



Design and Access and Heritage Statement

for

Proposed Conversion of the Coach House to form Two Dwellinghouses and the Erection of a New Dwellinghouse with Turning and Parking on land at the North of 34 Greenhead Road, Huddersfield HD1 4EZ

for Penine Developments Ltd

March 2017

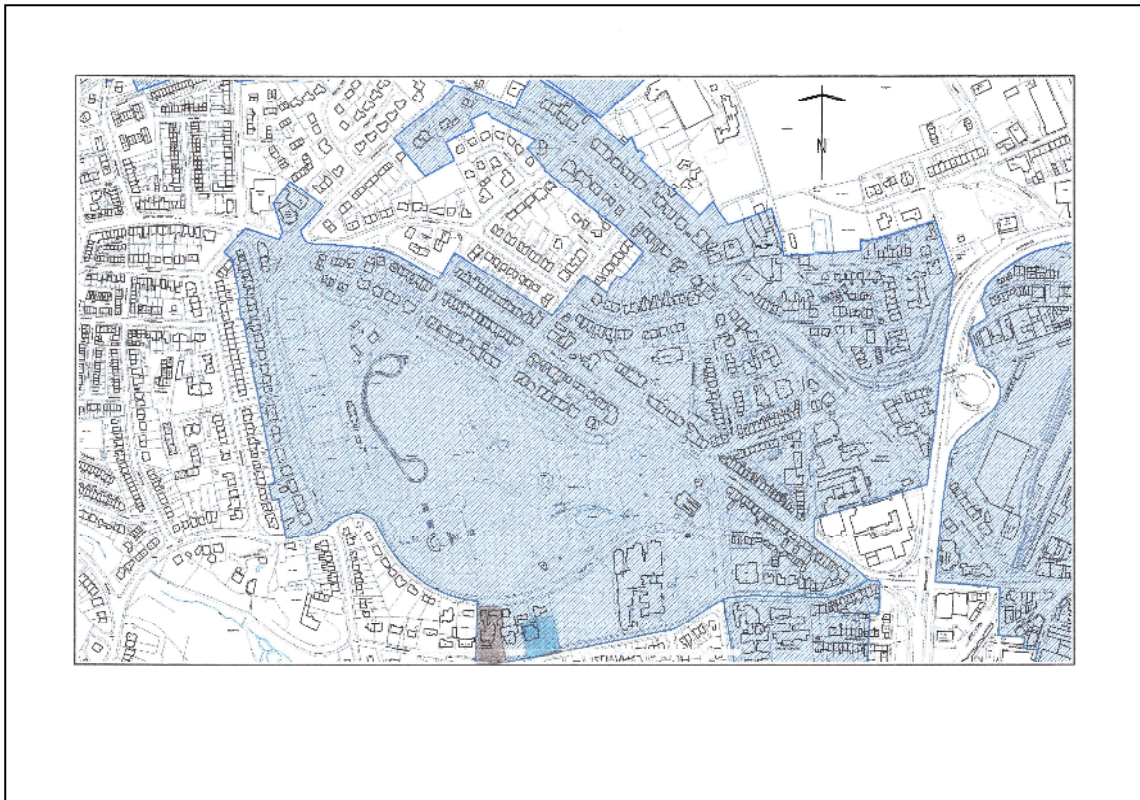
History

The site is occupied by a large Victorian Mansion which has been used as Nursing Home with a separate Coach House/Stable Block which is now derelict. An application to develop the rear part of the site was submitted and following discussions is now withdrawn and substituted by this new proposal (2015/90547).

The Coach House is to be converted into two dwellings and a new dwellinghouse, as the previous application design is proposed at the side.

The Greenhead Park/New North Road Conservation Area

Victorian terraces and villas surrounding a large recently remodelled contemporary public park with an impressive war memorial. Trinity Street and New North Road are important radial routes into Huddersfield, lined by mainly ashlar stone faced terraced and detached dwellings and public buildings including the prominent Holy Trinity Church. Also includes the area of Highfields comprising mainly nineteenth century or older housing.



No 34 Greenhead Road lies at the southern bottom edge of the Conservation Area with the site access along this road but has views over the Park. (Shaded Pink)

The building concerned is large Victorian Coach House/Stable Block and servants quarters which is now in a very poor state of repair.

A residential use of a single dwelling is claimed for this application.

It is one of a number of large Victorian buildings along Greenhead Road at this edge of the Conservation Area and the proposed development will be accessed from Park Drive South and facing onto Greenhead Park.

The development of the Coach House will see very little alteration to the appearance of the building facing the park and the new house is designed to be in keeping with the existing and new buildings already constructed along the road and respect the street scene and the heritage aspect of the Conservation Area will not be compromised. Detail discussions about the proposals have taken place before any firm proposals were put forward.



view of Coach House from the West



view of Coach House from the East

Listed Buildings

There is one listed building near to the site, the old Wentworth School and the gates piers at the entrance thereto (shaded blue) and the listing information is below;

Gatepiers and Gates to Number 30, Greenhead Road, Huddersfield HD1 4EZ

DESCRIPTION: Gatepiers and Gates to Number 30

GRADE: II DATE LISTED: 10 June 1983 ENGLISH HERITAGE BUILDING ID: 422604

OS GRID REFERENCE: SE1362016657 OS GRID COORDINATES: 413620, 416657

Listing Text

1. 5113 SE 1316 33/1371 Gatepiers and gates to No 30.

2. Four square ashlar gatepiers, C1882, with elaborately carved tops and moulded tapering caps. Iron gates listed for group value.

Listing NGR: SE1362016657

and

Formerly Wentworth School, 30 Greenhead Road, Huddersfield HD1 4EZ

DESCRIPTION: Formerly Wentworth School

GRADE: II DATE LISTED: 10 June 1983 ENGLISH HERITAGE BUILDING ID: 422603

OS GRID REFERENCE: SE1359416678 OS GRID COORDINATES: 413594, 416678

Listing Text

1. 5113 No 30 (formerly Wentworth SE 1316 33/1370 School)

2. Large detached house. 1882 or 3 for George Kirk, iron founder, with 1913 addition. Pitch faced stone with ashlar dressings. Hipped slate roofs with heavy moulded eaves, cornice on console brackets. 2 storeys. Entrance front has 6-panel door with etched glass and semi-circular fanlight. Carved surround, spandrels and keystone, and initials G K. Large consoles support balustrade over with urn to left and right. To right is 2-storey canted bay. Beyond this is 1913 addition comprising double arched porte-cochere with 8-light mullioned and transomed oriel bow window to first floor, with good carved ashlar work to base. The 3-bay garden front has 2-storey canted bay to left, as before, and French window and sash to right, both pedimented. Two sashes to first floor with architrave surround and small cornice on console brackets. Stone terrace and stone balustrade to entrance and garden fronts. Interior is virtually original and intact. Vestibule has mosaic floor. Entrance hall has tiled marble floor and elaborate plaster cornice and embossed frieze, fireplace with tiled surround, wooden staircase with turned balusters and panelled dado. The former dining room has embossed frieze and ornate plaster cornice and centre piece, with gas-light fittings, fitted bookshelves and show case and ornate carved wooden fire surround with large mirror. Carved screen in bay window. Panelled dado may be contemporary with 1913 work. Carved screen on landing with 2 oval and 4 round lights with painted glass, forms entrance to 1913 billiard hall, with oak panelling, stone arched fireplace and ornate plaster ceiling with centre light. Washroom has pump action WCs and twin marble basin. In servants quarters are fitted cupboards, copper lined and stone sinks and 12 bell rings. Listed as good and complete example of its type.

Listing NGR: SE1359416678

The old school building does not show on Park Drive South and therefore with the distance away from the proposals the heritage aspect and setting of the listed building will not be affected.

Pre-application Discussions

The initial proposal (2015/90547) was to bring part of the site back into useful life by demolishing the old Coach House/Stable Block and building some new houses was put to Nigel Hunston, Head of Design and Conservation at Kirklees MC Planning Services on Friday, 28th March 2014.

The response was encouraging initially but then support for the proposal withdrawn and discussions ended with the current application substituted for this new scheme and due to the time scale involved a new fee was also required which takes into account the previous residential use and therefore constitutes only two new dwelling units.

Design

Context

Generally, Conservation Area does not mean that there will be no new developments or buildings but puts the duty on the Council to make sure that all changes increase the attractiveness of the area and does not harm its special character.

The site at this northern end of No 34 Greenhead Road has an old and dilapidated Coach House and the now dilapidated felt roofed, single storey bedroom block associated with the old Nursing Home and is partly screened from Park Drive South by a stone wall about 1800mm high with a profiled coping and central ornate opening with a timber gate.

New openings are to be made in this wall to provide vehicular access and three separate pedestrian accesses which will be gated as indicated.

Part of the existing wall of the Coach House/Stable Block will be retained as a boundary wall as indicated on the drawing. The single storey brick bedroom block presently attached and forming part of the old 'nursing home' will be demolished completely together with the single storey kitchen extension as indicated on the drawings.

The stone and slate will be re-used in the new construction.

The general appearance of the new house will blend and compliment those along Park Drive South and the refurbished Coach House an opportunity to bring this old dilapidated building back into use.

This site offers an opportunity to provide new homes of high quality and good design within easy access to the centre of Huddersfield, local schools and shops and major transport links whilst blending with and adding to the existing character of the area around Greenhead Park.

The Refurbished Coach House.

The old Coach House has a number of rooms which have been put to varied use since its original design. The coach rooms are now used for storage and on the ground floor there is a bathroom, kitchen, dining area and living room and bedrooms upstairs but this is all now unused and in a very poor state of repair and pigeons are a frequent visitor upstairs.

The Coach House is 'L' shaped and it is proposed to convert it to two dwellings.

By the removal of the old boiler house and the end 'coach room' a south facing garden can be created and the remaining rectangular building, extending up to the front, becomes one dwelling, providing on the ground floor, a new front entrance leading into a living room with stairs up the first floor and double doors into the converted 'coach' room which now becomes a dining/kitchen with doors out to the garden and a small utility room and toilet.

The stairs lead up to a landing area with three bedrooms above the living room and provides access into the upper 'coach room' for the master bedroom and en-suite and main bathroom and storage areas.

The second part or other end of the coach house can be converted into another dwelling providing on the ground floor another new entrance with cloaks and toilet and leading into the dining/kitchen with south facing window and a small utility and leads into the living room with stairs up to the first floor.

At first floor the stairs lead to a landing area with four bedrooms, bathroom and en-suite and this relies on the present single storey ground floor 'bathroom' being extended to a first floor to allow two bedrooms and the roof of the present building will be re-built above.

The New House

The proposed new house takes advantage of the remaining flat site and views towards the park and provides accommodation which would suit a young and growing family.

At ground floor is the recessed entrance with cloaks, toilet and staircase. Off this Hall is a Utility with access to the rear garden, a large through Kitchen with breakfast area and 'french doors' leading to the garden and a Dining Room. The Dining Room faces the Park and has two sets of 'French' doors leading to a small paved area linking the path to the front door with gated access to Park Drive South.

On the Piano Nobile or main first floor of the house and accessed from the stair well is the Living Room which leads via two sets of 'French' doors to a terrace overlooking the Park. The Master Bedroom 1, with En-suite is located on this floor together with a small study with window overlooking the park. The stairs continue up to the attic.

In the attic are three further Bedrooms and a Family Bathroom.

Appearance

The appearance of the old Coach House is retained with an upwards extension designed to complement the existing single storey 'lean-to' and using the same roof shape and structure and the removal of part of the end 'coach room' provides space for the south facing garden whilst retaining boundary walls and screening to adjacent property.

Materials taken from the demolition of buildings will be utilised in new construction.

The two new front doors will be formed within and in keeping with the general appearance of the already altered front elevation.

The new house is traditional in design with the style taken from Victorian detailing and proportion whilst modest in execution providing a complimentary and sympathetic treatment to the street scene along Park Drive South.

The external walls would be coursed natural stone (a sample will be approved by Kirklees MC Planning Services prior to development commencing) and the single storey Dining Room extension with Terrace above in plain ashlar with coping to a 450mm parapet and glass balustrade with s/s handrail. The paved terrace discharges to a cast iron hopper head and down pipe. The openings in the boundary wall will re-use the materials as indicated.

Timber sliding sash windows would be set in stone surrounds as would the four paned 'French' doors and the six panel front (and rear) doors.

Corbels are set above a string course and below a stone cornice to the small parapet and internal gutter (discharging to cast iron hopper head and down pipe) below the slated roof (a sample slate will be approved by Kirklees MC Planning Services prior to development commencing) with three round topped lead covered dormers at the front. The rear roof is somewhat plainer with a corbel supported cast iron gutter and down pipe.

Scale

The scale and appearance of the refurbished Coach House will remain virtually unchanged with the side extension complimenting the elevation and the new house as indicated on the submission drawings is of similar proportion being both sympathetic and complimentary to the street scene and Conservation Area.

The accommodation on all floor levels is; for the first refurbished house no 1 some 164m², footprint 81m² and a plot area 245m² and for the second refurbished house no 2 some 130 m² footprint 231m² footprint 68m² and a plot area of 188m m² and for the new house no 3 some 190 m² footprint 76 m² and a plot area of 230m² plus the access road and parking area making the whole site area 0.1Ha. Density 30d/Ha.

Relative heights are as shown on the drawings and for the new house the eaves are 6m above ground and the ridge height 9.4m with a roof pitch of 35 ° .

Landscaping

There are no trees on the site at present. Grassed areas provided and other planting later.

The existing wall on the boundary to Park Drive South is to be retained and the openings as indicated formed for vehicular and individual pedestrian access.

Site lines of 2.4m x 43m are easily achieved along this part of Park Drive South which comprises mainly parking to the southern edge.

A flagged patio area is to be provided on the southern elevation of all the houses as indicated and new walls formed with private gates.

Bin storage (grey and green) is to be provided and screened as indicated on the drawing.

Access

Policy Framework

Access to the new and refurbished houses will be by level paths, 900mm wide and ramped as necessary to a level threshold and 900 wide opening to the front door. (Minimum clear opening of 775mm to be exceeded).

A ground floor toilet is provided to all the houses with an opening outwards door of minimum clear opening 775mm.

The new access from Park Drive South is 4.5 metres wide for a minimum distance of 10 metres into the site where it opens out into a turning head with parking for 9no cars.

Vehicular and Transport Links

The new houses are just outside the town centre and all main bus services and transport links including the train station are within easy reach.

Conclusion and Compliance with Policy

Within a Conservation Area Kirklees Policy Document BE states a number of criteria to be met and as follows;

All development should be of good quality design such that it contributes to a built environment which:

1. Creates or retains a sense of local identity;
 2. Is visually attractive;
 3. Promotes safety, including crime prevention and reduction of hazards to highway users;
 4. Promotes a healthy environment, including space and landscaping about buildings and avoidance of exposure to excessive noise or pollution;
 5. Is energy efficient in terms of building design and orientation and conducive to energy efficient.
- and

1. It is in keeping with any surrounding development in respect of design, materials, scale, density, layout, building height or mass;
2. The topography of the site (particularly changes in level) is taken into account;
3. Satisfactory access to existing highways can be achieved; and
4. Existing and proposed landscape features (including trees) are incorporated as an integral part of the proposals.

Proposals for new development within conservation areas should respect the architectural qualities of surrounding buildings and their materials of construction, and contribute to the preservation or enhancement of the character or appearance of the area.

The proposed refurbishment and the new house as shown on the drawings and described in this design and access statement addresses all the above points.

*This design and access statement has been prepared by DB. Architects (Yorkshire) Ltd.,
In accordance with the recommendations contained in CABE publication 2006*