (APP/Z4718/A/08/2080913).

These will be finished in tarmac with concrete pin edgings to match and blend in with Nabs Lane and in accordance with the Local Authority highway requirements

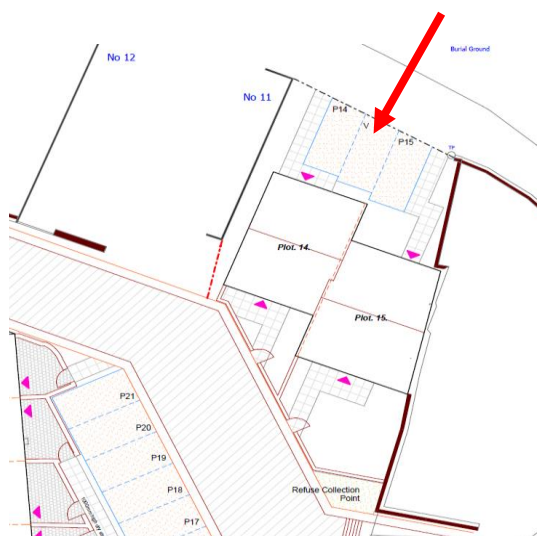


Figure 19 Site Plan (not to scale)

All accessible areas are generally flat, creating an environment that is suitable for all user groups.

Access to the proposed houses has been considered for all groups with minimum 1m wide paths to level thresholds and accessible accommodation in line with current building regulations. As the proposed dwellings are new-build this allows current disabled doorway widths, ground floor WCs and other requirements such as even paths to front doors, level thresholds to front entrances, etc. to be incorporated into the design, in line with current building regulations, Part M, etc.

Bin storage will be located in the front gardens with path access as shown on the site plan.

SUSTAINABILITY/ RENEWABLES

The proposals will be constructed to current 2010 Building Regulations which are in line with the principles of design (and construction techniques) to level 3 of the Code for Sustainable Homes.

This could take the form additional insulation in walls, floors, roof, ecological surveys prior to site commencement, solar water heating panels, heat exchangers, air source heat pumps, etc. to reduce national grid requirements for the proposals, etc. all which could address your councils key CO2 emission reduction requirements.

SECURE BY DESIGN

The Police Authority have not been consulted on the proposals however the principles of 'secure by design' has been incorporated into the proposals, as follows;

As stated before the site enjoys existing stone boundary walls which will be retained and repaired as required. New boundaries walls, including party garden walls are to match / blend in with the existing.

All windows and doors will be fitted with locks / dead bolts, etc. to the appropriate BS standards.

The house designs – as approved under APP/Z4718/A/08/2080913 which are being retained - enjoy a principle room to each main elevation thus providing overlooking to both the public and private areas. The dual frontage elevations also adds to this improved security.

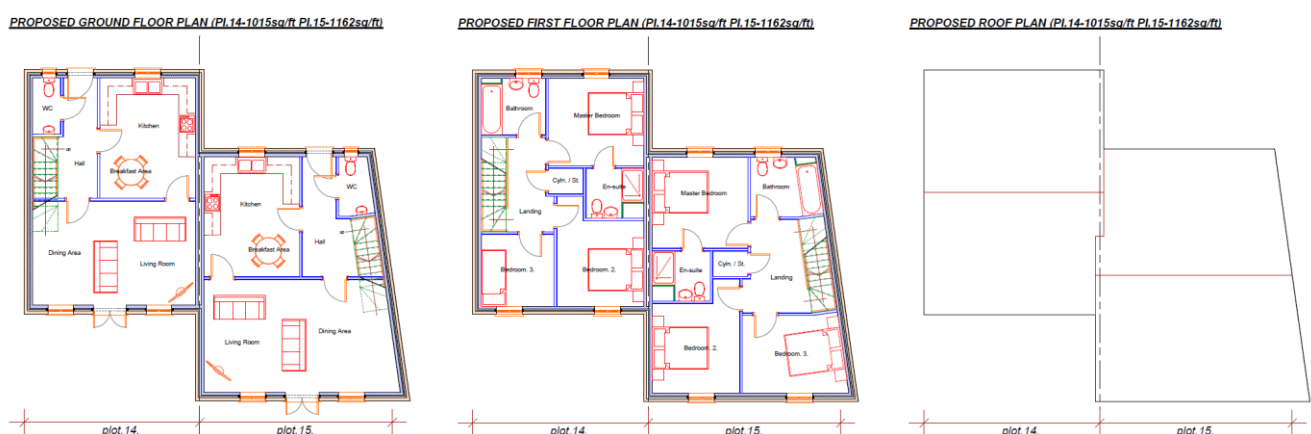


Fig.20 Proposed Floor Plans (not to scale)

STATEMENT OF COMMUNITY INVOLVEMENT

No community involvement has been undertaken due to the planning history of the site, the details discussions with planning officers and the minor / simple nature of the changes (as well as the reasons

for the changes) it was felt a public surgery, meetings and discussions with local councillors , etc, was not required.

CONCLUSION

Although approved at appeal, the planning authority did not have an objection to the original proposals nor the re-development of the remainder of Old Bank Works.

The two main issues from the appeal decision (APP/Z4718/A/08/2080913) was firstly, preserve or enhance the character or appearance of the Slaithwaite Conservation Area and secondly, adversely affect the safe and efficient circulation of vehicles and pedestrians in the vicinity of the site.

The inspector concluded the first matters as;

'my overall conclusion on this main issue is that the pair of semi-detached dwellings proposed would enhance the character and appearance of the conservation area. They would not conflict with either, national planning guidance in Planning Policy Guidance Note 15: Planning and the Historic Environment or, the intent of Policies BE1, BE2, BE5 and NE9 of the Kirklees Unitary Development Plan (UDP).'

The second matter was concluded as:

'My assessment is that most arriving drivers would arrive at the site in forward gear from Nabbs Lane, and acceptable. Reversing movements would, however, be likely to result onto Old Bank. While that gives me some cause for concern, Old Bank would have a limited vehicle and pedestrian presence. The appellant submits evidence, not convincingly disputed by the Council, that the proposal would be acceptable in terms of those movements. An appropriately worded planning condition would be available to me. Here, any drivers and pedestrians using Old Bank would, in my view, be aware of its limitations and proceed accordingly'.

Our application improves the first matter as detailed in this statement and is in exact accordance with the second matter.

It is important to remember that the proposals follow the principle of an approved scheme (Appeal no. APP/Z4718/A/08/2080913) which is basically unchanged in terms of internal design however the elevations have been altered to better match and blend in with the surrounding area in terms of window proportions and detail, etc.

The siting of the approved semis scheme (APP/Z4718/A/08/2080913) has been changed to suit the access for 13no. new build units at Old Bank Works plus the conversion of the former works building into 6no. units which, as stated above has been designed by an engineer and approved by the local authority highways department (APP/Z4718/A/10/2128048).

Finally, the revisions are minor however under current planning legislation the changes require a new full planning application. Before this has been submitted we have had a detailed meeting with the planning authority, namely the case officer who has dealt with all recent planning applications and appeals for the site, to gain her support which has been obtained.

LOROC Architects
Whitehall Waterfront
2 Riverside Way
LEEDS
LS1 4EH

Tel 0113 233 7755
Fax 0113 243 4806
E-Mail office@loroc.co.uk
Web www.loroc.co.uk

Our Ref 1280.3a

November 2010